

Wednesday, September 11, 2019

5:00p.m.

Town of Coaldale Council Chambers



Municipal Planning Commission Agenda

1.0 CALL TO ORDER

2.0 ADDITIONS TO THE AGENDA

3.0 ADOPTION OF THE MINUTES

August 14, 2019 meeting

4.0 BUSINESS FROM THE MINUTES

5.0 NEW BUSINESS

5.1 Development Permit Application 2019-126
Front yard waiver
1822 – 10 A Street

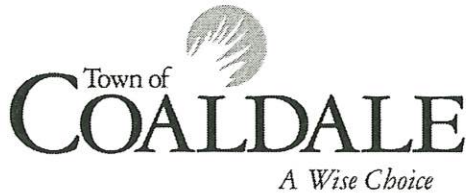
5.2 Development Application 2019-127
Side yard waiver
1201 -33 Avenue

6.0 INFORMATION ITEMS

7.0 IN-CAMERA DELIBERATIONS

8.0 SSRP (SOUTH SASKATCHEWAN REGIONAL PLAN) COMPLIANCE

9.0 ADJOURNMENT



MUNICIPAL PLANNING COMMISSION
WEDNESDAY, August 14, 2019
5:00 PM – COUNCIL CHAMBERS

PRESENT:	Council Members:	R. Hohm (Chair), D. Lloyd, J. Abrey
	Citizen Members:	T. Stone, R. Pitsol
	Development Officer:	C. L'Hirondelle
	ORRSC Planning Advisor:	R. Dyck
	Recording Secretary:	K. Boehmer
	Gallery:	J. Aboucha

1.0 CALL MEETING TO ORDER:

R. Hohm called the meeting to order at 5:00p.m.

2.0 ADDITIONS TO / ADOPTION OF AGENDA: No additions

MOTION: D. Lloyd moved to approved the adoption of the agenda.

5-0 CARRIED

3.0 ADOPTION OF MINUTES:

Municipal Planning Commission Minutes – July 10, 2019

MOTION: R. Pitsol moved to approve the July 10, 2019 minutes.

J. Abrey abstained from voting as he was not in attendance at the July 10, 2019 meeting.

4-0 CARRIED

4.0 BUSINESS ARISING FROM MINUTES: None

5.0 NEW BUSINESS:

- 5.1 Development Permit Application 2019-102**
Temporary sign time extension
Land located west of 2608 – 21 Avenue

BACKGROUND/DESCRIPTION OF APPLICATION:

C. L'Hirondelle provided an overview of the application for a temporary sign time extension at the land located west of 2608 21 Avenue. Development permits for temporary signs are only valid for a period of not longer than 60 days. Once the permit has expired for a temporary sign at a location address, an

application for another temporary sign on the same site shall not occur until 30 days has elapsed from the expiration of the previously approved permit.

The purpose of the application is to provide a 120-day time extension which would allow the sign to be displayed continuously for a total of 180 days, September 18, 2019 to March 28, 2020.

- The commission discussed if the applicant would need to apply for a waiver every year and what might need to be done to have this particular sign come forward every year.
- The commission questioned if there could be a set fee for six months.
- C. L'Hirondelle noted that if a new fee was introduced it would be applicable to all temporary sign permits.
- C. L'Hirondelle also noted that the applicant pays an annual fee of \$200 for the waiver, which is later brought forth to council for a waiver of the fee.
- The commission requested further clarity on whether or not an applicant would have to pay \$200 to put up a sign for 120 days.
- C. L'Hirondelle explained that a development permit for a temporary sign carries a fee of \$50, which allows the sign to be up for 60 days. An additional \$200 is paid for a time extension waiver.
- R. Dyck, ORRSC Planning Advisor, questioned if the town has considered advising the applicant to apply for multiple years at once.
- C. L'Hirondelle indicated that it was suggested, however, the applicant's intention is to take the sign down each year to open up that space for others

MOTION: J. Abrey moved to approved Development Application 2019-102

5-0 CARRIED

**5.2 Development Application 2019-103
 Front yard setback waiver
 2216 – 19 Street**

BACKGROUND/DESCRIPTION OF APPLICATION:

C. L'Hirondelle outlined the development application for a front yard setback waiver for an uncovered deck at 2216 19 Street. The development permit is for the construction of a front deck. The required setback for a front deck is 25'.

Once the deck is constructed, the setback from the front property line would be 13' 3".

- The commission questioned if there have been any other waivers on this street.
- C. L'Hirondelle noted there has been.
- The commission discussed how upgrades to the front of the house might add to the street appeal
- C. L'Hirondelle indicated that a letter in favour of the application from a neighbouring property owner was received.

MOTION: R. Pitsol moved to approve Development Application 2019-103 with conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc. (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks shall conform to site plan, which was attached as part of the Development Permit application, and to Land Use Bylaw No. 677-P-04-13.
4. The deck is NOT to be further enlarged, covered or enclosed unless necessary permits have been applied for and approved.
5. Ensure lot drainage is maintained.
6. The development, when completed, shall meet or exceed provincial building requirements.

5-0 CARRIED

8.0 SSRP (SOUTH SASKATCHEWAN REGIONAL PLAN) COMPLAINT

BACKGROUND:

R. Dyck, ORRSC Planning Advisor, provided an overview of the South Saskatchewan Regional Plan ("SSRP") noting that all municipalities in this region must file Statutory Declarations with the land use secretary stating that all documents have been reviewed and comply with the regional plan. These documents must be filed by September 1, 2019. R. Dyck discussed what it means to comply with the regional plan, noting that these are policy type statements to guide high level type planning exercises. As an urban municipality, there is nothing in our planning documents that is contrary to the SSRP.

R. Dyck advised that he wanted the SSRP to be noted on the public agenda so there is a record of a public body having looked at it. He asked that a motion be passed stating that the commission accept his presentation for information and supports staff in going through the exercise of filing the Statutory Declaration with the land use secretary.

- The commission noted that with the annexation, prime agricultural land is being taken out of production and is moving towards residential construction. The idea is to have a larger density per hectare or acre and make better use of the land.
- The commission indicated the importance of utilizing the land instead of having large lots scattered all over the place.
- R. Dyck agreed with the above adding that a range needs to be provided that moves big lots towards a higher overall density.

- The commission further discussed that the purpose of the SSRP is to provide independence, aside from the town office, in making decisions as an independent board, and adds a provincial standard to procedures.

MOTION: T. Stone moved to accepting the presentation for information and supporting staff in going through the exercise of filing the Statutory Declaration with the land use secretary.

5-0 CARRIED

The public portion of the meeting was closed at 5:04p.m.

MOTION: R. Pitsol moved to adjourn meeting at 5:17p.m.

5-0 CARRIED

CHAIR- R. HOHM

RECORDING SECRETARY- KYLEY BOEHMER

Staff Report to the Municipal Planning Commission

DEVELOPMENT PERMIT #:	2019-126
APPLICANT:	Jonathan Verhoef
TYPE OF DEVELOPMENT:	Existing Single Detached Dwelling
CIVIC ADDRESS:	1822 – 10 A Street
LEGAL DESCRIPTION:	Plan 1244LK, Block 5, Lot 5
LAND USE ZONING:	Residential – R-1A
USE:	Single Detached Dwelling
PARKING:	n/a
SETBACKS & HEIGHT:	Front yard setback – 21' – 9" (required 25')
SIGNS:	n/a
ARCHITECTURAL CONTROLS	n/a

BACKGROUND/DESCRIPTION OF APPLICATION:

The Town of Coaldale has received a development permit application for an existing single detached dwelling that is located too close to the front property line. Development permit 2007-081 was issued for the proposed addition to the existing single detached dwelling to be located 22' – 6" (6.86m) away from the front property line. When the addition was built, it was built 21' – 9" (6.62m) from the front property line.

Notice of the application was sent to adjacent properties and no written or verbal concerns have been brought forward to date.

OPTIONS:

The board may consider APPROVAL of Development Application (#2019-126).

The board may consider REFUSAL of Development Application (#2019-126).

Respectfully Submitted:

Cindy L'Hirondelle

Manager of Development & Environmental Services

ATTACHED FILES:

- Site Plan
- Approved site plan with development permit 2007-081
- Notice to Neighbouring Property Owners

Alberta Land Surveyor's Real Property Report

To: Jonathan Verhoeff
Box 1220
Coaldale, AB
T0L 0V0

PROPERTY DESCRIPTION ("THE PROPERTY")
PLAN 1244LK, BLOCK 5, LOT 5

CERTIFICATION

I hereby certify that this report, which includes the attached plan and related survey, was prepared and performed under my personal supervision and in accordance with the Alberta Land Surveyors' Association Manual of Standard Practice and supplements thereto. Accordingly, within those standards as of the date of this report, I am of the opinion that:

1. the Plan illustrates the boundaries of the Property, the improvements as defined in Part D, Section 8.5 of the Alberta Land Surveyors' Association's Manual of Standard Practice and registered easements and rights-of-way affecting the extent of the title to the Property;
2. the improvements are entirely within the boundaries of the Property, except for a Utility Line encroachment into Lot 6, as shown;
3. no visible encroachments exist on the Property from any improvements situated on an adjoining property;
4. no visible encroachments exist on registered easements or rights-of-way affecting the extent of Property;

PURPOSE

This Report and the related plan have been prepared for the benefit of the Property owner, subsequent owners, and any of their agents for the purpose of (a) land conveyance, support of a subdivision application, a mortgage application, a submitted to the Municipality for a compliance certificate, etc.). Copying is permitted only for the benefit of these parties, and only if the plan remains attached. Where applicable, registered easements and utility rights-of-way affecting the extent of the Property have been shown on the attached plan. Unless shown otherwise, property corner markers have not been placed during the survey for this report. The attached plan should not be used to establish property boundaries due to the risk of misinterpretation or measurement error by the user. The information shown on this Real Property Report reflects the status of this Property as of the date of survey only. Users are encouraged to have the Real Property Report updated for future requirements.

Dated at Lethbridge, Alberta
This 5 Day of July, 2019

Z. J. Prosper
Alberta Land Surveyor, 2019



2830 - 12th Avenue North, Lethbridge, Alberta T1H 5A9
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Scale:	1:250 (metric)	Job:	8765
File:	415-46	Ref. file:	
Date of Title Search:	June 26, 2019	Drawn:	cs
Date of Survey:	July 2, 2019		

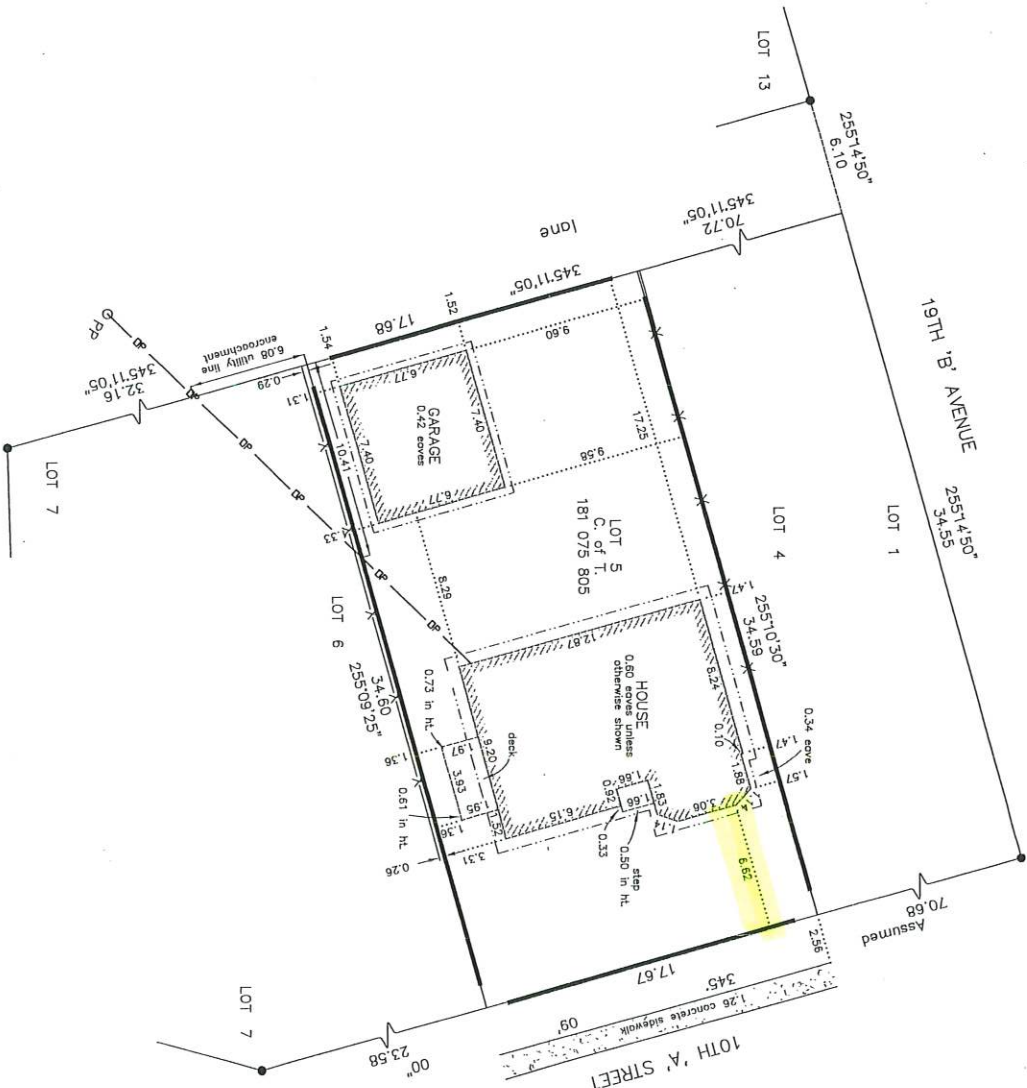


LEGEND
Statutory Iron Posts found
Overhead utility line ————
Utility Pole shown thus
Property line

Distances from property boundaries are shown to ———— unless otherwise dimensioned.

Distances from property boundaries are shown to ———— unless otherwise dimensioned.

Distances are shown in metres and decimal parts thereof.



Alberta Land Surveyor's Real Property Report

PROPERTY DESCRIPTION
 PLAN 1244LK BLOCK 5
 LOT 5
 MUNICIPAL ADDRESS
 COALDALE, ALTA 1822 104 Street

NOTE
 Unless otherwise specified, the dimensions shown relate to the distances from property boundaries to foundation walls only at the date of the survey.
 This information is based on a title search dated 5 Apr. 1990

LEGEND
 Property boundaries shown thus _____
 Fence lines shown thus _____
 Statutory Iron Posts shown thus _____
 0.012 x 0.012 x 0.500 Iron Bars shown thus _____
 found O planned

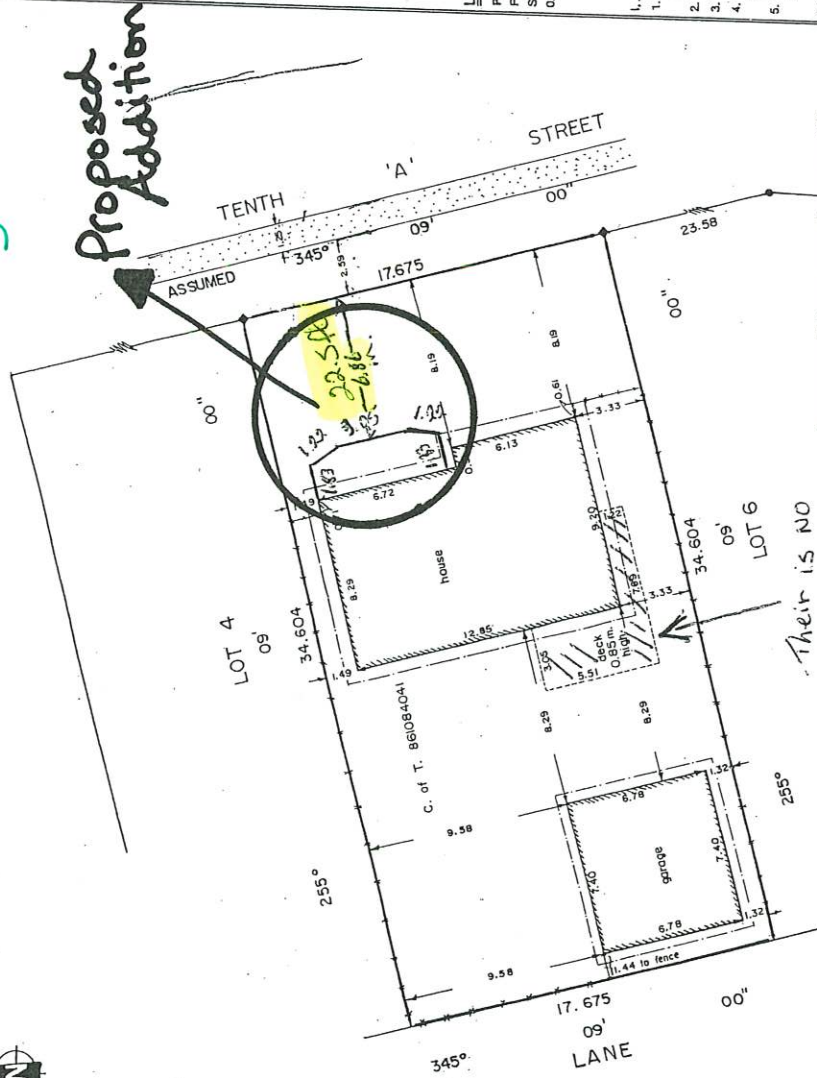
I, John David Williams, Alberta Land Surveyor do hereby certify that:
 1. The survey represented by this plan is true and correct and was made under my supervision.
 2. The survey was made in accordance with the Manual of Good Practice.
 3. The survey was completed on the 12 day of Apr. A.D. 1990.
 4. The improvements as shown on this plan are entirely within the boundaries of the subject property.
 5. No visible encroachments exist onto the subject property from any improvement situated on an adjacent property.



Dated this 16 day of Apr. A.D. 1990
 John David Williams
 Alberta Land Surveyor
 THIS PLAN IS PROTECTED BY COPYRIGHT

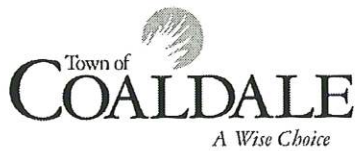
Ref. file:
 Scale: 1:200 (metric)
 Drawn: 9th
 Date: 90/04/16
 File: 114-14

*Approved site plan for development permit 2007-081



Approved in accordance with
 Development Permit No. 2007-081
 Town of Coaldale
 Date May 30, 2007
 Signed *John Williams*
 Development Officer

TOWN OF COALDALE
 This is to confirm that the indicated legal description is zoned R-1A Residential and that the buildings shown on this certificate conform to the Coaldale Land Use By-Law.
 May 19/98 *John Williams*
 DEVELOPMENT OFFICER



August 28, 2019

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2019-126

APPLICANT: JONATHAN VERHOEF

**ADDRESS: 1822 – 10 A STREET, COALDALE, ALBERTA
PLAN 1244LK, BLOCK 5, LOT 5**

ZONING: RESIDENTIAL – R-1A

Dear Sir/Madam,

We are in receipt of Development Application #2019-126, for an existing Single-Detached Dwelling with addition that is located to close to the front property line. Development permit 2007-081 was issued for the addition with a 6.86 m (22' – 6") front yard setback, which had received a 10% waiver by the designated officer. But, the addition was constructed 6.62m (21' – 9") from the front property line.

The Town of Coaldale Land-Use Bylaw states that any waiver greater than 10% shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

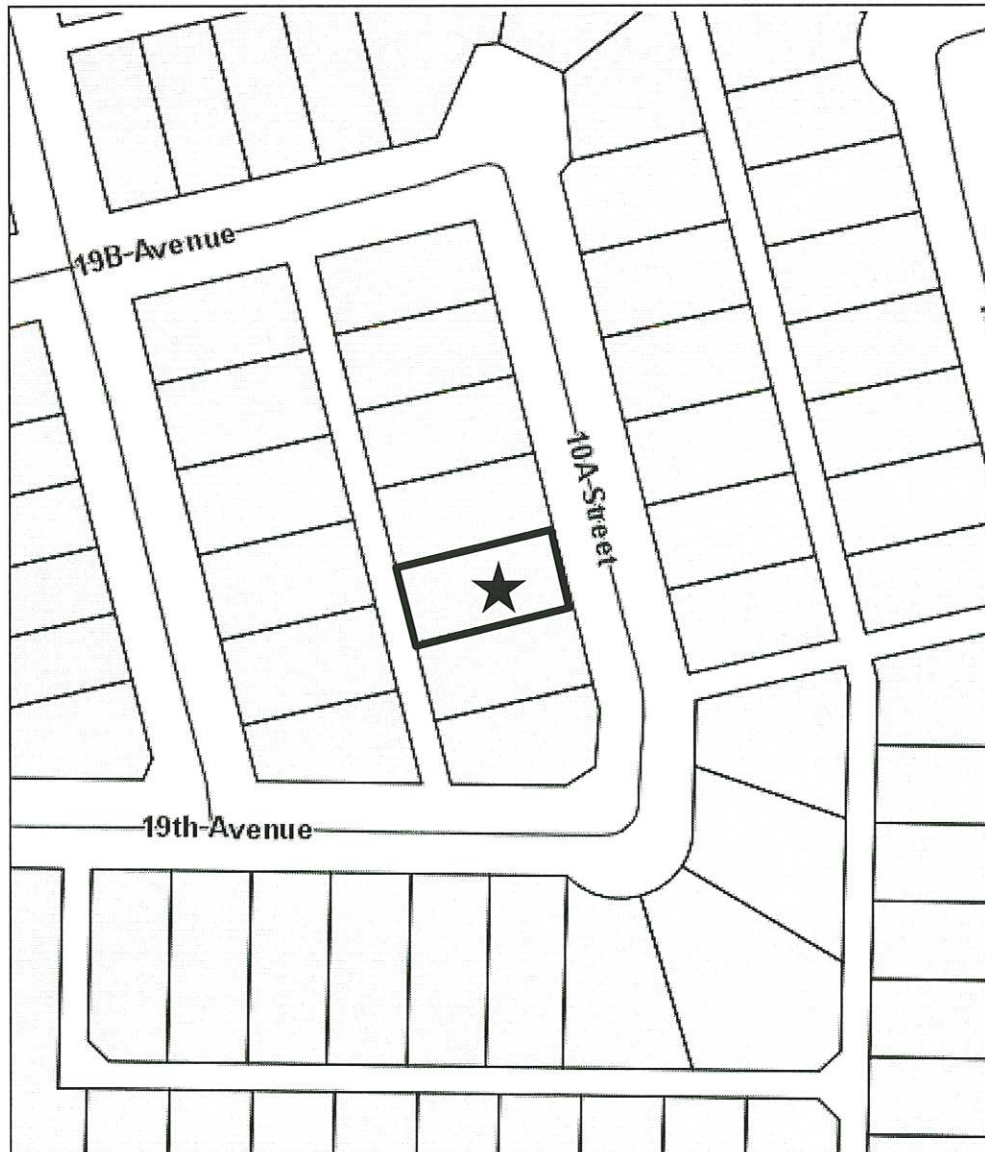
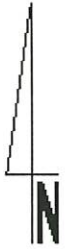
The full agenda will be posted on our website by September 5, 2019 at the following link, <http://www.coaldale.ca/services/planning-development/mpc-meeting-agendas>

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, September 11, 2019, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2019-126) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 – 17 Street Coaldale, Alberta.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 1:00pm on Friday, September 6, 2019 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,

Cindy L'Hirondelle
Manager of Development & Environmental Services
cc. Applicant



Staff Report to the Municipal Planning Commission

DEVELOPMENT PERMIT #:	2019-127
APPLICANT:	Phase One Construction
TYPE OF DEVELOPMENT:	Single Detached Dwelling
CIVIC ADDRESS:	1201 – 33 Avenue
LEGAL DESCRIPTION:	Plan 161 1387, Block 1, Lot 6
LAND USE ZONING:	Country Residential – CR-2
USE:	Single Detached Dwelling
PARKING:	n/a
SETBACKS & HEIGHT:	Side yard setback – 2.40m (7' – 10"); required 3.05m (10')
SIGNS:	n/a
ARCHITECTURAL CONTROLS	n/a

BACKGROUND/DESCRIPTION OF APPLICATION:

The Town of Coaldale has received a development permit application for an existing single detached dwelling that is located too close to the side property line. Development permit 2018-170 was issued for the existing single detached dwelling to be located 9' – 1 9/16" (2.78m) away from the side property line. When the single detached dwelling was built, it was built 7' – 10" (2.40m) from the front property line.

Notice of the application was sent to adjacent properties and no written or verbal concerns have been brought forward to date.

OPTIONS:

The board may consider APPROVAL of Development Application (#2019-127).

The board may consider REFUSAL of Development Application (#2019-127).

Respectfully Submitted:

Cindy L'Hirondelle
Manager of Development & Environmental Services

ATTACHED FILES:

- Site plan
- Approved site plan with development permit 2018-170
- Notice to Neighbouring Property Owners

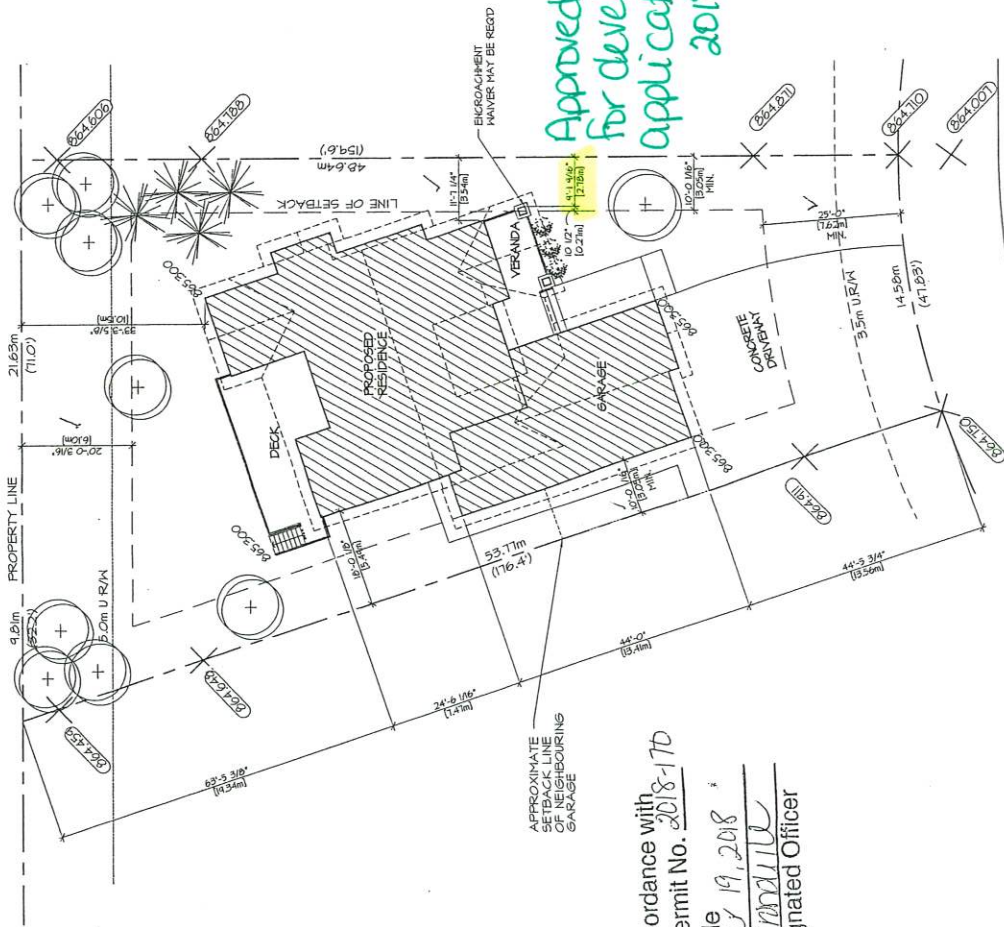
LEGAL DESCRIPTION

LOT: 6
BLOCK: 1
PLAN: 161138T
ADDRESS: 1201 - 33RD AVENUE
COALDALE, AB

SITE INFO:
TOTAL SITE AREA: 10,281 SQ. FT.
TOTAL SITE AREA: 239.5 SQ. FT.
SITE COVERAGE: 4.25%

SQUARE FOOTAGES
MAIN FLOOR - 1064 SQ. FT.
BASEMENT DEVELOPED - 1456 SQ. FT.
BASEMENT UNDEVELOPED - 1456 SQ. FT.
VERANDA - 201 SQ. FT.

ELEVATIONS *
TOP OF MAIN FLOOR: 868.000
TOP OF BASEMENT FLOOR: 868.000
TOP OF BASEMENT SLAB: 868.000
TOP OF HOUSE FOOTING: 868.000
TOP OF GARAGE SLAB: 868.000
TOP OF GARAGE FLOOR: 868.000
TOP OF SANITARY INLET: 868.000
LOWEST TOP OF FIB: 868.000



Approved in accordance with
Development Permit No. 2018-170
Town of Coaldale
Date: NOVEMBER 19, 2018
Signed: [Signature] Designated Officer

Architectural Controls Ltd.
Approved
Date: [Signature]
[Signature]
Douglas J. Bergh & Associates Ltd.

APPROVED VERTICAL GRADES
Builder is responsible for following the vertical grades as shown on this plan. Existing grades or site must be verified prior to construction.
[Signature]
Douglas J. Bergh & Associates Ltd.

1 SITE PLAN
2 SCALE 1/8" = 1'-0"

Nov. 14/18

33RD AVENUE

REVISIONS	CONSULTANTS



DOUGLAS J. BERGH & ASSOCIATES LTD.
ARCHITECTURAL TECHNOLOGY
1201 - 33RD AVENUE
COALDALE, AB
T4M 1G8

* THE CONSULTANT SHALL VERIFY ALL INFORMATION AND DATA PROVIDED BY THE CLIENT AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED BY THE CLIENT. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED BY THE CLIENT IF THE CLIENT PROVIDES FALSE OR MISLEADING INFORMATION AND DATA. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED BY THE CLIENT IF THE CLIENT PROVIDES FALSE OR MISLEADING INFORMATION AND DATA. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION AND DATA PROVIDED BY THE CLIENT IF THE CLIENT PROVIDES FALSE OR MISLEADING INFORMATION AND DATA.

PROJECT TITLE
CREES-WEATHER
RESIDENCE

CONSULTANT: AB
CLIENT: MR. CREES & MR. WEATHER

DRAWING TITLE
SITE PLAN

DATE: NOVEMBER 2018
PROJECT NO. 240
SCALE: AS SHOWN
DRAWN BY: J. BERGH
CHECKED BY: J. BERGH
CADD FILE: 240-01.DWG
SHEET NO. AO



August 28, 2019

TO: NEIGHBOURING PROPERTY OWNERS
RE: DEVELOPMENT APPLICATION 2019-127
APPLICANT: PHASE ONE CONSTRUCTION
ADDRESS: 1201 - 33 Avenue, COALDALE, ALBERTA
PLAN 1611387, BLOCK 1, LOT 6
ZONING: COUNTRY RESIDENTIAL TWO - CR-2

Dear Sir/Madam,

We are in receipt of Development Application #2019-127, for an existing Single-Detached Dwelling that is located to close to the west side property line. Development permit 2018-170 was issued for the Single-Detached Dwelling with a 2.78 m (9' - 1 9/16") side yard setback, which had received a 10% waiver by the designated officer. But the Single-Detached Dwelling was constructed 2.40m (7' - 10") from the west side property line.

The Town of Coaldale Land-Use Bylaw states that any waiver greater than 10% shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

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Sincerely,

Cindy L'Hirondelle
Manager of Development & Environmental Services
cc. Applicant

