



AGENDA

Municipal Planning Commission Meeting

5:00 PM - Wednesday, April 14, 2021

HUB (Virtual)

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1.0 CALL TO ORDER

2.0 ACCEPTANCE OF THE AGENDA

3.0 ADOPTION OF PREVIOUS MINUTES

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3.1. [Municipal Planning Commission - 10 Mar 2021 - Minutes](#)

4.0 BUSINESS ARISING FROM THE MINUTES

5.0 NEW BUSINESS

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5.1. SUB 2021-003 - The Seasons
[SUB 2021-003 - SE-11-09-20-W4M - Pdf](#)

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5.2. DP 2021-023 - 1004 24 Avenue
[DP 2021-023 - Cama Beauty - Pdf](#)

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5.3. DP 2021-034 - 1909 9 Street
[DP 2021-034 - Stephen Parsons - Pdf](#)

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5.4. DP 2021-039 - 903 11 Avenue
[DP 2021-039 - Tony Bos - Pdf](#)

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5.5. DP 2021-042 - 3125 13th Street
[DP 2021-042 - Andreas Construction Inc - Pdf](#)

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5.6. DP 2021-044 - 2133 20A Avenue
[DP 2021-044 - River Hawk Homes - Pdf](#)

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5.7. DP 2021-045 - 2008 8th Street
[DP 2021-045 - Brandon Bultena - Pdf](#)

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5.8. DP 2021-041 - 2006 30A Avenue
[DP 2021-041 - Grizzly Ridge Developments - Pdf](#)

6.0 INFORMATION ITEMS

7.0 CLOSED MEETING

8.0 ADJOURNMENT



MINUTES

Municipal Planning Commission Meeting

5:00 PM - Wednesday, March 10, 2021
HUB (Virtual)

The Municipal Planning Commission of the Town of Coaldale was called to order on Wednesday, March 10, 2021, at 5:00 PM, in the HUB (Virtual), with the following members present:

PRESENT:

R. Hohm, Councillor
J. Abrey, Councillor
D. Lloyd, Councillor
J. Van Hierden, Committee Member
J. Peters, Committee Member

STAFF PRESENT:

S. Croil, Director of Planning & Development
C. Mills, Manager of Economic Development
M. Messier, Planning Intern
K. Stone, Recording Secretary

GALLERY:

D. Bergen; I. Moxon; T. Sampson; T. McLennan; D. McLennan; P. Bos;

1.0 CALL TO ORDER

R. Hohm called the meeting to order at 5:00 PM

2.0 ADDITIONS TO/ACCEPTANCE OF THE AGENDA

No Additions

3.0 ADOPTION OF PREVIOUS MINUTES

3.1 Municipal Planning Commission Minutes - February 10, 2021

1-2021

MOTION: J. Peters moved to APPROVE the February 10, 2021 minutes.

Carried 5-0

4.0 BUSINESS ARISING FROM THE MINUTES

None

5.0 NEW BUSINESS

5.1 SUB 2021-004 - 505 20th Avenue

S. Croil presented Subdivision Application 2021-004 for a subdivision at 505 20 Avenue. The application is to subdivide one 1.162 ha (2.87 acre) lot and one 0.518 (1.27 acre) lot out of the existing 5.42 (13.39 acre) parcel for the purposes of the development of a fully-serviced privately-owned and operated campground, and a municipally-built and owned mountain bike skills park.

The subject area currently contains an unmaintained picnic shelter and has historically been used as a publicly owned and publicly-run campground up until 2016.

The subdivision proposal is intended to allow for the future development of a revitalized and fully-serviced campground that is intended to be built and operated in a way that would ensure compatibility with the surrounding area. The westernmost proposed parcel (being shown as 1.162 ha or 2.87 acres), is intended to be the parcel on which the mountain bike park is to be constructed. The easternmost proposed lot (being shown as 0.518 ha or 1.28 acres) is intended to allow for the continued operation of the drainage infrastructure within this area, and to allow for access to the easternmost boundary of the campground, including a future campground manager's residence (which would require a separate development permit in the future).

The existing and proposed lots that make up this subdivision application front onto 20th Avenue and would maintain legal and physical access by way of 20th Avenue.

It was noted that the application has been circulated to the surrounding neighbouring properties and the appropriate referral agencies. The commentary that was provided included:

1. Alberta Transportation stated it does not anticipate that the creation of the residential parcel as proposed would have any appreciable impact on the highway and effectively granted a waiver of sections 14 and 15(2). That being said, any development in the right-of-way or within 300 metres beyond the limit of the highway or within 800 metres from the centre point of the intersection would require the benefit of a permit from Alberta Transportation.
2. Canada Post expressed no comments on the application.
3. Fortis Alberta determined that no easement is required.
4. Lethbridge County expressed no concerns with the proposed subdivision.
5. St. Mary Irrigation District expressed no objection to the proposed subdivision as it is classified as "dry". The agency went onto express any development and/or underground works must be kept at a minimum of 100 feet from the SMRID canal right of way.
6. TELUS expressed no objections to the subdivision.

- The Commission inquired about the pathway that goes from the canal to 20th Avenue, asking if it will stay and if the ditch will be filled in.
- S. Croil advised that he doesn't believe the ditch will be filled in.
- T. Sampson confirmed that the pathway is intended to stay there as a way for pedestrians to get around.

2-2021

MOTION: D. Lloyd moved to APPROVE Subdivision Application 2021-004 subject to conditions:

- 1. That, pursuant to Section 654(1) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Coaldale.*
- 2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into a Development Agreement with the Town of Coaldale which shall be registered concurrently with the final plan against the title(s) being created.*
- 3. That a deferred reserve caveat be placed on the remainder of the subject property for Municipal Reserve, for the area representing 10% of the lands upon which reserve may required.*

Carried 5-0

5.2 SUB 2021-001 - 1410 21 Avenue

S. Croil presented Subdivision Application 2021-001 for a subdivision at 1410 21 Avenue. The applicant is proposing to subdivide one additional lot out of the subject area, which is currently made up of two lots. The total subject area is 0.129 hectares (0.33 acres) in size, and each of the proposed lots to be created out of the subject area would be approximately 0.043 hectares (0.11 acres) each.

The application aims to subdivide an existing subject area of 0.129 hectares (0.33 acres) into 3 parcels of equal size. The subject property is at the corner of 15th Street and 21st Avenue and has the civic address of 1410 21st Avenue.

The area currently contains no buildings or structures but was historically home to a single-story multi-unit residential dwelling complex. This complex was destroyed in a fire several years ago, and since that time, the property has been vacant.

The subdivision proposal is intended to allow for the future development of 3 dwelling units, two of which would be oriented towards 15th Street. The southernly-most proposed lot is a corner lot, oriented either towards 15th Street or 21st Avenue.

The width of each lot is proposed at 14.22 metres (46.65 feet) in width (measuring north/south) and 30.48 metres (100 feet) in

depth (measuring east/west), which means each lot meets or exceeds the minimum lot dimensions of the Town's Residential Small Lot - R-1B land use district.

It was noted that the application has been circulated to the surrounding neighbouring properties and the appropriate referral agencies. Commentary that was provided included:

1. Alberta Transportation stated it does not anticipate that the creation of the residential parcel as proposed would have any appreciable impact on the highway and effectively granted a waiver of sections 14 and 15(2). That being said, any development in the right-of-way or within 300 metres beyond the limit of the highway or within 800 metres from the centre point of the intersection would require the benefit of a permit from Alberta Transportation.
2. ATCO Gas expressed it requires a Utility Right of Way as shown hi-lighted on the attached plan. The URW should be 3.5 metres in width. All easements are to be registered as a general utility right of way granted to the Municipality and are to be registered concurrently with the legal plan of subdivision. No structures or portion thereof may be erected with the right of way without prior written consent for the company.
3. ATCO Transmission identified it has no objections to the proposed subdivision.
4. Canada Post has no comment.

- The Commission asked if this application was already heard before the MPC.
- S. Croil advised that there was a previous application for two manufactured homes as a multi family use; however, the application has now changed to a subdivision focused on individual units within the three proposed lots.

3-2021

MOTION: J. Abrey moved to APPROVE Subdivision Application 2021-001 subject to conditions:

1. *That, pursuant to Section 654(1) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Coaldale.*

2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into a Development Agreement with the Town of Coaldale which shall be registered concurrently with the final plan against the title(s) being created.

3. That the applicant enter into a utility r-o-w agreement with ATCO Gas and that the agreement be registered on title at the same time the subdivision is registered.

Carried 5-0

5.3 DP 2021-020 - 505 20 Avenue - Owl's Nest Campground

S. Croil presented Development Permit 2021-020 application to review a change of use from recreation, public (campground and associated amenities) to recreation, private (campground and associated amenities) at 505 20 Avenue.

The applicant is proposing to revitalize and substantially enhance the campground which was owned and operated municipally until 2016. As has been recently publicized, the Town has sold the campground property to the applicant. The primary function of the property is proposed to remain a campground.

Although a campground was previously operated at this location and the use of the property for a campground continues to align with the property's zoning (Institutional/Recreational - I/R), the reason the proposal for the campground must now appear before the Municipal Planning Commission is because of the private ownership and operation of the facility. Recreation, private (which includes campgrounds) is listed as a discretionary use in the I/R land use district.

There are also several major differences between the campground as it was and the campground as it is proposed to be:

- The number of proposed sites is 39, with the following breakdown of services to each:
 - o 17 are intended to have power, water and sewer
 - o 17 are intended to have power and water
 - o 5 sites are intended to have power only

- A new washroom facility serviced by water, power and sewer will be constructed
- A new playground and other related amenities will be constructed
- In addition to the parking at each campsite, 21 visitor parking stalls will be provided adjacent to the playground and washroom facility area (2 per campsite)
- Parking stalls potentially could be used for the mountain bike park
- A Sani-dump station will be built and operated by the Town and tied directly into the municipal sanitary servicing infrastructure located on 20th Avenue
- Adjacent amenities will include direct access and connection to the municipal pathway system, and direct access and connection to the municipally-built and operated mountain bike park, which is expected to be constructed in 2021/2022
- Additional considerations include the substantial amount of landscape in the site area ensuring a vegetative buffer of trees in the north area of the campground

Lastly, the applicant has suggested a set of campground rules outlining the operational aspects of the facility during the camping season. Staff recommended to the commission that the rules be enforced within the conditions to ensure the amenity is maintained in a consistent and orderly manner.

Staff requested the commission consider approval of Development Application 2021-020 to allow for a change of use from recreation, public to recreation, private subject to the following conditions:

1. That the list of rules submitted as a part of the development permit application be enforced fully and completely at all times during the operation of the campground.
2. That, should any rules in the list of rules as submitted, be changed or otherwise altered in any way, an updated list of rules be provided to the Town in a timely manner, for example, within 5 business days of the rule(s) changing or being altered.
3. The proposed development shall be undertaken, completed, operated and maintained in accordance with Land Use Bylaw No. 677-P-04-13.

4. That the construction of the campground be completed in accordance with plans as submitted, including the camping sites, access roads, washroom facility, playground and other amenities, and the 21 parking stalls that are shown as being in addition to the stalls provided for each camping site.
5. That servicing plans including the exact location and design of water, wastewater, and stormwater services required for the campground, be submitted, reviewed and approved by the Town of Coaldale prior to the commencement of construction of the campground.
6. That an operating and maintenance agreement be entered into for any and all aspects of the campground that involve partnership with the Town of Coaldale, such as but not limited to the sani-dump station and associated turnaround.
7. That, if deemed necessary, the applicant/owner enter into a Development Agreement with the Town of Coaldale.
8. The applicant/owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 11, Off-Street Parking & Loading Requirements.
9. The applicant/owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 9, Landscaping and Amenity Areas Standards and Guidelines.

It was noted that circulation was provided to Parkside Acres, the Coaldale Christian School, and properties adjacent to the campground and future bike park area, and no responses were received.

4-2021

MOTION: J. Peters moved to APPROVE DP 2021-020 subject to conditions:

1. Must obtain **approval** of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 **prior** to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines **prior** to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current

Land Use Bylaw 677-P-04-13, Schedule 2, Institutional/Recreational – I/R.

- 4. That the list of rules submitted as a part of the development permit application be enforced fully and completely at all times during the operation of the campground.*
- 5. That, should any rules in the list of rules as submitted, be changed or otherwise altered in any way, an updated list of rules be provided to the Town in a timely manner, for example, within 5 business days of the rule(s) changing or being altered.*
- 6. The proposed development shall be undertaken, completed, operated and maintained in accordance with Land Use Bylaw No. 677-P-04-13.*
- 7. That the construction of the campground be completed in accordance with plans as submitted, including the camping sites, access roads, washroom facility, playground and other amenities, and the 21 parking stalls that are shown as being in addition to the stall provided for each camping site.*
- 8. That servicing plans including the exact location and design of water, wastewater, and stormwater services required for the campground, be submitted, reviewed and approved by the Town of Coaldale prior to the commencement of construction of the campground.*
- 9. That an operating and maintenance agreement be entered into for any and all aspects of the campground that involve partnership with the Town of Coaldale, such as but not limited to the sani-dump station and associated turnaround.*
- 10. That, if deemed necessary, the applicant/owner enter into Development Agreement with the Town of Coaldale.*
- 11. The applicant/owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 11, Off-Street Parking & Loading Requirements.*
- 12. The applicant/owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 9, Landscaping and Amenity Areas Standards and Guidelines.*
- 13. Applicant/Owner shall contact the fire department at 403-345-1330 and arrange for a fire inspection prior to commencement.*

Carried 5-0

5.4 DP 2021-019 - 1711 20 Avenue - McLennan's Cocktails and Cues Bar and Grill

M. Messier presented Development Permit 2021-019 to review a temporary installation of a seasonal patio at the subject property located at 1711 20 Avenue.

The property is located within the Commercial C-1 zoning district, which does not currently list temporary seasonal patios as an available use, however in this instance the proposed use would be categorized as an accessory structure to the approved discretionary use.

In August of 2020, development permit 2020-102 was approved to allow renovations to the subject property's facade. The proposed application is expected to complement the improvements at the subject property.

The applicant is proposing to install a temporary patio to operate from April 2021 to October 2021. The proposed patio would be installed at the frontage of the business within the public right-of-way and would ultimately occupy the sidewalk. For this reason, the MPC is reviewing the application to consider potential impacts to the surrounding area and businesses.

In order to provide an alternate path-of-travel, the applicant, in partnership with the Town, is proposing that a sidewalk extension be installed alongside the patio space to ensure a safe passage for pedestrians. The sidewalk extension would extend into 3 parking spaces, and the remainder of those stalls would be designated as motorcycle parking for the duration of the pilot project.

Town staff recognizes the desire for convenient parking along 20th Avenue and is committed to seeking ways to provide additional off-street parking in response to the temporary loss of 3 stalls. The four stalls just across the street currently reserved for the RCMP will be available for the general public again once the new RCMP building is completed.

During informal conversations with area stakeholders, it was suggested by two businesses that introducing a time-limit for parking stalls east of the patio could provide increased parking opportunities for patrons, and provide functional recognition that uses to the east are typically frequented by patrons who do not stay for longer than a relatively brief period of time. In addition to the commentary that has been captured through informal correspondence, one formal submission has been made regarding the temporary seasonal patio application, which can be found in Schedule B.

If approved, staff requests that the MPC consider flexibility with the development permit and its conditions to allow the construction of the sidewalk extension, including elements such as building materials to ensure compliance with Safety Codes requirements. The intent of the flexibility requested would not be to deviate from the areas that are proposed to be taken up by the proposed patio.

The installation of the temporary seasonal patio and sidewalk extension should be considered a pilot project for 2021, which would allow the Town to measure the project's success and gather feedback from area stakeholders and the general public in a consistent manner. If the MPC approves the patio, staff is committed to use regular check-ins with surrounding business owners and McLennan's, and feedback from all respective parties to inform a temporary seasonal patio policy based on the pilot's outcomes. The development of a temporary seasonal patio policy would take place over the fall and winter of 2021/2022, and is in-line with best practices demonstrated by many other communities, large and small, that allow sidewalk patios.

Staff requested that the board consider approval of Development Application 2021-019 to allow for the temporary installation of a seasonal patio subject to the following conditions. These conditions will be in addition to standard development permit conditions.

1. As per the Municipal Planning Commission's decision, the temporary seasonal patio shall be permitted to operate between the months of April 2021 - October 2021. The sidewalk extension, railings, and patio furniture must be removed by November 1st, 2021.

2. The temporary seasonal patio permit shall be conditional upon the business owner providing proof of liability insurance, indemnifying the Town from any claims or liabilities arising from the use of Town property.
3. The sidewalk extension access, and clear-path pedestrian thoroughfare must be clear of obstructions and snow at all times.
4. The sidewalk extension is subject to contextual design and safety considerations compliant with all requirements of Superior Safety Codes.
5. The applicant/owner shall ensure railings or fences meet the requirements of the Alberta Gaming, Liquor and Cannabis Commission if alcohol is to be served within the patio area.
6. The applicant/owner is expected to maintain the patio area and furniture in a clean and hygienic manner, and secure or store the patio furniture when not in use outside the hours of business operation.
7. At the termination of the temporary seasonal patio permit, the applicant must return the patio area to its pre-approved condition.
8. If the patio is not being operated in a manner that is considered safe and/or within the confines of any of the conditions of this permit, the business owner will be notified immediately and must comply with remedial steps necessary to rectify the issue(s) that arise.

Notice was provided to neighbouring business owners. Five letters of support and one letter of concern were received.

- The Commission inquired if the Town will be painting different lines to ensure people don't parallel park due to the lack of room to angle park.
- M. Messier advised that there will be either signage or painted lines to assist with parking.
- S. Croil confirmed that there would be both vertical lines painted as well as vertical signage showing motorcycle parking.
- The Commission questioned whether their approval would result in a permanent decision, despite this being a temporary application.
- M. Messier advised that the approval would only be for months identified in the permit.

- The Commission inquired if the application is for all three of the McLennan's buildings.
- M. Messier provided clarity by explaining that the patio would be in extent of one full lot and a portion of another.
- T. McLennan advised that patio will take up 25 feet.
- The Commission asked what the hours of operation would be.
- M. Messier indicated that the hours of operation would be largely depended on AGLC requirements and the applicant's operational hours.

5-2021

MOTION: J. Peters moved to APPROVE DP 2021-019 subject to conditions:

1. *Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement, if deemed necessary.*
2. *Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.*
3. *Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Commercial C-1.*
4. *As per the Municipal Planning Commission's decision, the temporary seasonal patio shall be permitted to operate between the months of April 2021 – October 2021. The sidewalk extension, railings, and patio furniture must be removed by November 1st, 2021.*
5. *The temporary seasonal patio permit shall be conditional upon the business owner providing proof of liability insurance in the sum of no less than 2 million dollars coverage, indemnifying the Town from any claims or liabilities arising from the use of Town property.*
6. *The operation of the patio shall adhere to the Community Standards bylaw 725-R-03-17 as amended.*
7. *The hours of operation (customers in the patio area) is permitted from regular opening hours to 11 pm of each night.*

8. *The sidewalk extension access, and clear-path pedestrian thoroughfare must be clear of obstructions and snow at all times.*
9. *The sidewalk extension is subject to contextual design and safety considerations as per Superior Safety Codes recommendation.*
10. *The applicant/owner shall ensure railings or fences meet the requirements of the Alberta Gaming, Liquor and Cannabis Commission if alcohol is to be served within the patio area.*
11. *At the termination of the temporary seasonal patio permit, the applicant must return the patio area to its pre-approved condition.*
12. *If the patio is not being operated in a manner that is considered safe and/or within the confines of any of the conditions of this permit, the business owner will be notified immediately and must comply with remedial steps necessary to rectify the issue(s) that arise.*
13. *Applicant/Owner shall contact the fire department at 403-345-1330 and arrange for a fire inspection prior to commencement.*

Carried 5-0

5.5 DP 2021-014 - 1010 12 Avenue - Genesis Automotive Sales & Services

M. Messier presented DP 2021-014 to review a change of use and request an intensification of the current use at 1010 12 Avenue.

The parcel is zoned Industry-I, within this zoning district in the Land Use Bylaw, "Automobile Sales and Services" and "Automobile Repair and Service Shops" are considered a discretionary use and for this reason, the application will be reviewed by the MPC.

In August 2020, development application 2020-093 was approved to allow the construction of a new industrial building on the subject property 1010 12 Avenue. Conditions of the permit included all development requirements including landscaping and off-street parking and loading requirements, as based on the most common

uses likely to be undertaken in the industrial zoning (1 stall per 700 ft², based on Gross Floor Area).

The applicant is proposing a change in use to include the following activities:

- Heavy and light duty mechanics;
- Wholesale and retail automotive sales;
- Automotive part sales; and
- Wheel and tire sales.

The applicant is proposing to occupy two bays at the existing building located on the parcel. One bay will be allocated to carrying out heavy-duty mechanics, while the second will be used for automotive mechanics. All retail automotive storage is proposed to be situated at the rear of the building, while the property owner has proposed to install a fence to enclose the vehicles from the surrounding property. Lastly, all wheels and tires are proposed to be stored within the building's showroom. The parking requirement for the uses above is based on 1 stall per 500 ft² of Gross Floor Area. For 4800 ft² of floor area, this translates to 10 stalls (rounding up from 9.6). Storage areas for vehicles for sale would not be a part of the 10 stalls that are required to be provided.

The property that is subject of this application has an approved development permit for the industrial building and conditions outlining general off-street parking and loading requirements, and since the specific uses require additional stalls (3 more than the 7 that would have originally been required for the floor area in question), the applicants have provided a parking and storage plan to that effect. The portion of the application that requires consideration by the Municipal Planning Commission is regarding whether the property is able to accommodate the intensification of use while effectively managing potential impacts to the surrounding area.

6-2021

MOTION: J. VanHierden moved to APPROVE DP 2021-014 subject to conditions:

1. Must obtain **approval** of a Building Permit from Superior Safety Codes Inc at(403) 320-0734 **prior** to commencement for any renovations.
2. Applicant/Owner shall contact the fire department at 403-345-1330 and arrange for a fire inspection prior to occupancy.
3. Approval is for the change of use only. A separate permit must be applied for and approved for any signs.
4. A Business License must be obtained from the Town of Coaldale.
5. Applicant/owner shall comply with Land Use Bylaw no. 677-P-04-13, Schedule 10: Industrial, Commercial and Warehousing Performance Standards.
6. Applicant/owner shall contact the fire department at 403-345-1330 and arrange for a fire inspection for the approved change of use.
7. Applicant/owner shall comply with Land Use Bylaw no. 677-P-04-13, Schedule 11: Off-street Parking and Loading Requirements.
8. Applicant shall submit an updated parking plan displaying an adequate number of stalls as per Schedule 11: Off-street Parking and Loading Requirements, prior to commencement of the use.
9. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines **prior** to commencement.
10. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
11. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.
12. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighborhood.

Carried 5-0

5.6 DP 2021-018 - 903 11 Avenue - Boston Enterprises

M. Messier presented DP 2021-018 to review the construction of a new industrial building and to request a waiver of the minimum landscaping requirements at the subject property located at 903 11 Avenue.

The parcel is zoned Industry-I, within this district in the Land Use Bylaw, "manufacturing" is a permitted use, however, the applicant is requesting a waiver to relax the minimum landscaping requirements outlines in Schedule 9, Landscaping and Amenity Areas Standards and Guidelines.

The applicant is proposing to provide 177.5 m² of landscaping along the frontage of the lot. This constitutes approximately half of the required 10% of the lot or site area as per the LUB. However, the application is proposing that at their cost they landscape the 701 m² MR parcel immediately adjacent to the subject property. Combining the 177.5 m² along the frontage of the lot with the 701 m² Municipal Reserve parcel, this results in approximately 24% of the lot area being landscaped. The Municipal Reserve strip is proposed to be landscaped by the applicant at the same time that all other site landscaping is undertaken. It should also be noted that the minimum 6 metres (20 ft) landscaping buffer between road r-o-w and the subject parcel will be met on the north side of the lot, which is adjacent to 11th Avenue.

Industrial buildings carrying out manufacturing activities is a permitted use in the Industry-I zoning district. The property that is the subject of this application is able to accommodate the construction of the new industrial building to meet all requirements of the Land Use Bylaw. The portion of the application that requires consideration by the Municipal Planning Commission is regarding the waiver of the minimum of 10 percent of the total lot area (or site area) only. Therefore, the scope of this application is limited to whether or not the applicant will be required to provide additional landscaping in addition to the landscape buffer to be located east of the property.

- P. Bos, owner of the land to the north, advised that he is in favour of application.

- S. Croil advised that one of the conditions that was presented to the applicant was that they must match what's being done with the Municipal Reserve strip to the north.

7-2021

MOTION: D. Lloyd moved to APPROVE DP 2021-018 subject to conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Industry-I.
4. A drawing set prepared and stamped by a professional engineer registered to practice in Alberta, showing stormwater, sanitary sewer and potable water design and connections from the site to the municipal infrastructure shall be submitted to, reviewed and approved by the Town prior to commencement of construction.
5. A person to whom a Development Permit for an Industrial building has been issued shall provide the Designated Officer prior to construction a letter from a qualified Alberta Land Surveyor confirming that a qualified Alberta Land Surveyor conducted the Stakeout of the site for construction.
6. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
7. Any outstanding fees and deposits associated with the development application must be paid prior to the release of the permit.
8. The applicant/ owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 10, Industrial, Commercial & Warehousing Performance Standards.
9. The applicant/ owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 11, Off-Street Parking & Loading Requirements.

- 10. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.*
- 11. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighbourhood.*
- 12. As per the Municipal Planning Commission's decision, the developer is required to install all landscaping at their own cost.*
- 13. A detailed landscaping plan for the landscaping to be provided on and adjacent to the applicant's site on the portion of the lot and utility r-o-w fronting onto 11th Avenue, and for the MR parcel that is adjacent to the subject lot, for review and approval by the Development Officer, prior to installation of landscaping taking place.*
- 14. Applicant/Owner shall contact the fire department at 403-345-1330 and arrange for a fire inspection prior to commencement.*

Carried 5-0

5.7 DP 2021-017 - 2805 21 Avenue - Coaldale Home Hardware Building Centre

M. Messier presented DP 2021-017 for an addition to an existing freestanding sign at the subject property located at 2805 21 Avenue.

Within the Highway Commercial C-2 district in the Land Use Bylaw, a freestanding sign is considered a discretionary use and for this reason, the application will be reviewed by the MPC.

This matter has appeared before council previously In September 2017, MPC moved to approve development application 2017-138 at the subject property granting a waiver for the existing freestanding sign.

The applicant is proposing an addition to the existing sign. The proposed addition to the freestanding sign will be 2.9 metres (9 ft) and 10 inches in length, 0.9 metres (3 ft) in height for a total of 2.7 square metres (29.5 sq ft) in area. The applicant has indicated the

sign will not be illuminated and will feature a logo advertising an additional service to be located within the Home Hardware Building Centre.

It is important to note that the existing sign subject to this application has an existing waiver which was granted as part of development application 2017-138. The existing freestanding sign is currently 18 square metres (196.3 sq ft) in area and 9.7 metres (32 ft) in height. The proposed addition will increase the total signage area by 2.7 square metres for a total signage area of 20.7 metres (223 sq ft).

Within the Highway Commercial - C-2 zoning district of the Land Use Bylaw, it states that a freestanding sign is considered a discretionary use. Additionally, in Schedule 13, sign regulations, it is stated that within C-2 districts, the maximum height of a freestanding sign must not exceed 7.6 metres and the maximum sign area shall be no more than 15 square metres on each side of a multiple-sided sign.

8-2021

MOTION: D. Lloyd moved to APPROVE DP 2021-017 subject to conditions:

- 1. Must obtain **approval** of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 **prior** to commencement.*
- 2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines **prior** to commencement.*
- 3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 13, Sign Regulations.*
- 4. Applicant/owner shall comply with Land Use Bylaw 677-P-04-13, Schedule 13, Sign Regulations.*
- 5. The freestanding sign shall **notto** be further enlarged without application and approval of the necessary permits.*
- 6. The freestanding sign shall be used only for on-site advertising and shall contain NO third-party advertising.*
- 7. The development must be completed in its entirety, in accordance with approved plans and conditions. Any*

revisions to the approved plans (including non-completion of the development) must be submitted for approval to the Development Authority.

Carried 5-0

5.8 DP 2021-025 - 3005 13 Street - Kimberly and Tony Tams

M. Messier presented DP 2021-025 to review the construction of a deck at the subject property located at 3005 13 Street.

The parcel is zoned Country Residential CR-2, within this zoning district in the Land Use Bylaw 'accessory structures' is considered a permitted use. However, the application is to review a request for a waiver of side yard setback requirements for the proposed deck.

The applicant is proposing to construct a deck and pool as an addition to the existing deck located at the subject property. The addition is proposed to be constructed on the southernmost portion of the dwelling in the side yard. The deck and pool's surface is proposed to be (1.2 metres) 4' from the ground.

In accordance with the Town's Land Use Bylaw, accessory structures in the side yard require a waiver. As per the Land Use Bylaw, temporary swimming pools are permitted within CR-1 zoning, therefore this application is to review a waiver for the deck only. It is important to note the existing deck will not be altered in any way.

As per the Land Use Bylaw, side yard setbacks within CR-2 zoning are required to be a minimum of 10 feet and the applicant is proposing a new side yard setback of 1 metre (3.5'). Recognizing the deck is not proposed to be a 3-dimensional structure. It is expected that it will have less of a visual impact on the surrounding area; however, it requires the consideration of the MPC for the above-listed reasons.

- D. Bergen advised that as the owner of the adjacent property, he is not opposed to the application.

- The Commission inquired if there is a requirement for a special type of fencing between properties.
- D. Bergen confirmed that if you elect to build a fence, there is a fence spec in the architectural controls. He also confirmed that there is no fence on the southern boundary of this property.

9-2021

MOTION: J. Abrey moved to TABLE DP 2021-025 to allow the applicant time to provide more information.

Carried 5-0

6.0 INFORMATION ITEMS

7.0 CLOSED MEETING

8.0 ADJOURNMENT

The public portion of the meeting was closed at 5:57 P.M .

10-2021

J. Peters moved to adjourn the meeting at 6:30 P.M.

Carried 5-0

CHAIR - R. HOHM

RECORDING SECRETARY - K. STONE

AGENDA ITEM REPORT



Title: SUB 2021-003 - The Seasons
Report Type: Request for Decision
Report Author: Spencer Croil
Meeting: Municipal Planning Commission - 14 Apr 2021
Department: Planning
Reviewed by Supervisor/Peer: Spencer Croil

TOPICS:

Infrastructure:
Projects

Planning and Community Development:
Development, Municipal Planning

COMMITTEES & BOARDS:

Municipal Planning Commission

OBJECTIVE:

The following report is to present the Municipal Planning Commission (MPC) with an application for a subdivision on the parcel of land located on the land legally described as SE-11-09-20-W\$M, Plan 1013475, Block 1, Lot 4. The application is to create fifty (50) 0.04 ha to 0.08 ha (0.10 acre to 0.20 acre) bare land condominium units, one (1) unit for common road property, and the remainder of the subject property being one (1) lot, within the Seasons Manufactured Home Community in southeast Coaldale for residential use.

PREVIOUS COUNCIL DIRECTION:

First time this matter has appeared before Council.

ANALYSIS:

The proposal represents a combination of Phase 2 and 3 of The Seasons Area Structure Plan (ASP), with very slight alterations to the greenspace/pathways network layout that was proposed in the ASP. The rationale for the revised subdivision area (combining Phase 2 and 3 as outlined in the ASP) and the adjustment to greenspace/pathways is based on an alteration to the servicing plans. The total number of residential lots shown in the ASP for the area that is the subject of this subdivision application has been reduced from what the ASP shows fifty-three (53), to the fifty (50) that are being proposed within this application. It is worth noting that the total number of lots being applied for here is fifty-two (52) however one of those is for the roadway and one for the remainder of the subject parcel.

While there are slight alterations to greenspace and pathways alignments in one portion of the area to be subdivided, the proposed layout for the 50 lots and 1 lot representing roadway remains aligned with the intent and purpose of the ASP.

Servicing to the development will be provided by way of privately owned connections to municipal infrastructure and the private road network within the Seasons manufactured home community. Utility r-o-w's will be required in the same manner as have been previously required in prior phases of the Seasons community.

Regarding stormwater, the current Water Act Approval No. 00262038-00-00 has been in effect for all Phase 1 stormwater management works, however, there may be a need to amend that approval to reflect the development of Phase 2 and subsequent phases. Additionally, the ASP and Phase 2 servicing plans show a drainage swale at the backs of the lots that back onto the southerly most property boundary and quarter-section line. The Town will require a drainage r-o-w to be surveyed and registered to ensure the proper operation and maintenance of this swale as development continues in the Seasons community.

KEY CONSIDERATIONS:

The Municipal Planning Commission may consider approval of the application along with the following suggested conditions and considerations:

1. Any outstanding property taxes shall be paid to the Town of Coaldale.
2. The applicant or owner or both enter into a Development Agreement with the Town of Coaldale to address any municipal servicing requirements.
3. That the applicant provides a copy of a bare land condominium plan from a certified Alberta Land Surveyor.
4. That confirmation be provided to the Town of Coaldale by the applicant whether or not amendments to the existing Water Act Approval No. 00262038-00-00 are required for the area that is to be subdivided.
5. That a drainage r-o-w at the southerly boundary of the area to be subdivided, of a width sufficient to the Town of Coaldale, is surveyed and registered with Alberta Land Titles.
6. That any easement(s) as required by utility companies and/or the municipality shall be established.
7. That further direction from the Town Council shall be obtained and adhered to by the applicant regarding the management of the transportation network in the area of the community the subdivision is within, prior to the finalization and registration of the subdivision.
8. That any conditions of Alberta Transportation are met.
9. Consideration of adjacent landowner and referral agency comments.

In accordance with the provisions of Sec. 666, 667 and 699 of the Municipal Government Act, the Subdivision Authority may wish to consider either requiring land, cash-in-lieu of land, or the deferment of the Municipal Reserve required by way of the execution and registration of a deferred reserve caveat, to be placed on either the new lot to be created or the remainder of the subject parcel.

FINANCIAL IMPACT:

None

STAKEHOLDER ENGAGEMENT:

Advertisement(s)

The application has been circulated to the surrounding neighbouring properties and the appropriate referral agencies. The commentary that was provided included:

1. Alberta Transportation did not anticipate that the creation of 52 manufactured home park lots would have any appreciable impact on Highway 845 and effectively granted a waiver of

sections 14 and 15(2) of the Subdivision and Development Regulation. In addition, Alberta Transportation stated any development in the right-of-way or within 300 metres beyond the limit of the highway or within 800 metres from the centre point of the intersection would require the benefit of a permit. The agency noted that the subject property is within noted control lines, however, given the development setbacks will be maintained by default and all access to the highway is indirect, in this instance, a permit from Alberta Transportation will not be required and development of the 52 manufactured home park lots could proceed under the direction, control and management of the town.

2. ATCO Gas requires a Utility Right of Way that should be 3.5 metres in length. All easements are to be registered as a general utility right of way granted to the Municipality and are to be registered concurrently with the legal plan of the subdivision. OR general utility right of way with the Developer.
3. ATCO Pipelines has no objections.
4. Canada Post stated it will provide mail delivery via community mailboxes placed at a central location. Canada Post is currently servicing another phase of this development through existing community mailboxes.
5. FORTIS stated no easement is required. FortisAlberta is the Distribution Wire Service Provider for this area. The developer can arrange the installation of electrical services for this subdivision through FortisAlberta.
6. St. Mary River Irrigation District (SMRID) has no objections provided the suggested conditions and considerations are met as outlined in the application. SMRID will need to be contacted prior to any runoff pumping into the drain. A service fee of \$100.00 GST will apply.
7. TELUS Communications Inc. has no objections to the application.

All commentary provided by neighbouring properties can be found in the attachments below.

DECISION OPTIONS:

The Municipal Planning Commission (MPC) may:

1. Approve the subdivision application with conditions.
2. Table the application pending further information.
3. Reject the application with reasons.

RECOMMENDATION:

THAT the commission approve SUB 2021-003 with conditions.

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIC PLAN:



1. Focus on
Community Safety



2. Focus on Livability



3. Focus on Economic
Health



4. Focus on Good
Governance and
Corporate Excellence



5. Focus on
Responsible and
Responsive Growth



ATTACHMENTS:

[SUB 2021-003 - Notice of Application](#)

[SUB 2021-003 - Commentary from neighbouring property](#)

[SUB 2021-003 - Resolution](#)



TOWN OF COALDALE NOTICE OF APPLICATION FOR SUBDIVISION

DATE: March 24, 2021

Date of Receipt:

February 4, 2021

Date of Completeness:

February 4, 2021

TO: Landowner: Douglas J. Bergen and Associates Ltd.

File Manager: Spencer Croil

Referral Agencies: Palliser School Division, Holy Spirit School Division, Telus, FortisAlberta, AltaLink Management, ATCO Gas, ACTION Pipelines, Alberta Health Services, Alberta Transportation, Alberta Environment and Parks, Historic Resources Administrator, Alberta Energy Regulator, Canada Post, SMRID

Adjacent Landowners: ALFRED BETKE, MARK A. & PAULA A. TROYER, TAMELA F. TUCKER, ROBERT & BRENDA ROSS, BRYAN & KELSIE KRAMER, JOHN & DINY DEHAAS, TYLER & LINDSEY MEGYES, DOUGLAS J. BERGEN & ASSOCIATES LTD., PHILIP & COLE UNGER, DESPERADO FLATS INCORPORATED, SMRID, ANNIE NIKKEL, HERBERT WALL & KRISTINE CARLSEN WALL

PLEASE NOTE, THIS IS A RE-CIRCULATION.

Please see the Planner's Preliminary Comments section below for more information.

The Town of Coaldale is in receipt of the following subdivision application. This letter serves as the formal notice that the submitted application has been determined to be complete for the purpose of processing.

In accordance with the Subdivision and Development Regulation, if you wish to make comments respecting the proposed subdivision, please submit them via email or mail no later than April 12, 2021 (Please quote our File No. SUB 2021-003 in any correspondence that you submit to our office.)

File No: SUB 2021-003

Legal Description PLAN 1013475, BLOCK 1, LOT 4

Civic Address: N/A

Land Designation MANUFACTURED HOME PARK R-3

Existing Use: VACANT LOT

Proposed Use: RESIDENTIAL

Lots Created: 52

Certificate of Title: 101 302 412 +47

Proposal: To create fifty (50) 0.04 ha to 0.08 ha (0.10 acre to 0.20 acre) bareland condominium units, one (1) unit for common road property, and the remainder of the subject property being one (1) lot, with the Seasons Manufactured Home Community in southeast Coaldale for residential use.

Planner's Preliminary Comments:

Information regarding the purpose for the re-circulation

The original notice of application was circulated on February 11th, with the intent being that the application would be considered by the Municipal Planning Commission (MPC) on March 10th. Due to a need to clarify matters pertaining to the transportation network in the area of the community The Seasons is located in, consideration of the application was deferred at that time.

At the regular meeting of Council on March 22, 2021, Town Council approved the preparation and delivery of a public participation plan that will be launched in late March or early April, and will be focused on gathering community feedback regarding the transportation network in this part of the community.

For more information on what was presented at the March 22nd Council meeting, please see Agenda Item 8.1 (pages 42 to 48 of the PDF version of the agenda, available here: <https://www.coaldale.ca/towncouncil>).

The developer has agreed to wait until Town Council has provided further direction on the transportation matters identified in the March 22nd agenda item, to complete the subdivision of the lots being applied for as per this notice of application. For clarification's sake, completing the subdivision in this sense is intended to mean the registration of the subdivision at the provincial Land Titles Office, and the creation of new property titles for each lot being applied for. This is important to note because the developer does wish to obtain subdivision approval at the April 14th meeting, and this is in order to be able to undertake the construction works required to provide services to each of the future lots.

A simplified way of presenting the above detail is provided here:

Step in process: Initial subdivision approval

Timeline: Consideration by the MPC at the April 14, 2021 meeting

Step in process: Construction works necessary to service each future lot

Timeline: to be undertaken spring/summer 2021

Step in process: Subdivision finalization and the creation of lots

Timeline: upon receiving further direction from Town Council on the transportation network in the area

Original comments from the February 11th circulation

The purpose of the application is to create fifty (50) 0.04 ha to 0.08 ha (0.10 acre to 0.20 acre) bareland condominium units, one (1) unit for common road property, and the remainder of the subject property being one (1) lot within the Seasons Manufactured Home Community in southeast Coaldale for residential use. The subdivision area takes up approximately 4.56 ha (11.27 acres) from the titled area containing 20.53 ha (50.72 acres) and is legally described as PLAN 1013475, BLOCK 1, LOT 4.

The proposal represents a combination of Phase 2 and 3 of The Seasons Area Structure Plan (ASP), with very slight alterations to the greenspace/pathways network layout that was proposed in the ASP. The rationale for the revised subdivision area (combining Phase 2 and 3 as outlined in the ASP) and the adjustment to greenspace/pathways is based on an alteration to the servicing plans. The total number of residential lots shown in the ASP for the area that is the subject of this subdivision application has been reduced from what the ASP shows fifty-three (53), to the fifty (50) that are being proposed within this application. It is worth noting that the total number of lots being applied for here is fifty-two (52) however one of those is for roadway and one for the remainder of the subject parcel.

While there are slight alterations to greenspace and pathways alignments in one portion of the area to be subdivided, the proposed layout for the 50 lots and 1 lot representing roadway remain aligned with the intent and purpose of the ASP.

Servicing to the development will be provided by way of privately owned connections to municipal infrastructure and the private road network within the Seasons manufactured home community. Utility r-o-w's will be required in the same manner as have been previously required in prior phases of the Seasons community.

Regarding stormwater, the current Water Act Approval No. 00262038-00-00 has been in effect for all Phase 1 stormwater management works, however there may be a need to amend that approval to reflect the development of Phase 2 and subsequent phases. Additionally, the ASP and Phase 2 servicing plans show a drainage swale at the backs of the lots that back onto the southerly most property boundary and quarter-section line. The Town will require a drainage r-o-w to be surveyed and registered to ensure the proper operation and maintenance of this swale as development continues in the Seasons community.

As such, the Municipal Planning Commission may consider approval of the application along with the following suggested conditions and considerations:

1. Any outstanding property taxes shall be paid to the Town of Coaldale.
2. The applicant or owner or both enter into a Development Agreement with the Town of Coaldale to address any municipal servicing requirements.
3. That the applicant provides a copy of a bareland condominium plan from a certified Alberta Land Surveyor.
4. That confirmation be provided to the Town of Coaldale by the applicant whether or not amendments to the existing Water Act Approval No. 00262038-00-00 are required for the area that is to be subdivided.
5. That a drainage r-o-w at the southerly boundary of the area to be subdivided, of a width sufficient to the Town of Coaldale, is surveyed and registered with Alberta Land Titles.
6. That any easement(s) as required by utility companies and/or the municipality shall be established.
7. That further direction from Town Council shall be obtained and adhered to by the applicant regarding the management of the transportation network in the area of the community the subdivision is within.
8. That any conditions of Alberta Transportation are met.
9. Consideration of adjacent landowner and referral agency comments.

Municipal Reserve:

A deferred reserve caveat for the Municipal Reserve that remains owing is currently registered on the title of the subject property. It is recommended that the deferred reserve caveat remain on the title of the remainder of the parcel currently described as Plan 1013475, Block 1, Lot 4.

Relevant information:

The Town of Coaldale's statutory planning documents and other related planning and development resources are available at <https://www.coaldale.ca/PlanningandDevelopment/directory-planning-and-development-policies-and-resources>.

THIS APPLICATION WILL BE CONSIDERED AT THE MARCH MUNICIPAL PLANNING COMMISSION MEETING, TO BE HELD VIRTUALLY AT 5 PM, WEDNESDAY, MARCH 10th.

If you are an adjacent landowner and wish to provide feedback regarding the application:

1. In Person at the Municipal Planning Commission meeting

Please contact the File Manager (Spencer Croil) prior to April 14th, 2021 in order that information on how to join the virtual meeting can be provided to you well in advance of the meeting. You may reach Spencer at (403) 345 1304 or planner@coaldale.ca.

2. In writing (anonymous submissions will not be accepted)

Please forward your written comments to the File Manager no later than April 14th, 2021, in order that written submissions may be included in the agenda for the Municipal Planning Commission.

You may submit your written comments by email or hard copy. If you wish to submit your written comments by email please send them to planner@coaldale.ca.

Alternatively, if you would rather provide written comments by hard copy, please drop your written comments off at the front desk of the Town Office during regular business hours, OR by placing your written comments in the mail slot located to the right of the front doors of the Town Office. The Town Office is located at 1907, 17th Street, Coaldale.

A note on circulations and feedback: please note that surrounding property owners beyond those defined as adjacent have been circulated the application. The reason that only adjacent property owners are noted and highlighted in the circulation is to ensure the decision made by the Subdivision Authority includes an indication of how the subdivision authority has considered any submissions made to it by an adjacent landowner(s), as per Sec. 8(a) of the Municipal Government Act Subdivision and Development Regulation Alberta Regulation 43/200, as amended.

Submissions received become part of the subdivision file which is available to the applicant and will be considered by the subdivision authority at a public meeting.



TOWN OF COALDALE APPLICATION FOR SUBDIVISION

Date Application Submitted:

2/4/21

FOR OFFICE USE ONLY	
Subdivision Application No.	<u>SUB 2021-003</u>
Date Application Deemed Complete:	<u>2/4/21</u>
Subdivision Application Fee:	<u>\$710</u>
Zoning (as classified under the Land Use Bylaw)	<u>R3</u>

APPLICANT INFORMATION

Name of Registered Owner of Land to be Subdivided (please print):

Douglas J. Bergen & Associates Ltd

Mailing Address:

Box 1667

Phone:

(403) 345-2116

Phone (alternate):

City/Town:

Coaldale

Email:

bergen@bergenassociates.ca

Postal Code:

T1M 1N3
☒ Check this box if you would like to receive documents through email.

AGENT INFORMATION (person authorized to act on behalf of registered owner)

Name of Agent:

Mailing Address:

Phone:

Phone (alternate):

City/Town:

Email:

Postal Code:

☒ Check this box if you would like to receive documents through email.

SURVEYOR INFORMATION

Name of Surveyor:

David J. Amantea, ALS, Brown Okamura & Associates Ltd.

Mailing Address:

2830

Phone:

403-329-4688 Ext. 12912 Avenue N.

Phone (alternate):

403-382-0308

City/Town:

Lethbridge

Email:

david@bokamura.com

Postal Code:

T1H 5JP
☒ Check this box if you would like to receive documents through email.

SUBDIVISION INFORMATION

1. All/part of the SE ¼ Section 11 Township 9 Range 20 West of 4 Meridian
2. Being all/part of: Lot/unit 4 Block 1 Plan 1013475
3. Total area of existing parcel of land (prior to subdivision) is: 20.5270 hectares 50.72 acres
4. Total number of lots to be created: 52 Size of Lot(s): see sketch
5. Municipal/Civic Address (if applicable) _____
6. Certificate of Title No.(s): 101 302 412 +47
7. Is the land situation immediately adjacent to the municipal boundary? ☒ Yes ☐ No
8. Is the land situated within 1.6 kilometers (1 mile) of the right-of-way of a highway? ☒ Yes ☐ No
If yes, the adjoining highway is 845
9. Does the proposed parcel contain or is it bounded by a stream, river, lake or other body of water, or by a canal or drainage ditch? ☐ Yes ☒ No
If yes, state its name: _____
10. What is the existing use of the land? Vacant Land
11. What is the proposed use of the land? Condominium Project
12. Describe the nature of the topography of the land (flat, rolling, steep, mixed): Flat
13. Describe the kind of soil on the land (sandy, loam, clay, etc.): Unknown
14. Is this a vacant parcel? ☒ Yes ☐ No
If no, describe all the buildings and any structures on the land: _____
Will and of the buildings and/or structures be demolished or moved (if yes, indicate which ones): _____
15. Are there any active oil or gas wells or pipelines on the land? ☒ Yes ☐ No
16. Are there any abandoned oil or gas wells or pipelines on the land? ☒ Yes ☐ No
17. What is the existing source of water (if other, please describe)? ☒ Municipal ☐ Other _____
18. What is the existing sewage disposal (if other, please describe)? ☒ Municipal ☐ Other _____
19. What is the proposed sewage disposal (if other, please describe)? ☒ Municipal ☐ Other _____

**TOWN OF COALDALE
SUBDIVISION APPLICATION**

DECLARATION OF APPLICANT/AGENT

☐ Registered Owner ☒ Authorized agent acting on behalf of the registered owner

The information given on this form is full and complete and is, to the best of my knowledge, a true statement of the facts in relation to the application for a Subdivision. I also consent to an authorized person designated by the municipality to enter upon the subject land and buildings for the purpose of an inspection during the processing of this application. This right is granted pursuant to Section 653(2) of the Municipal Government Act.



APPLICANT

David J. Amantea, ALS



Registered Owner (if not the same as applicant)

The following items shall be attached to all Subdivision Applications. This is not an exhaustive list and the file manager may request additional information that is required to assess the application.

☐ Site plan prepared by an Alberta Land Surveyor (ALS), which includes the following details:

- ☐ Scale and north arrow
- ☐ Legal description and municipal address of subject property
- ☐ The accurate location, dimensions, areas and boundaries of the land that is subject to the application, each new lot to be created, any reserve land, existing rights-of-way of each public utility, and other rights of way, easements, railways, canals, or any other feature on or adjacent to the land proposed for subdivision
- ☐ The location, use and dimensions of any building and structures on the land that is the subject of the application dimensioned to the proposed property line and specifying those buildings or structures that are proposed to be demolished or moved.
- ☐ The location of any existing water source (well, cistern, curb stop, etc.) and private sewage treatment systems (holding tank, septic tank/field, open discharge/treatment mound, etc.) on the property dimensioned to existing and proposed property lines.
- ☐ Adjacent municipal roads, provincial highways and any public pathway or trails adjacent to the site, dimensioned from the property lines.
- ☐ Existing and proposed access to each new lot and residual land.
- ☐ The approximate location and boundaries of the bed and shore of any river, stream, watercourse, lake or other body of water that is contained within or bounds the proposed parcel of land.
- ☐ The location of any natural and man-made features such as fences, sloughs, dugouts and/or other bodies of water, and wooded areas and/or shelter belts.

☐ If applicant is not the registered owner, a written statement (or this application) signed by the registered owner consenting to this application.

☐ Application fee payable to the Town of Coaldale.

TERMS:

1. Although the file manager is in a position to advise on the principle or details of any proposals, such advice must not be taken in any way as official consent, and is without prejudice to the decision in connection with the formal application. It must be clearly understood that any action taken by the applicant before a Development Permit is received, is at his own risk.

2. A survey sketch prepared by an Alberta Land Surveyor (ALS), in sufficient detail to enable adequate consideration of the application, must be submitted with this application. It is desirable that the plans and drawings should be on a scale appropriate to the development.
3. If a decision is not made within 60 days from the date of the receipt of the application in its complete and final form, or within such longer period as the applicant may approve in writing.

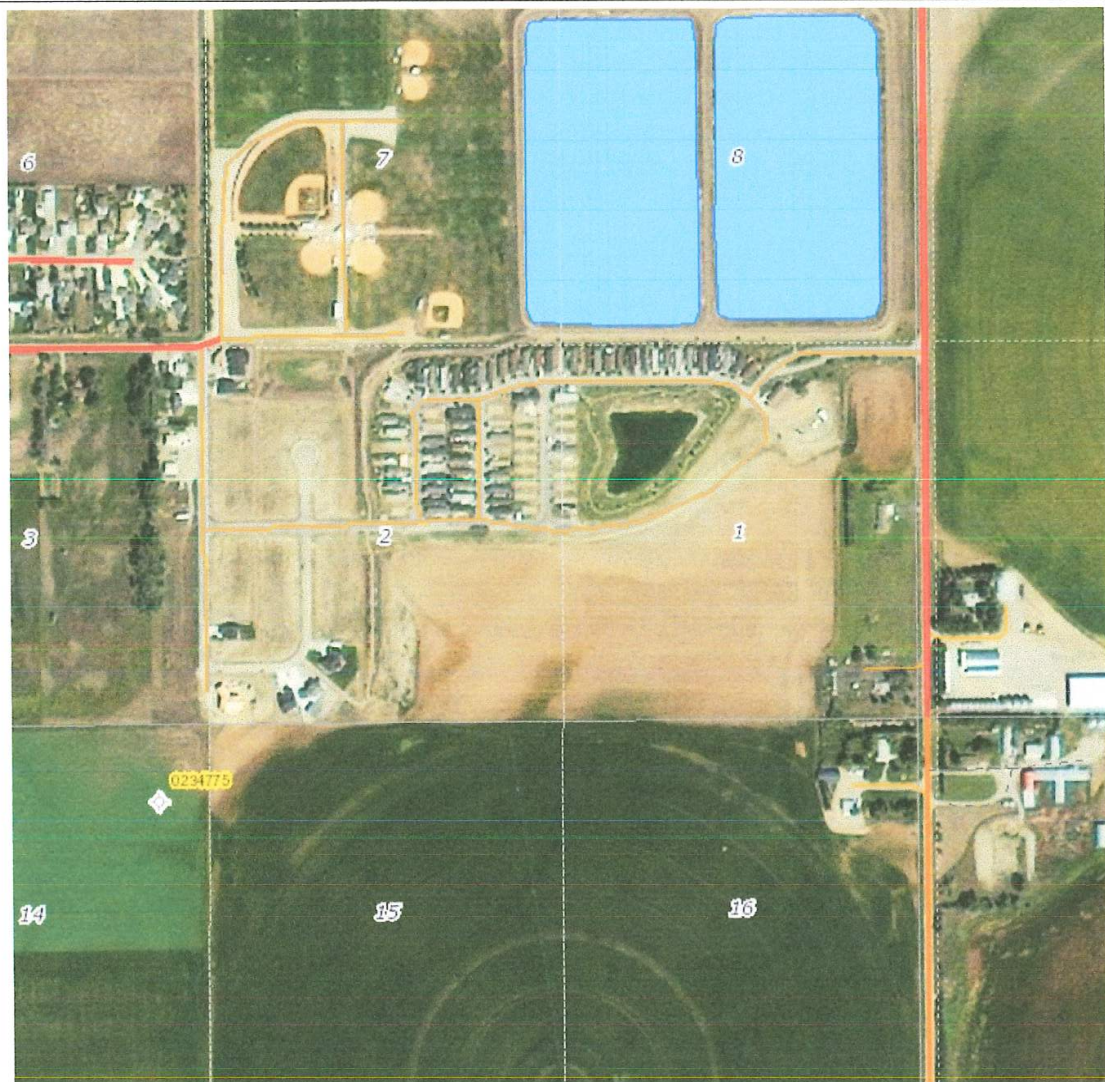
ADDITIONAL INFORMATION:

In addition to the above requirements, the file manager may also require information such as but not limited to:

1. Proof of ownership or right to the land in question and may require a current Real Property Report as proof of location of development on said land.
2. Additional plans (such as an Area Structure Plan, Outline Plan, or Conceptual Scheme) and information may be required and requested due to the nature and magnitude of a proposed subdivision.
3. Existing and proposed site grades, contours and any special topographical features or site conditions (e.g. escarpments, break-of-slope, and unstable areas).
4. A map showing the 1:100 year flood area(s)
5. Land use and land surface characteristics within 0.8 kilometers (½ mile) of the land that is the subject of the application

Please note: the review and determination of completeness of a subdivision application may be delayed if the form and/or additional information provided is incomplete.

FOIP Notification: Your name, home phone number, home address and postal code are collected under the authority of section 33(c) of the Freedom of Information and Protection of Privacy Act. This information will be used in the administration of Town of Coaldale programs. If you have any questions about this collection, contact the FOIP Coordinator, Town of Coaldale, 1920-17th Street, T1M 1M1 or 403-345-1300.



Abandoned Well Map

Base Data provided by: Government of Alberta

Author XXX

Printing Date: 2/3/2021

Date Date (if applicable)

Legend

- ⬠ Abandoned Well (Large Scale)
- Revised Well Location (Large Scale)
- Revised Location Pointer
- Road Paved
- Road Gravel
- Road Other
- Driveway
- Winter Road or Truck Trail
- Unimproved or Unclassified Road
- Rail Line
- Rail Line

The Alberta Energy Regulator (AER) has not verified and makes no representation or warranty as to the accuracy, completeness, or reliability of any information or data in this document or that it will be suitable for any particular purpose or use. The AER is not responsible for any inaccuracies, errors or omissions in the information or data and is not liable for any direct or indirect losses arising out of any use of this information. For additional information about the limitations and restrictions applicable to this document, please refer to the AER Copyright & Disclaimer webpage: <http://www.aer.ca/copyright-disclaimer>.

Scale: 9,602.93

0.15 Kilometers 0

Projection and Datum:

WGS84 Web Mercator Auxiliary Sphere





LAND TITLE CERTIFICATE

S
LINC SHORT LEGAL TITLE NUMBER
0034 519 208 1013475;1;4 101 302 412 +47

LEGAL DESCRIPTION

PLAN 1013475
BLOCK 1
LOT 4
CONTAINING 20.5270 HECTARES (50.72 ACRES) MORE OR LESS
EXCEPTING THEREOUT:
PLAN NUMBER HECTARES (ACRES) MORE OR LESS
CONDOMINIUM 1013774 8.985 22.20
EXCEPTING THEREOUT ALL MINES AND MINERALS

ATS REFERENCE: 4;20;9;11;SE
ESTATE: FEE SIMPLE

MUNICIPALITY: TOWN OF COALDALE

REFERENCE NUMBER: 101 276 296 +2

REGISTERED OWNER(S)
REGISTRATION DATE (DMY) DOCUMENT TYPE VALUE CONSIDERATION

101 302 412 13/10/2010 CONDOMINIUM PLAN

OWNERS

DOUGLAS J. BERGEN & ASSOCIATES LTD.
OF P O BOX 1667
COALDALE
ALBERTA T1M 1N3

ENCUMBRANCES, LIENS & INTERESTS
REGISTRATION
NUMBER DATE (D/M/Y) PARTICULARS

1851AL . RESTRICTIVE COVENANT
1485KX . 21/06/1971 IRRIGATION ORDER/NOTICE
THIS PROPERTY IS INCLUDED IN THE ST. MARY RIVER

(CONTINUED)

ENCUMBRANCES, LIENS & INTERESTS

PAGE 2

101 302 412 +47

REGISTRATION

NUMBER DATE (D/M/Y) PARTICULARS

IRRIGATION DISTRICT

061 013 360	10/01/2006	UTILITY RIGHT OF WAY GRANTEE - ATCO GAS AND PIPELINES LTD.
101 238 159	12/08/2010	UTILITY RIGHT OF WAY GRANTEE - FORTISALBERTA INC.
101 258 711	31/08/2010	UTILITY RIGHT OF WAY GRANTEE - TELUS COMMUNICATIONS INC.
101 276 295	16/09/2010	CAVEAT RE : DEVELOPMENT AGREEMENT PURSUANT TO MUNICIPAL GOVERNMENT ACT CAVEATOR - THE TOWN OF COALDALE. 1920-17 ST. COALDALE ALBERTA T1M1M1
101 302 413	13/10/2010	CAVEAT RE : DEFERRED RESERVE CAVEATOR - THE TOWN OF COALDALE. C/O OLDMAN RIVER REGIONAL SERVICES COMMISSION 3105 16TH AVENUE NORTH LETHBRIDGE ALBERTA T1H5E8
101 302 417	13/10/2010	UTILITY RIGHT OF WAY GRANTEE - TELUS COMMUNICATIONS INC. SEE INSTRUMENT FOR INGRESS AND EGRESS AND AFFECTED PLAN NUMBER
141 314 637	18/11/2014	MORTGAGE MORTGAGEE - SERVUS CREDIT UNION LTD. 151 KARL CLARK RD NW EDMONTON ALBERTA T6N1H5 ORIGINAL PRINCIPAL AMOUNT: \$1,455,250
141 314 638	18/11/2014	CAVEAT RE : ASSIGNMENT OF RENTS AND LEASES CAVEATOR - SERVUS CREDIT UNION LTD. 151 KARL CLARK RD NW EDMONTON ALBERTA T6N1H5 AGENT - VINCENT A LAMMI

TOTAL INSTRUMENTS: 010

(CONTINUED)

THE REGISTRAR OF TITLES CERTIFIES THIS TO BE AN
ACCURATE REPRODUCTION OF THE CERTIFICATE OF
TITLE REPRESENTED HEREIN THIS 22 DAY OF
JANUARY, 2021 AT 11:56 A.M.

ORDER NUMBER: 40874612

CUSTOMER FILE NUMBER:



END OF CERTIFICATE

THIS ELECTRONICALLY TRANSMITTED LAND TITLES PRODUCT IS INTENDED
FOR THE SOLE USE OF THE ORIGINAL PURCHASER, AND NONE OTHER,
SUBJECT TO WHAT IS SET OUT IN THE PARAGRAPH BELOW.

THE ABOVE PROVISIONS DO NOT PROHIBIT THE ORIGINAL PURCHASER FROM
INCLUDING THIS UNMODIFIED PRODUCT IN ANY REPORT, OPINION,
APPRAISAL OR OTHER ADVICE PREPARED BY THE ORIGINAL PURCHASER AS
PART OF THE ORIGINAL PURCHASER APPLYING PROFESSIONAL, CONSULTING
OR TECHNICAL EXPERTISE FOR THE BENEFIT OF CLIENT(S).



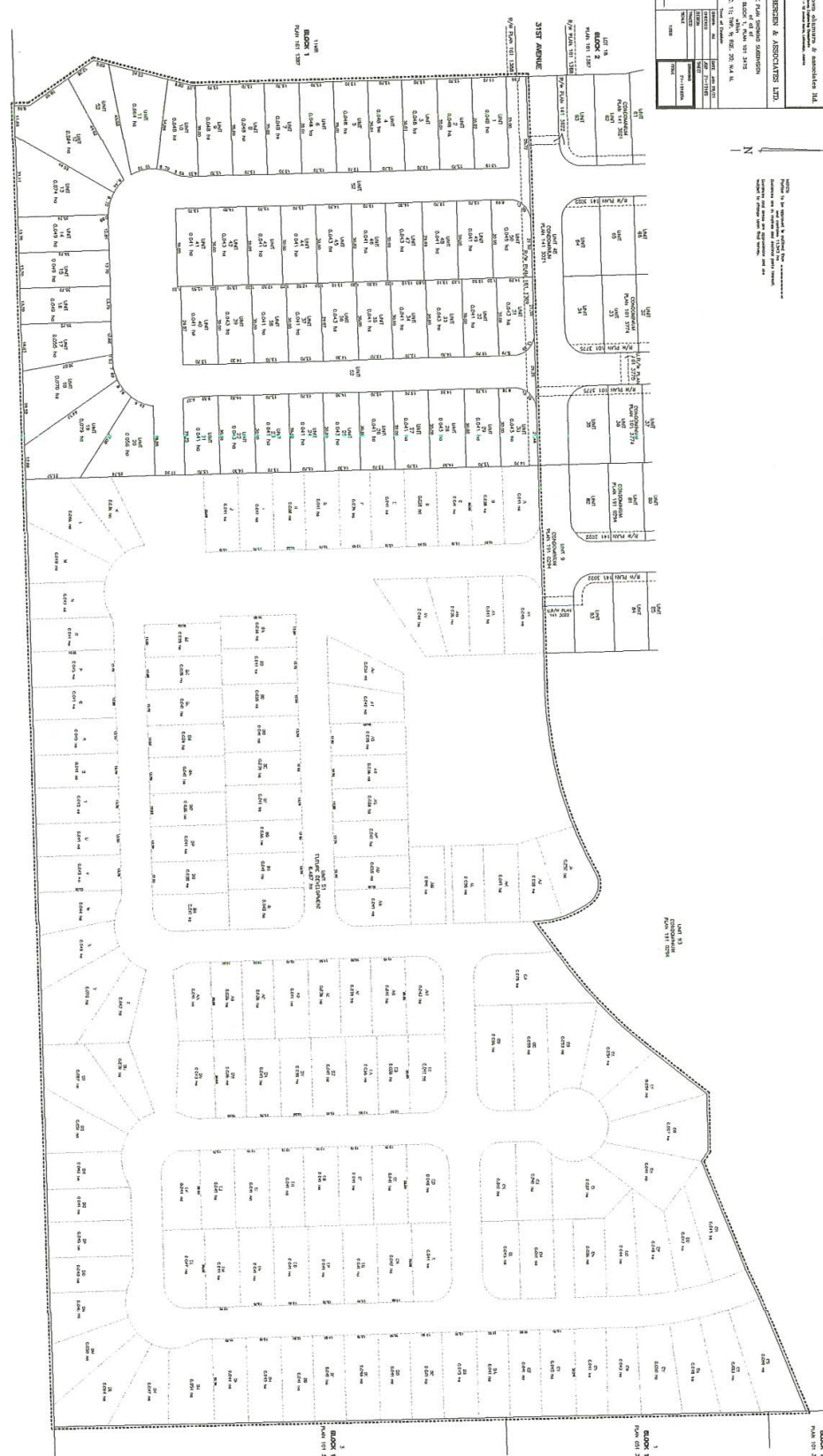
Barbara A. Berman & Associates, Inc.
1000 North 10th Street, Suite 100
Tampa, Florida 33602
Phone: (813) 288-1100
Fax: (813) 288-1101
E-mail: info@bcb-tampa.com

PROJECT: T. BERNARD & ASSOCIATES, LTD.
1000 North 10th Street, Suite 100
Tampa, Florida 33602
Phone: (813) 288-1100
Fax: (813) 288-1101
E-mail: info@bcb-tampa.com

DATE: 12/15/2011
1000 North 10th Street, Suite 100
Tampa, Florida 33602
Phone: (813) 288-1100
Fax: (813) 288-1101
E-mail: info@bcb-tampa.com

NO.	DESCRIPTION	DATE
1	1000 North 10th Street, Suite 100	12/15/2011
2	1000 North 10th Street, Suite 100	12/15/2011
3	1000 North 10th Street, Suite 100	12/15/2011
4	1000 North 10th Street, Suite 100	12/15/2011
5	1000 North 10th Street, Suite 100	12/15/2011
6	1000 North 10th Street, Suite 100	12/15/2011
7	1000 North 10th Street, Suite 100	12/15/2011
8	1000 North 10th Street, Suite 100	12/15/2011
9	1000 North 10th Street, Suite 100	12/15/2011
10	1000 North 10th Street, Suite 100	12/15/2011

N



12/15/2011 12:00 PM



Town of Coaldale

1920 - 17th Street
Coaldale, Alberta
T1M 1M1

Ph: 403-345-1300 Fx: 403-345-1311

OFFICIAL RECEIPT

DOUGLAS J. BERGEN & ASSOCIATES LTD.
PO Box 1667
COALDALE AB T1M 1N3

GST Reg. #: R108125717
Receipt #: 0553835
Receipt Date: 2021/02/04
Page: 1
Received by: KS

Tax Codes: E=Exempt; T=Taxable; I=Included

Reference #	Description	Reference	Tax Code	GST	Payment
	Subdivision Application Fe		E	.00	710.00
	Sub. Lot Fee SE11-9-20-W4		E	.00	17,160.00

Tender Type & Description	Reference	Amount
CQ DOUGLAS J. BERGEN & ASSOCIATES	004539	17,870.00

GST:	.00
Total Amount Paid:	17,870.00
Tender Received:	17,870.00
Change Given:	

THANK YOU FOR YOUR PAYMENT

"The Gem of the West"



the Seasons

TOTAL SITE AREA - 80.0 ACRES
AREA TO BE DEVELOPED - 69.7 ACRES
COUNTRY RESIDENTIAL CR-2 - 4.6 ACRES
COUNTRY RESIDENTIAL CR-1 - 11.1 ACRES
TOTAL AREA = 15.7 ACRES
10% PARK DEDICATION REQUIRED
24% PROVIDED (3.2 ACRES)
MOBILE HOME PARK R-3 - 50.8 ACRES
10% PARK DEDICATION REQUIRED
15.4% PROVIDED (7.8 ACRES)

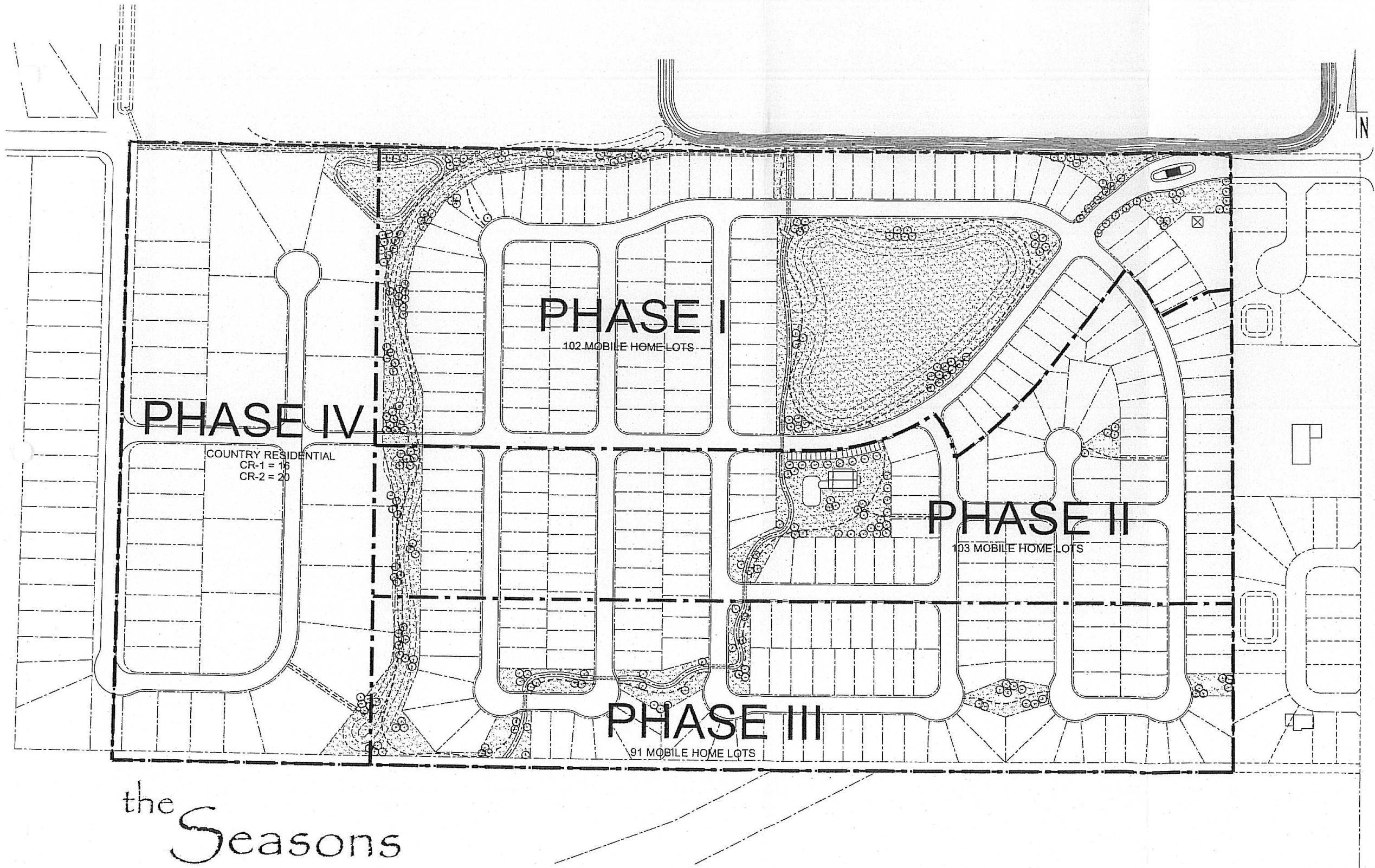
NUMBER OF LOTS		
CR - 2 LOTS	20 LOTS AT 2.7 PEOPLE	= 54
CR - 1 LOTS	10 LOTS AT 2.7 PEOPLE	= 43
R3 LOTS	206 LOTS AT 2.5 PEOPLE	= 740
COMMUNITY HALL	5 LOTS AT 2.5 PEOPLE	= 13
BETKE LAND	43 LOTS AT 2.7 PEOPLE	= 116
TOTAL PEOPLE		= 966

LEGEND	
[Light Yellow Box]	COUNTRY RESIDENTIAL (CR-1) LOTS
[Light Green Box]	COUNTRY RESIDENTIAL (CR-2) LOTS
[Red Box]	MOBILE HOME (R-3) LOTS
[Dark Green Box]	MAINTENANCE AREAS
[Light Orange Box]	RESIDENTIAL (R1-A) LOTS

FIGURE 3.1a

SITE LAYOUT

THE SEASONS
COALDALE, AB



the
Seasons

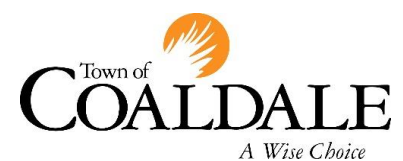
FIGURE 5.1

DEVELOPMENT PHASES

THE SEASONS
COALDALE, AB



SUBDIVISION LOCATION SKETCH
PLAN 1013475, BLOCK 1, LOT 4
WITHIN SE 11-9-20 W4M
FILE: SUB 2021-003
DATE OF SKETCH: FEB. 11, 2021





Melanie Messier <melanie.messier@coaldale.ca>

Fwd: SUB 2021-003

Spencer Croil <planner@coaldale.ca>
To: Melanie Messier <melanie.messier@coaldale.ca>

Tue, Apr 6, 2021 at 11:05 PM

Hi Mel,

Can you include this in the responses received for the subdivision file for the upcoming MPC?

Thanks I appreciate it

----- Forwarded message -----

From: **Roger Murray** <roger.b.murray@gmail.com>
Date: Fri, Apr 2, 2021 at 5:10 PM
Subject: Re: SUB 2021-003
To: Spencer Croil <planner@coaldale.ca>

Hi Spencer,

I'm writing again in regards to SUB2021-003. I received a letter in the mail about Mr. Bergens application to develop the lots in the Seasons again. My biggest concern is the amount of traffic that will ensue when/if these things get built. There are already 70+ trailers in the Seasons. Assuming two cars per trailer, there's already 140+ cars added to 30th ave after their entrance was changed. Adding another 50 lots and 100+ vehicles will absolutely choke 30th ave throughout the year as well as during the summer when baseball and other activities are happening at the quads. 30th ave was already extremely busy during the summer months with the quads, but now with the Seasons entrance moved, the town has added another 140 cars and potentially another 100 more. Not to mention Field Stone when it gets fully developed there will be at least another 80+ vehicles in that area. When it's all said and done, there will be approximately 320 extra vehicles using 30th ave as the only entrance and exit for their communities.

I think the entrance to the Seasons should seriously be considered to be moved back to their original entrance especially if there are another 50 lots being developed. During development there will be more trades vehicles using 30th as well. It is not safe to have that many people using ONE road to enter and exit their communities. 30th ave has had no upgrades to be able to handle this amount of traffic and will not be safe for any pedestrian traffic. I don't know if you've driven down 30th since the line was painted for pedestrians, but not many people are walking in there and are walking all over the road like before.

I loved the way 30th ave was before the seasons had their entrance moved. I would like to love it again, but with the increased traffic and safety hazards that will ensue with continued development and no infrastructure to support it, I am firmly against the proposed development.

Roger Murray
1303 30ave

On Tue, Mar 2, 2021 at 12:48 PM Spencer Croil <planner@coaldale.ca> wrote:

No problem at all Roger. I always appreciate candour

Have a great afternoon

On Tue, Mar 2, 2021 at 9:14 AM Roger Murray <roger.b.murray@gmail.com> wrote:

Thank you Spencer. My first email was pretty candid so I thank you for taking the time to listen and keep me informed.

Roger

On Mar 1, 2021, at 1:58 PM, Spencer Croil <planner@coaldale.ca> wrote:

Good afternoon Roger,

I wanted to send a brief update regarding SUB 2021-003. The applicant has requested that consideration of their application be deferred until further notice.

The item will not be discussed or decided upon at the March 10th MPC meeting.

Thanks very much

On Thu, Feb 25, 2021 at 7:33 PM Spencer Croil <planner@coaldale.ca> wrote:

Thank you for the feedback Roger

Commentary that is received is placed on the staff report for the subdivision and becomes a part of public record. If you could confirm for me that I am able to do that with your submission i would appreciate it.

Thanks very much

On Thu, Feb 25, 2021 at 6:29 PM Roger Murray <roger.b.murray@gmail.com> wrote:

To whom it may concern,

I'm writing in reference to SUB 2021-003. I live at 1303 30ave across from the quads. I've been here for 5 years now and I've seen a steady increase in the amount of traffic in this area. Not only is 30Ave extremely busy in the summer, the seasons got their entrance moved to the new Field Stone development area that Doug Bergen has been developing. Ever since the seasons had their entrance moved (which should never have happened) traffic flow has increased a lot.

Now with a potential increase of 50 more lots and the rest of Field Stone being developed, the amount of traffic will be overwhelming on 30th. If this development is approved it will be horrific for traffic. There has been a dramatic increase of kids hot rodding around this area since the entrance moved. It is not ok.

The entrance to the Seasons should be moved back to the original entrance immediately, but even more so if this development is approved.

I hope my input will be of some value but seeing as I don't have the money that Mr. Bergen throws at the town, I doubt it. The town promised the entrance through Field Stone wouldn't be used for the Seasons, and only for emergencies if it was used.

From my understanding RR201 was supposed to be kept up by Mr. Bergen but since he didn't keep it up like he was supposed to, he somehow managed to get the town to change the entrance.

The proposed developments will add too much traffic to the neighbourhood and 30th ave. With that many people/vehicles using this road already and then adding the people using the quads during the summer and another 50 residences in the seasons is unthinkable. It becomes a safety concern at that point and a major hazard with that many vehicles for only one entry/exit for two larger communities.

The whole situation would be completely different if this area was developed with roads and sidewalks and more entrances/exits from these areas, but since it's not, it's a terrible idea to continue developing this area at the proposed pace. Painting sidewalks on 30th ave is not a solution for pedestrians and traffic.

Years ago the town proposed upgrading 30th ave with wider roads and a walking path and several upgrades. Nothing ever happened. 13th ave was going to be developed but again nothing. Yet when Mr. Bergen gives money to the town, the entrance to the seasons magically happens overnight. Ridiculous.

These are a few of my thoughts regarding the whole development idea and a few of the frustrations I've had with this area of the town.

Thank you

Roger Murray



Spencer Croil, RPP MCIP
Director of Planning and Community Development
Deputy Chief Administrative Officer
Office: 403.345.1304 Cell: 403.393.5858
www.coaldale.ca



Spencer Croil, RPP MCIP
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Deputy Chief Administrative Officer
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4/7/2021

Town of Coaldale Mail - Fwd: SUB 2021-003



Spencer Croil, RPP MCIP
Director of Planning and Community Development
Deputy Chief Administrative Officer
Office: 403.345.1304 Cell: 403.393.5858
www.coaldale.ca

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Spencer Croil, RPP MCIP
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RESOLUTION

2021-003

Town of Coaldale

Residential subdivision of: Residential subdivision of Lot 4 Block 1, Plan 1013475

THAT the Residential subdivision of **SE-11-09-20-W4M**(Certificate of Title No. **101 302 412 +47**), to subdivide 0.04 ha to 0.08 ha (0.10 acre to 0.20 acre) to create fifty (50) bare land condominium units, one (1) for common road property, and the remainder of the subject property being one (1) lot, with the Seasons Manufactured Home Community in southeast Coaldale for residential use: BE APPROVED subject to the following conditions:

CONDITIONS:

1. That, pursuant to Section 654(1) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Coaldale.
2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into a Development Agreement with the Town of Coaldale which shall be registered concurrently with the final plan against the title(s) being created.
3. That the applicant enter into a utility r-o-w agreement with ATCO Gas and that the agreement be registered on title at the same time the subdivision is registered.

REASONS:

1. The proposed subdivision is consistent with the South Saskatchewan Regional Plan and complies with both the Municipal Development Plan and Land Use Bylaw;
2. The Subdivision Authority is satisfied that the proposed subdivision is suitable for the purpose for which the subdivision is intended pursuant to Section 7 of the Subdivision and Development Regulation.

INFORMATIVE:

- a) Since the proposed subdivision complies with Section 633(a) of the Municipal Government Act, Reserve is not required.
- b) That a legal description for the proposed parcel be approved by the Surveys Branch, Land Titles Office, Calgary.
- c) The applicant/owner is advised that other municipal, provincial or federal government or agency approvals may be required as they relate to the subdivision and the applicant/owner is responsible for verifying and obtaining any other approval, permit, authorization, consent or license that may be required to subdivide, develop and/or service the affected land (this may include but is not limited to Alberta Environment and Parks, Alberta Transportation, and the Department of Fisheries and Oceans.)
- d) Alberta Transportation – Leah Olsen – Development/Planning Technologist
The proposal is contrary to Section 14 and subject to the requirements of Section 15(2) of the Subdivision and Development Regulation, being Alberta Regulation 43/2002, consolidated up to 188/2017 (“the regulation”). Alberta Transportation’s primary objective is to allow subdivision and development of adjacent properties in a manner that will not compromise the integrity and associated safe operational use or the future expansion of the provincial highway network. To that end, the parcel to be created will be well removed from Highway 3 with indirect access to the highway being gained solely by way of the local street system. As such, strictly from Alberta Transportation’s point of view, we do not anticipate that the creation of the residential parcel as proposed would have any appreciable impact on the highway.

Therefore, pursuant to Section 16 of the regulation, in this instance Alberta Transportation grants a waiver of said Sections 14 and 15(2). Notwithstanding the foregoing, the applicant would be advised that any

development within the right-of-way or within 300 metres beyond the limit of the highway or within 800 metres from the center point of the intersection of the highway and another highway would require the benefit of a permit from Alberta Transportation. This requirement is outlined in the Highways Development and Protection Regulation, being Alberta Regulation 326/2009.

The subject property is within the noted control lines however given that development setbacks will be maintained by default and all access to the highway is indirect by way of the local street system, in this instance a permit from Alberta Transportation will not be required and development of the residential parcel could proceed under the direction, control and management of the town. The applicant could contact the undersigned, at Lethbridge 403-388-3105, in this regard.

Alberta Transportation accepts no responsibility for the noise impact of highway traffic upon any development or occupants thereof. Noise impact and the need for attenuation should be thoroughly assessed. The applicant is advised that provisions for noise attenuation are the sole responsibility of the developer and should be incorporated as required into the development design. Any peripheral lighting (yard lights/area lighting) that may be considered a distraction to the motoring public or deemed to create a traffic hazard will not be permitted.

Further, should the approval authority receive any appeals in regard to this application and as per Section 678(2.1) of the Municipal Government Act and Section 5(5)(d) of the regulation, Alberta Transportation agrees to waive the referral distance for this particular subdivision application. As far as Alberta Transportation is concerned, an appeal of this subdivision application may be heard by the local Subdivision and Development Appeal Board provided that no other provincial agency is involved in the application.

- e) ATCO Gas – Ellen Struthers
ATCO Gas requires a Utility Right of Way. The utility right of way should be 3.5 meters in width. All easements are to be registered as a general utility right of way granted to the Municipality and are to be registered concurrently with the legal plan of subdivision. No structures or portion thereof may be erected within the right of way without prior written consent for the Company. **OR general utility right of way with the Developer.**
- f) ATCO Pipelines
ATCO Transmission high pressure pipelines has no objections.
- g) Canada Post – Wendy Bauer
Canada Post will provide mail delivery via Community Mailboxes placed at a central location. Canada Post is currently serving another phase of this development through Community Mailboxes as well.
- h) FortisAlberta
FortisAlberta is the Distribution Wire Service Provider for this area. The developer can arrange installation of electrical services for this subdivision through FortisAlberta. Please have the developer contact 310-WIRE (310-9473) to make an application for electrical services.
- i) St. Mary River Irrigation District – Linda Park
The St. Mary River Irrigation District will need to be contacted prior to any runoff being pumping into the drain. A Service Fee of \$100.00 plus GST will apply.
- j) TELUS Communications Inc. has no objections to the mentioned circulation.

MOVER

CHAIRMAN

DATE

AGENDA ITEM REPORT



Title: DP 2021-023 - 1004 24 Avenue
Report Type: Request for Decision
Report Author: Melanie Messier
Meeting: Municipal Planning Commission - 14 Apr 2021
Department: Planning
Reviewed by Supervisor/Peer: Spencer Croil

TOPICS:

Planning and Community Development:
Municipal Planning

OBJECTIVE:

The following report is to present the Municipal Planning Commission (MPC) with an application to review a Home Occupation 2 to offer Botox and Dysport injection services at the subject property located at Plan 8111688, Block 16, Lot 21.

The property is located within the Residential R-1A zoning district, which considers Home Occupation 2 as a discretionary use. For this reason, the application requires the review of the MPC.

PREVIOUS COUNCIL DIRECTION:

First time this matter has appeared before Council.

ANALYSIS:

The applicant is proposing to operate a home office to administer Botox and Dysport injections under the following premises:

- There are currently no other businesses operating out of the residence.
- Up to one client will visit the business per day
- There are 2 on-site parking spaces available for visitors
- This will be a part-time business that operates on evenings and weekends
- 1 employee will visit the residence on a minimal basis
- There will be no advertising on the property

It is worth noting that the applicant is a Licensed Practice Nurse (LPN) and will be operating in accordance with Alberta Health Services guidelines.

Applicable Sections of the Land Use Bylaw:

- Land Use Bylaw, Land Use District, Residential R-1A

KEY CONSIDERATIONS:

Staff requests that the commission considers APPROVAL of Development Application (2021-023) to allow for the operation of a Home Occupation 2 to administer Botox and Dysport services subject to the following conditions. These conditions are in addition to standard development permit conditions associated with Home Occupation 2.

1. Hours of operation will be: 5 pm to 7 pm, Monday to Friday; 9 am to 3 pm, Saturday.
2. Appointments shall be one at a time and by appointment only.
3. At no time shall there be a surplus of vehicles parked on or in front of the subject property to ensure there will be no traffic or parking issues within the neighbourhood.
4. No signage shall be permitted.

FINANCIAL IMPACT:

None

STAKEHOLDER ENGAGEMENT:

The application has been circulated to adjacent neighbouring owners.

DECISION OPTIONS:

The MPC may:

1. Approve the development application with conditions.
2. Deny the application with reasons.
3. Table the application pending further receipt of additional information.

The Development Officer recommends approval of the permit subject to the conditions listed within the staff report.

RECOMMENDATION:

THAT MPC approve DP 2021-023 with conditions.

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIC PLAN:



1. Focus on
Community Safety



2. Focus on Livability



3. Focus on Economic
Health



4. Focus on Good
Governance and
Corporate Excellence



5. Focus on
Responsible and
Responsive Growth

ATTACHMENTS:

[2021-023 - Notice Letter to Adjacent Landowners - Home Occ II](#)
[LUB zoning district - Residential R-1A](#)



March 26, 2021

TO: NEIGHBOURING PROPERTY OWNERS
RE: DEVELOPMENT APPLICATION 2021-023
APPLICANT: CARMEN ANTAL (CAMA BEAUTY)
ADDRESS: 1004 24 AVENUE, COALDALE, ALBERTA
PLAN 8111688, BLOCK 16, LOT 21
ZONING: RESIDENTIAL R-1A

Dear Sir/Madam,

We are in receipt of Development Application #2021-023 to review an application for a Home Occupation 2 to offer Botox injection services at the above-mentioned address.

Within the Residential R-1A zoning district in Land Use Bylaw 677-P-04-13, Home Occupation 2 is a discretionary use, and for that reason requires review by the Municipal Planning Commission (MPC).

The applicant is proposing to operate a home business and administer Botox (Dysport) injections under the following premises:

- There are currently no other businesses operating out of the residence
- Up to 1 client will visit the business per day
- There are 2 on-site parking spaces available for visitors
- Operation of the business will be part-time on evenings and weekends
- 1 employee will visit the residence on a minimal basis
- There will be no advertising on the property.

It is important to note that the applicant is a Licensed Practice Nurse (LPN) and will be operating in accordance with Alberta Health Services guidelines.

The application will be considered and decided upon by the Municipal Planning commission (MPC) at the March MPC meeting.

- **This application will be heard by the MPC at the April 14th meeting, which will be held virtually at 5 pm.**
- **Options for attending the meeting are by virtual means.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by April 8th, 2021 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, April 14th, 2021, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2021-023.**

Any comments you wish to make concerning the application can be made in writing or by email to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 4:00pm on Wednesday, April 12th, 2021 or verbally and by virtual means at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,



Spencer Croil, RPP MCIP
Director of Planning and Community Development
Development Officer

cc. Applicant



RESIDENTIAL – R-1A



Purpose:

To provide for a high-quality residential environment with the development of primarily single-detached dwellings on standard-sized lots or semi-detached dwellings development and other compatible uses. Development is to occur on standard-sized lots as defined in this land use district.

1. (A) PERMITTED USES

- Dwellings:
 - Secondary Suite
 - Single-Detached - Site Built
 - Single-Detached - Prefabricated
 - Semi-Detached - Pre-Planned¹
- Accessory building, structure or use to an approved permitted use
- Day Home
- Detached Garage
- Garden Shed
- Home Occupation 1
- Shipping Container (temporary)

(B) DISCRETIONARY USES

- Dwellings:
 - Moved-In
 - Semi-Detached - Isolated²
- Accessory building, structure or use to an approved discretionary use
- Bed and Breakfast
- Boarding or Lodging House
- Child Care Facility
- Home Occupation 2
- Institutional Facilities and Uses
- Parks and Playgrounds
- Public or Private Utility
- Sign Types³: 2, 4, 5⁴, 12

Notes:

1 – Semi-Detached Dwelling – Pre-Planned means a semi-detached dwelling or a proposed semi-detached dwelling that **would** be located on a site designated for that purpose in an adopted Statutory Plan.

2 – Semi-Detached Dwelling – Isolated means a semi-detached dwelling or proposed semi-detached dwelling that would be located on a site **not** designated for that purpose in an adopted Statutory Plan.

3 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.

4 – See Schedule 13, subsection 8(5)(i) for restrictions on freestanding signs in residential districts.

(C) PROHIBITED USES

- Shipping Container (permanent)
- Single-detached manufactured dwellings
- Sign Types 1, 3, 6, 7, 8, 9, 10, 11
- *Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use*

2. MINIMUM LOT SIZE

Use	Width		Length		Area	
	m	ft.	m	ft.	m ²	ft ²
Single Detached Dwelling	15.24	50	33.53	110	511.00	5,500
Semi-Detached Dwellings (for each side)	10.67	35	33.53	110	357.76	3,850
All other uses	As required by the Designated Officer or Municipal Planning Commission					

- (a) The Designated Officer may approve a development on an existing registered lot if the minimum dimensions or area are less than those specified above in Section 2.
- (b) Despite the above requirements, all lots located on curves or cul-de-sacs shall have a minimum frontage of 6 m (19.68 ft.).

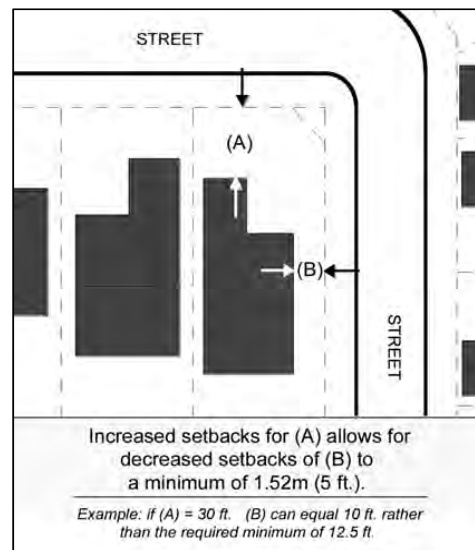
3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS AND USES

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Single-Detached Dwelling	7.62	25	3.81*	12.5*	1.52	5	7.62	25
Semi-Detached Dwellings (for each side)	7.62	25	3.81*	12.5*	1.52	5	7.62	25
All other uses	As required by the Designated Officer or Municipal Planning Commission							

Note: Measurements are from the respective property line to the nearest point of the building.

MINIMUM YARD SETBACKS FOR A CORNER LOT

*The required secondary front yard distance on a corner lot may be reduced by 0.15 m (0.5 ft.) for each 0.3 m (1 ft.) that the front yard setback is increased, providing the resulting secondary front yard setback is never less than 1.52 m (5 ft.). (see diagram)



4. MAXIMUM SITE COVERAGE

- (a) **Total allowable coverage:** 45% inclusive of all buildings
- (b) **Principal building:** 35 - 45% depending on accessory building(s)
The principal dwelling shall not occupy more than 45 percent of the surface area of a lot. Attached garages shall be considered as part of the principal building.
- (c) **Accessory buildings:** 0 - 10% depending on principal building
The combined total of all accessory buildings, including detached garages, shall be no more than 10 percent of the surface area of the lot, or less, depending on the total lot coverage of the principal building.
- (d) Other development shall be at the discretion of the Development Authority.

5. MINIMUM FLOOR AREA

Use	Minimum Floor Area*
Single-Detached Dwellings	74.32 m ² (800 ft ²)
Semi-Detached Dwellings (both units)	130.06 m ² (1,400 ft ²)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*Total floor area of all floors as measured by floors above grade or floors not more than 1.5 m (5 ft.) below grade.

6. MAXIMUM HEIGHT OF BUILDINGS

Use	Maximum Height*
Principal Dwelling	10 m (33 ft.)
Accessory Buildings	4.57 m (15 ft.)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*See definition for Building Height.

7. DRAINAGE

- (a) All dwellings and accessory structures must have eaves and downspouts, proper site grading and all surface drainage must be contained on-site and directed into approved municipal infrastructure.

8. ACCESSORY BUILDINGS (INCLUDING GARDEN SHEDS AND DETACHED GARAGES)

- (a) Minimum setbacks for accessory buildings including garden sheds and detached garages are as follows:

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Accessory Buildings – interior lots and laneless corner lots	See (f) and (g) below.				0.90	3	0.90	3
– laned corner lots	Same as principal		3.05	10	0.90	3	0.90	3

All other uses

As required by the Designated Officer or Municipal Planning Commission

Note: Measurements are from the respective property line to the nearest point of the building.

- (b) No accessory building or use shall be allowed on a lot without an approved principal building or use.
- (c) Accessory structures and uses not specifically included within a development permit require a separate development permit application.
- (d) Accessory buildings on interior lots or laneless corner lots shall not have overhanging eaves less than 0.61 m (2 ft.) from the side and rear lot line.
- (e) Accessory buildings on laned corner lots shall not have overhanging eaves less than 2.74 m (9 ft.) from the secondary front lot line and 0.61 m (2 ft.) from the rear and side lot lines.
- (f) Accessory buildings shall not be located in the front yard.
- (g) Accessory buildings shall not be located in a side yard between the property line and a principal building.
- (h) Accessory buildings shall have a minimum separation of 0.61 m (2 ft.) from the overhanging eaves of the accessory building and the eaves of any other structure or dwelling.
- (i) The exterior finish of all accessory buildings must be the same or complimentary to the principal building.
- (j) A minimum separation distance of 1.22 m (4 ft.) shall be provided between a principal building and any accessory building or structure.

9. MINIMUM LOT LINE SETBACKS FOR OVERHANGING EAVES

- (a) The overhanging eaves of a principal building shall not be less than 0.61 m (2 ft.) from the side lot line.

10. ARCHITECTURAL CONTROL APPROVAL

- (a) Development permits may require developer's Architectural Control review and approval PRIOR to a development permit being issued.

11. PREPLANNED OR COMPREHENSIVE DEVELOPMENTS

Applications for preplanned or comprehensive Developments or Subdivisions should be accompanied by:

- (a) **Development Concept** – A graphic rendering of the project together with a brief written summary of the concept and purpose of the development;
- (b) **Site Plans and Drawings** – Site plans, drawn to an appropriate scale, should be submitted in duplicate. Among other things, they should indicate: dimensions of all existing and proposed lots, existing and proposed roadways and public areas, parking stalls, the location of adjoining parcels and other details needed to describe the proposal;
- (c) **Topographic Details** – Topography of the site, including one metre or one-half metre contours should be provided either on the site plan or on a separate drawing;
- (d) **Contouring and Drainage** – Any proposed cutting and filling or other contouring of the site should be shown on a separate site plan. Proposed drainage of surface runoff should be detailed either on this plan or the main site plan;

- (e) **Roadways and Access** – All existing and proposed public roadways, such as streets, lanes and walkways should be shown and should include the proposed width of each as well as linkages to existing public roads;
- (f) **Development Specifications** – Specifications of the actual development should include such items as: minimum setbacks of all existing or proposed structures from lot boundaries, location, dimension and capacity of parking, driveway access points, approximate location of buildings on each lot, height of structures, etc.;
- (g) **Services and Utilities** – Information on all utilities that will be provided to the site including details pertaining to road construction, sidewalks, curb and gutter, water supply, storm sewer, sanitary sewage disposal and solid waste disposal;
- (h) **Staging of Development** – Proposed staging if the proposed Subdivision or Development will be completed in two (2) or more phases. This should be described together with the purpose of the proposed staging;
- (i) **Architectural Controls** – Any design standards such as type of roofing, building colours, siting of buildings, fencing, etc. to be complied with;
- (j) **Other Information** – And any other information that may be required by the Development Authority to make a recommendation.

12. STANDARDS OF DEVELOPMENT	– SCHEDULE 4
13. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS	– SCHEDULE 5
14. PREFABRICATED DWELLING REGULATIONS	– SCHEDULE 6
15. HOME OCCUPATIONS	– SCHEDULE 7
16. BED AND BREAKFAST STANDARDS	– SCHEDULE 8
17. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES	– SCHEDULE 9
18. OFF-STREET PARKING AND LOADING REQUIREMENTS	– SCHEDULE 11
19. SIGN REGULATIONS	– SCHEDULE 13

AGENDA ITEM REPORT



Title: DP 2021-034 - 1909 9 Street
Report Type: Request for Decision
Report Author: Melanie Messier
Meeting: Municipal Planning Commission - 14 Apr 2021
Department: Planning
Reviewed by Spencer Croil
Supervisor/Peer:

TOPICS:

Planning and Community Development:
Municipal Planning

OBJECTIVE:

The following report is to present the Municipal Planning Commission (MPC) with an application to review a waiver request for maximum lot coverage to allow for a secondary garage at the subject property located at Plan 761006, Block 4, Lot 91.

The property is zoned Residential R-1A, within this zoning district the maximum lot coverage for accessory structures is 10% of the total lot area, inclusive of all accessory buildings. The applicant is proposing an addition of a garage, increasing the total accessory structure lot coverage to 14%. As such, the application requires the review of the Municipal Planning Commission (MPC).

PREVIOUS COUNCIL DIRECTION:

First time this matter has appeared before Council.

ANALYSIS:

The applicant is proposing a secondary garage be built in the south east section of the parcel and will serve as the primary garage for the residence. The applicant intends to convert the existing garage into a shed for the residence.

The dimensions of the proposed garage are as follows:

- 8.5 metres (28 ft) x 7.3 metres (24 ft)
- 4.2 metres (14 ft) in height

The dimensions of the existing garage are as follows:

- 7.3 metres (24 ft) x 4.2 metres (14 ft)

Applicable Sections of the Land Use Bylaw:

- Land Use Bylaw, Schedule 2, Residential R-1A

KEY CONSIDERATIONS:

Staff requests that the commission considers APPROVAL of Development Application (2021-034) to allow for a waiver of maximum lot coverage subject to the following conditions. These conditions are in addition to standard development permit conditions associated with the development of a detached garage.

1. Setbacks shall conform to site plan, which was attached as part of the Development Permit application and to Land Use Bylaw No. 677-P-04-13, Schedule 2, Residential R-1A.
2. Ensure lot drainage is maintained and that lot grade is maintained.
3. The building, when completed, shall meet or exceed provincial building requirements and comply with all provincial and municipal health and fire regulations.
4. There shall be no construction of additional accessory buildings until the existing structures have been removed.

FINANCIAL IMPACT:

None

STAKEHOLDER ENGAGEMENT:

The application has been circulated to neighbouring property owners.

DECISION OPTIONS:

The MPC may:

1. Approve the development application with conditions.
2. Deny the application with reasons.
3. Table the application pending further receipt of further information.

The Development Officer recommends approval of the permit subject to the conditions as listed in the staff report.

RECOMMENDATION:

THAT the commission approves DP 2021-034 with conditions.

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIC PLAN:



1. Focus on
Community Safety



2. Focus on Livability



3. Focus on Economic
Health



4. Focus on Good
Governance and
Corporate Excellence



5. Focus on
Responsible and
Responsive Growth



ATTACHMENTS:

[2021-034 - Notice Letter to Adjacent Landowners - Detached Garage](#)

[2021-034 - site plan and drawings](#)

[LUB zoning district - Residential R-1A](#)



March 26, 2021

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2021-034

APPLICANT: STEPHEN PARSONS

**ADDRESS: 1909 9th STREET, COALDALE, ALBERTA
PLAN 761006, BLOCK 4, LOT 91**

ZONING: RESIDENTIAL R-1A

Dear Sir/Madam,

We are in receipt of Development Application #2021-034 for an application requesting a waiver of maximum lot coverage to allow for a secondary garage at the above-mentioned address.

Within the Residential R-1A zoning district in Land Use Bylaw 677-P-04-13, the maximum lot coverage for accessory structures is 10% of the total lot area, inclusive of all accessory buildings. The applicant is proposing an addition of a garage, increasing the total accessory structure lot coverage to 14%, for this reason the application requires the review of the Municipal Planning Commission (MPC).

The applicant is proposing the secondary garage be built in the south east section of the parcel and will serve as the primary garage for the residence. The original garage is proposed to be converted into a shed for the residence.

The dimensions of the proposed garage are as follows:

- 8.5 m (28 ft) x 7.3 m (24 ft)
- 4.2 m (14 ft) in height

The dimensions of the existing garage are as follows

- 7.3 m (24 ft) x 4.2 m (14 ft)

The application will be considered and decided upon by the Municipal Planning commission (MPC) at the March MPC meeting.

- **This application will be heard by the MPC at the April 14th meeting, which will be held virtually at 5 pm.**
- **Options for attending the meeting are by virtual means.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by April 8th, 2021 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, April 14th, 2021, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2021-023.**

Any comments you wish to make concerning the application can be made in writing or by email to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 4:00pm on Wednesday, April 12th, 2021 or verbally and by virtual means at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

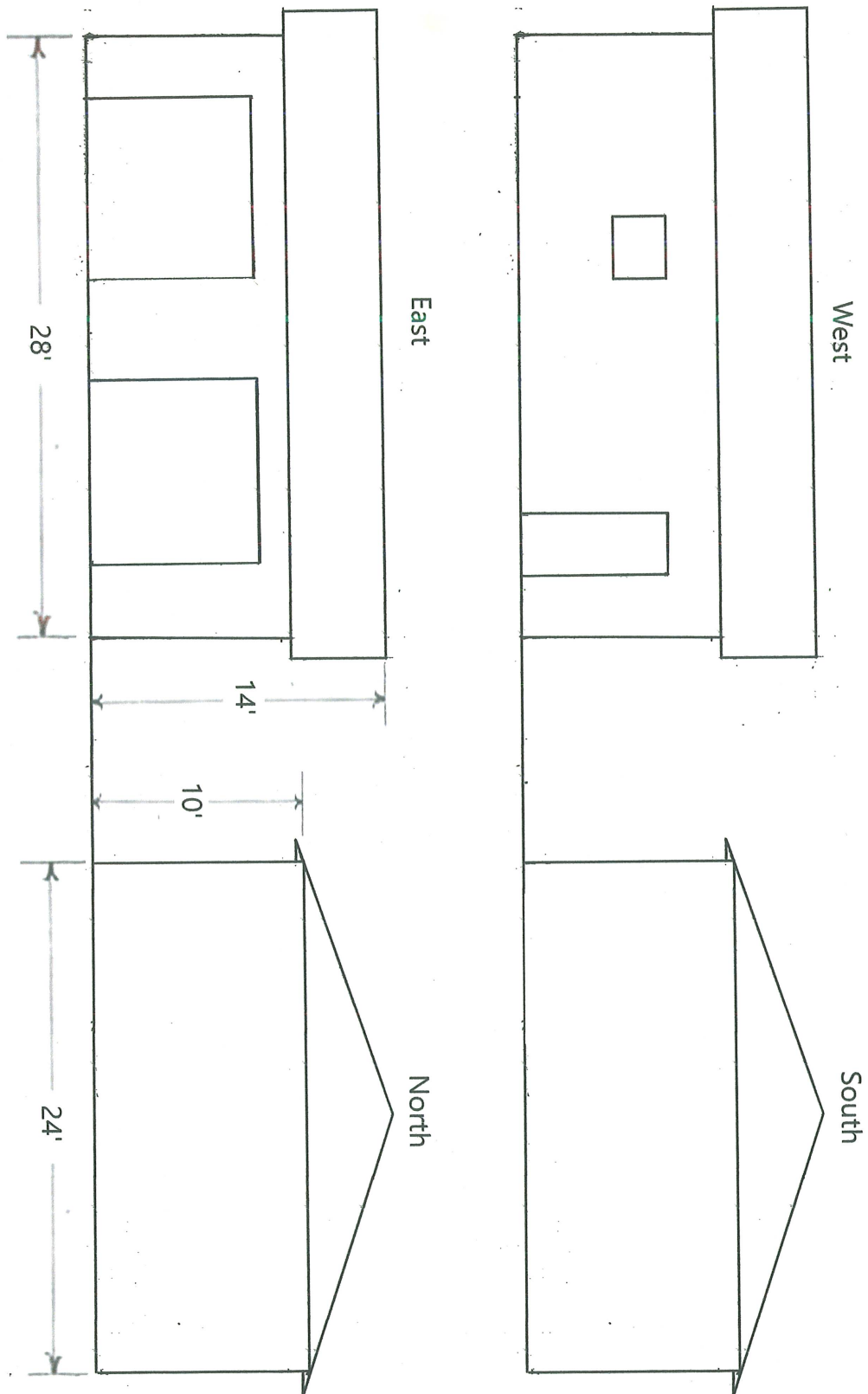
Sincerely,



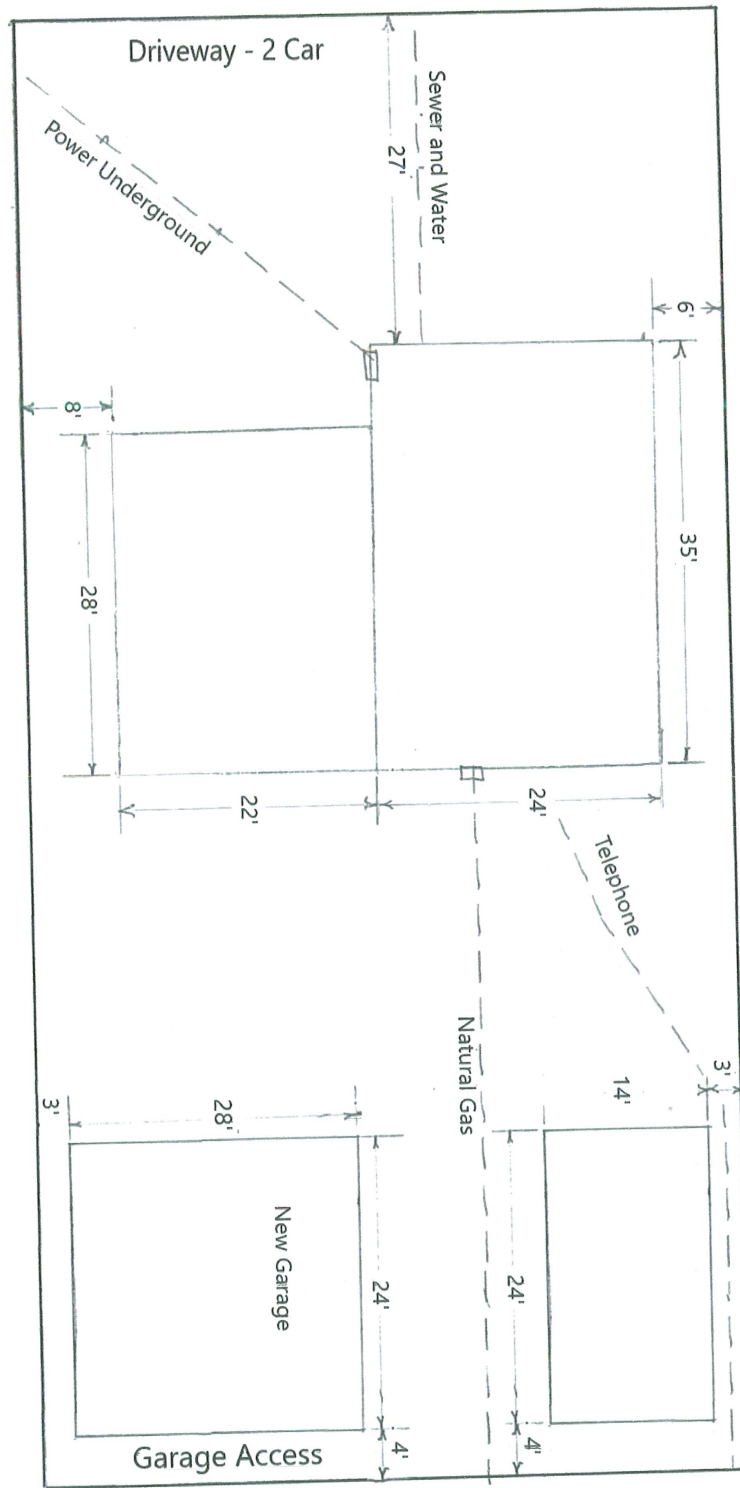
Spencer Croil, RPP MCIP
Director of Planning and Community Development
Development Officer

cc. Applicant





9th Street

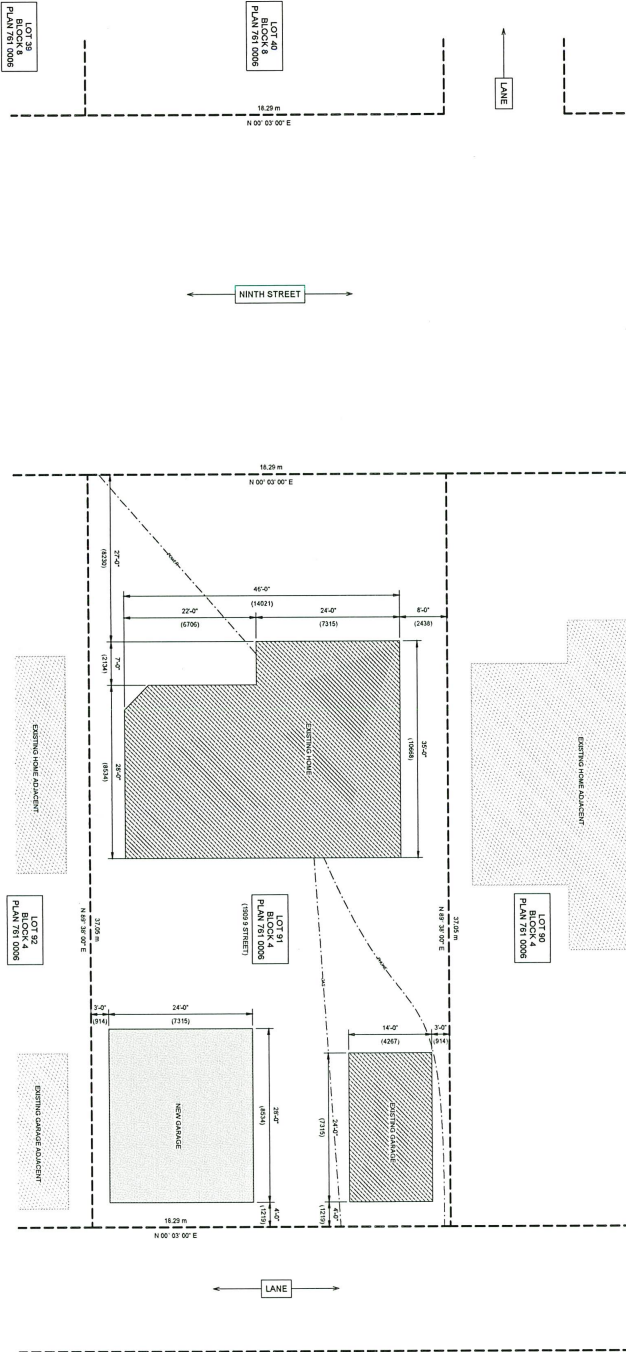


1909 9th Street Coal Dale Lot 91 BLK 4, Plan 7610006

Lot Dimensions
 60ft by 121.5ft
 Area; 7283 sq. ft
 coverage including new: 2464 sq.ft
 % coverage 34%



SITE NOTES	
LOT BLOCK/PLAN	14.1, 13.1006
PARCEL ADDRESS	1303 S. STREET
LAND USE	RESIDENTIAL, R-1A
LOT AREA	678 m ² (7329 sq ft)
EXISTING BUILDING AREA	148 m ² (1598 sq ft)
EXISTING GARAGE	37 m ² (398 sq ft)
EXISTING LOT COVERAGE	24%
NEW EXISTING GARAGE	27 m ² (291 sq ft)
NEW EXISTING GARAGE	117 m ² (1257 sq ft)
NEW LOT COVERAGE	53% (3572 sq ft)



RESIDENTIAL – R-1A



Purpose:

To provide for a high-quality residential environment with the development of primarily single-detached dwellings on standard-sized lots or semi-detached dwellings development and other compatible uses. Development is to occur on standard-sized lots as defined in this land use district.

1. (A) PERMITTED USES

- Dwellings:
 - Secondary Suite
 - Single-Detached - Site Built
 - Single-Detached - Prefabricated
 - Semi-Detached - Pre-Planned¹
- Accessory building, structure or use to an approved permitted use
- Day Home
- Detached Garage
- Garden Shed
- Home Occupation 1
- Shipping Container (temporary)

(B) DISCRETIONARY USES

- Dwellings:
 - Moved-In
 - Semi-Detached - Isolated²
- Accessory building, structure or use to an approved discretionary use
- Bed and Breakfast
- Boarding or Lodging House
- Child Care Facility
- Home Occupation 2
- Institutional Facilities and Uses
- Parks and Playgrounds
- Public or Private Utility
- Sign Types³: 2, 4, 5⁴, 12

Notes:

1 – Semi-Detached Dwelling – Pre-Planned means a semi-detached dwelling or a proposed semi-detached dwelling that **would** be located on a site designated for that purpose in an adopted Statutory Plan.

2 – Semi-Detached Dwelling – Isolated means a semi-detached dwelling or proposed semi-detached dwelling that would be located on a site **not** designated for that purpose in an adopted Statutory Plan.

3 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.

4 – See Schedule 13, subsection 8(5)(i) for restrictions on freestanding signs in residential districts.

(C) PROHIBITED USES

- Shipping Container (permanent)
- Single-detached manufactured dwellings
- Sign Types 1, 3, 6, 7, 8, 9, 10, 11
- *Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use*

2. MINIMUM LOT SIZE

Use	Width		Length		Area	
	m	ft.	m	ft.	m ²	ft ²
Single Detached Dwelling	15.24	50	33.53	110	511.00	5,500
Semi-Detached Dwellings (for each side)	10.67	35	33.53	110	357.76	3,850
All other uses	As required by the Designated Officer or Municipal Planning Commission					

- (a) The Designated Officer may approve a development on an existing registered lot if the minimum dimensions or area are less than those specified above in Section 2.
- (b) Despite the above requirements, all lots located on curves or cul-de-sacs shall have a minimum frontage of 6 m (19.68 ft.).

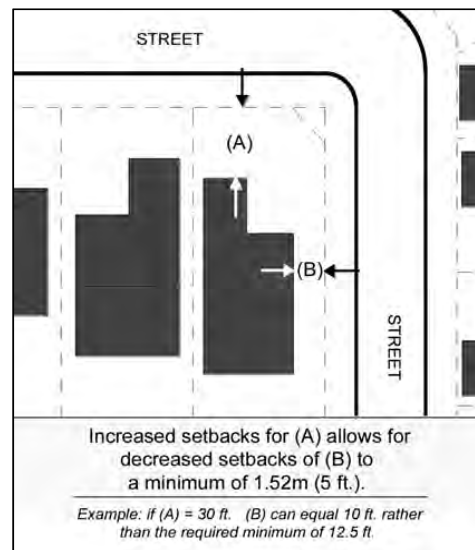
3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS AND USES

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Single-Detached Dwelling	7.62	25	3.81*	12.5*	1.52	5	7.62	25
Semi-Detached Dwellings (for each side)	7.62	25	3.81*	12.5*	1.52	5	7.62	25
All other uses	As required by the Designated Officer or Municipal Planning Commission							

Note: Measurements are from the respective property line to the nearest point of the building.

MINIMUM YARD SETBACKS FOR A CORNER LOT

*The required secondary front yard distance on a corner lot may be reduced by 0.15 m (0.5 ft.) for each 0.3 m (1 ft.) that the front yard setback is increased, providing the resulting secondary front yard setback is never less than 1.52 m (5 ft.). (see diagram)



4. MAXIMUM SITE COVERAGE

- (a) **Total allowable coverage:** 45% inclusive of all buildings
- (b) **Principal building:** 35 - 45% depending on accessory building(s)
The principal dwelling shall not occupy more than 45 percent of the surface area of a lot. Attached garages shall be considered as part of the principal building.
- (c) **Accessory buildings:** 0 - 10% depending on principal building
The combined total of all accessory buildings, including detached garages, shall be no more than 10 percent of the surface area of the lot, or less, depending on the total lot coverage of the principal building.
- (d) Other development shall be at the discretion of the Development Authority.

5. MINIMUM FLOOR AREA

Use	Minimum Floor Area*
Single-Detached Dwellings	74.32 m ² (800 ft ²)
Semi-Detached Dwellings (both units)	130.06 m ² (1,400 ft ²)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*Total floor area of all floors as measured by floors above grade or floors not more than 1.5 m (5 ft.) below grade.

6. MAXIMUM HEIGHT OF BUILDINGS

Use	Maximum Height*
Principal Dwelling	10 m (33 ft.)
Accessory Buildings	4.57 m (15 ft.)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*See definition for Building Height.

7. DRAINAGE

- (a) All dwellings and accessory structures must have eaves and downspouts, proper site grading and all surface drainage must be contained on-site and directed into approved municipal infrastructure.

8. ACCESSORY BUILDINGS (INCLUDING GARDEN SHEDS AND DETACHED GARAGES)

- (a) Minimum setbacks for accessory buildings including garden sheds and detached garages are as follows:

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Accessory Buildings – interior lots and laneless corner lots	See (f) and (g) below.				0.90	3	0.90	3
– laned corner lots	Same as principal		3.05	10	0.90	3	0.90	3

All other uses

As required by the Designated Officer or Municipal Planning Commission

Note: Measurements are from the respective property line to the nearest point of the building.

- (b) No accessory building or use shall be allowed on a lot without an approved principal building or use.
- (c) Accessory structures and uses not specifically included within a development permit require a separate development permit application.
- (d) Accessory buildings on interior lots or laneless corner lots shall not have overhanging eaves less than 0.61 m (2 ft.) from the side and rear lot line.
- (e) Accessory buildings on laned corner lots shall not have overhanging eaves less than 2.74 m (9 ft.) from the secondary front lot line and 0.61 m (2 ft.) from the rear and side lot lines.
- (f) Accessory buildings shall not be located in the front yard.
- (g) Accessory buildings shall not be located in a side yard between the property line and a principal building.
- (h) Accessory buildings shall have a minimum separation of 0.61 m (2 ft.) from the overhanging eaves of the accessory building and the eaves of any other structure or dwelling.
- (i) The exterior finish of all accessory buildings must be the same or complimentary to the principal building.
- (j) A minimum separation distance of 1.22 m (4 ft.) shall be provided between a principal building and any accessory building or structure.

9. MINIMUM LOT LINE SETBACKS FOR OVERHANGING EAVES

- (a) The overhanging eaves of a principal building shall not be less than 0.61 m (2 ft.) from the side lot line.

10. ARCHITECTURAL CONTROL APPROVAL

- (a) Development permits may require developer's Architectural Control review and approval PRIOR to a development permit being issued.

11. PREPLANNED OR COMPREHENSIVE DEVELOPMENTS

Applications for preplanned or comprehensive Developments or Subdivisions should be accompanied by:

- (a) **Development Concept** – A graphic rendering of the project together with a brief written summary of the concept and purpose of the development;
- (b) **Site Plans and Drawings** – Site plans, drawn to an appropriate scale, should be submitted in duplicate. Among other things, they should indicate: dimensions of all existing and proposed lots, existing and proposed roadways and public areas, parking stalls, the location of adjoining parcels and other details needed to describe the proposal;
- (c) **Topographic Details** – Topography of the site, including one metre or one-half metre contours should be provided either on the site plan or on a separate drawing;
- (d) **Contouring and Drainage** – Any proposed cutting and filling or other contouring of the site should be shown on a separate site plan. Proposed drainage of surface runoff should be detailed either on this plan or the main site plan;

- (e) **Roadways and Access** – All existing and proposed public roadways, such as streets, lanes and walkways should be shown and should include the proposed width of each as well as linkages to existing public roads;
- (f) **Development Specifications** – Specifications of the actual development should include such items as: minimum setbacks of all existing or proposed structures from lot boundaries, location, dimension and capacity of parking, driveway access points, approximate location of buildings on each lot, height of structures, etc.;
- (g) **Services and Utilities** – Information on all utilities that will be provided to the site including details pertaining to road construction, sidewalks, curb and gutter, water supply, storm sewer, sanitary sewage disposal and solid waste disposal;
- (h) **Staging of Development** – Proposed staging if the proposed Subdivision or Development will be completed in two (2) or more phases. This should be described together with the purpose of the proposed staging;
- (i) **Architectural Controls** – Any design standards such as type of roofing, building colours, siting of buildings, fencing, etc. to be complied with;
- (j) **Other Information** – And any other information that may be required by the Development Authority to make a recommendation.

12. STANDARDS OF DEVELOPMENT	– SCHEDULE 4
13. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS	– SCHEDULE 5
14. PREFABRICATED DWELLING REGULATIONS	– SCHEDULE 6
15. HOME OCCUPATIONS	– SCHEDULE 7
16. BED AND BREAKFAST STANDARDS	– SCHEDULE 8
17. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES	– SCHEDULE 9
18. OFF-STREET PARKING AND LOADING REQUIREMENTS	– SCHEDULE 11
19. SIGN REGULATIONS	– SCHEDULE 13

AGENDA ITEM REPORT



Title: DP 2021-039 - 903 11 Avenue
Report Type: Request for Decision
Report Author: Melanie Messier
Meeting: Municipal Planning Commission - 14 Apr 2021
Department: Planning
Reviewed by Supervisor/Peer: Spencer Croil

TOPICS:

Planning and Community Development:
Municipal Planning

OBJECTIVE:

The following report is to present the Municipal Planning Commission (MPC) with an application to review a change of use to allow for an 'Automotive Repair and Service Shop' at the subject property Plan 1811685, Block 18, Lot 11.

The parcel is zoned Industry-I, within this zoning district in the Land Use Bylaw, an 'Automobile Repair and Service Shop' is considered a discretionary use and for this reason, the application will be reviewed by the MPC.

PREVIOUS COUNCIL DIRECTION:

First time this matter has appeared before Council.

ANALYSIS:

The applicant is proposing a change in use to include the following activities:

- A space for automotive repair and storage
- Storage is proposed to be leased out as rental space
- The building is to have a total of 8 bays
- 4 bays to be dedicated to automobile services and 4 for storage (rental space)
- The applicant is proposing 13 parking stalls inclusive of 1 barrier free stall

The parking requirement for the use described above is based on 1 stall per 500 ft² of GFA. For 7000 ft² of floor area, this translates to 14 stalls. However, based on only half of the bays being utilized for automotive repair, approximately 60% or 4200 ft² would account for a required 8.4 parking stalls allocated for the 4 bays.

Applicable Sections of the Land Use Bylaw:

- Land Use Bylaw, Schedule 2, Industry-I land use district
- Land Use Bylaw, Schedule 11, Off-street Parking and Loading Requirements

KEY CONSIDERATIONS:

Staff requests that the commission considers APPROVAL of Development Application (2021-039) to allow a change of use to allow an 'Automotive Repair and Service Shop' subject to the following conditions. These conditions are in addition to standard development permits associated with change of use applications.

1. Applicant/owner shall comply with Land Use Bylaw no. 677-P-04-13: Off-street Parking and Loading Requirements.

FINANCIAL IMPACT:

None

STAKEHOLDER ENGAGEMENT:

The application has been circulated to neighbouring property owners.

DECISION OPTIONS:

The MPC may:

1. Approve the development application with conditions.
2. Deny application with reasons.
3. Table the application pending further receipt of further information.

The Development Officer recommends approval of the permit subject to the conditions listed in the staff report.

RECOMMENDATION:

THAT the commission approves DP 2021-039 with conditions.

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIC PLAN:**ATTACHMENTS:**

[2021-039 - Notice Letter to Adjacent Landowners - Change of use](#)
[DP 2021-039 - Building drawings](#)
[LUB - Schedule 2 - Industry I](#)
[LUB - Schedule 11 - Offstreet parking and loading requirements](#)



April 1, 2021

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2021-039

APPLICANT: TONY BOS

**ADDRESS: 903 11 AVENUE, COALDALE, ALBERTA
PLAN 1811685, BLOCK 18, LOT 11**

ZONING: INDUSTRY-I

Dear Sir/Madam,

We are in receipt of Development Application #2021-039 requesting a change of use to 'Automotive Repair and Service Shop' at the above-mentioned address.

Within the Industry-I zoning district in Land Use Bylaw 677-P-04-13, an 'Automotive Repair and Service Shop' is considered a discretionary use and therefore requires the review of the Municipal Planning Commission (MPC).

The applicant is proposing a new industrial building with the following features:

- A space for automotive repair and automotive storage
- Storage is proposed to be leased out as rental space
- The building is to have a total of 8 bays.
- 4 bays dedicated to automobile services and 4 to storage (rental space).
- The applicant is proposing 13 parking stalls inclusive of 1 barrier free stall.

The application will be considered and decided upon by the Municipal Planning commission (MPC) at the April MPC meeting.

- **This application will be heard by the MPC at the April 14th meeting, which will be held virtually at 5 pm.**
- **Options for attending the meeting are by virtual means.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by April 8th, 2021 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, April 14th, 2021, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2021-039.**

Any comments you wish to make concerning the application can be made in writing or by email to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 4:00pm on Wednesday, April 12th, 2021 or verbally and by virtual means at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

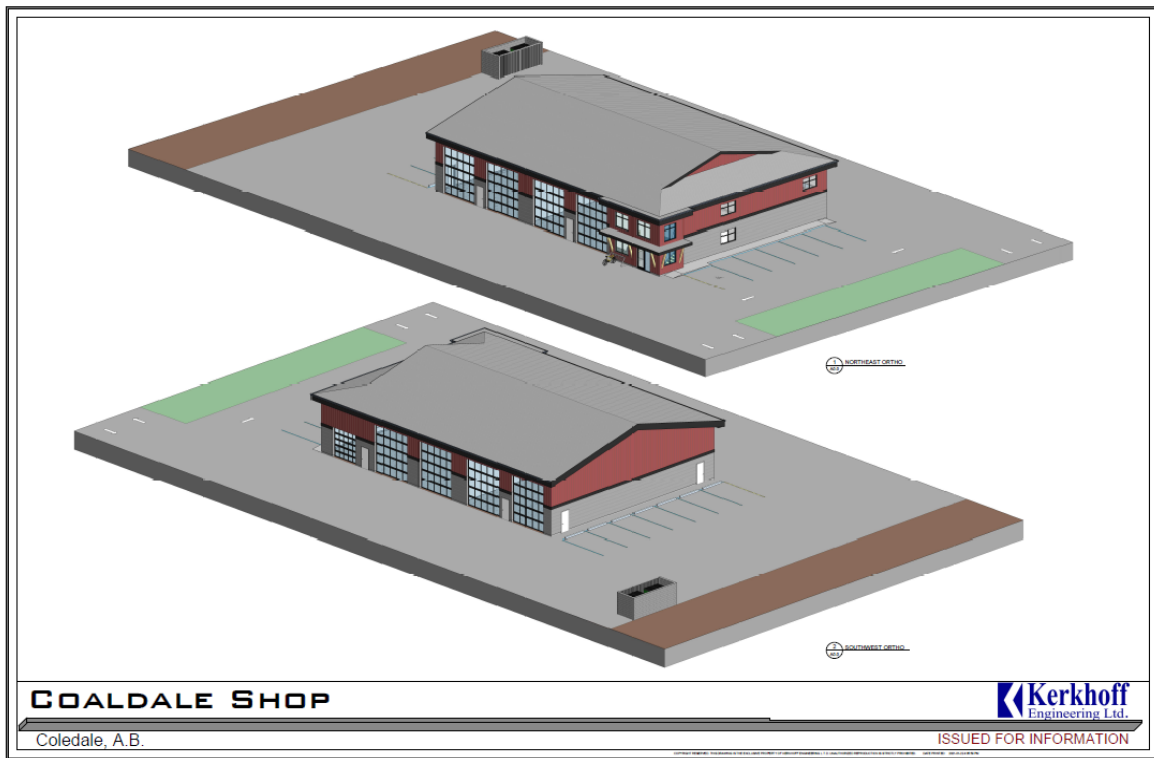
Sincerely,

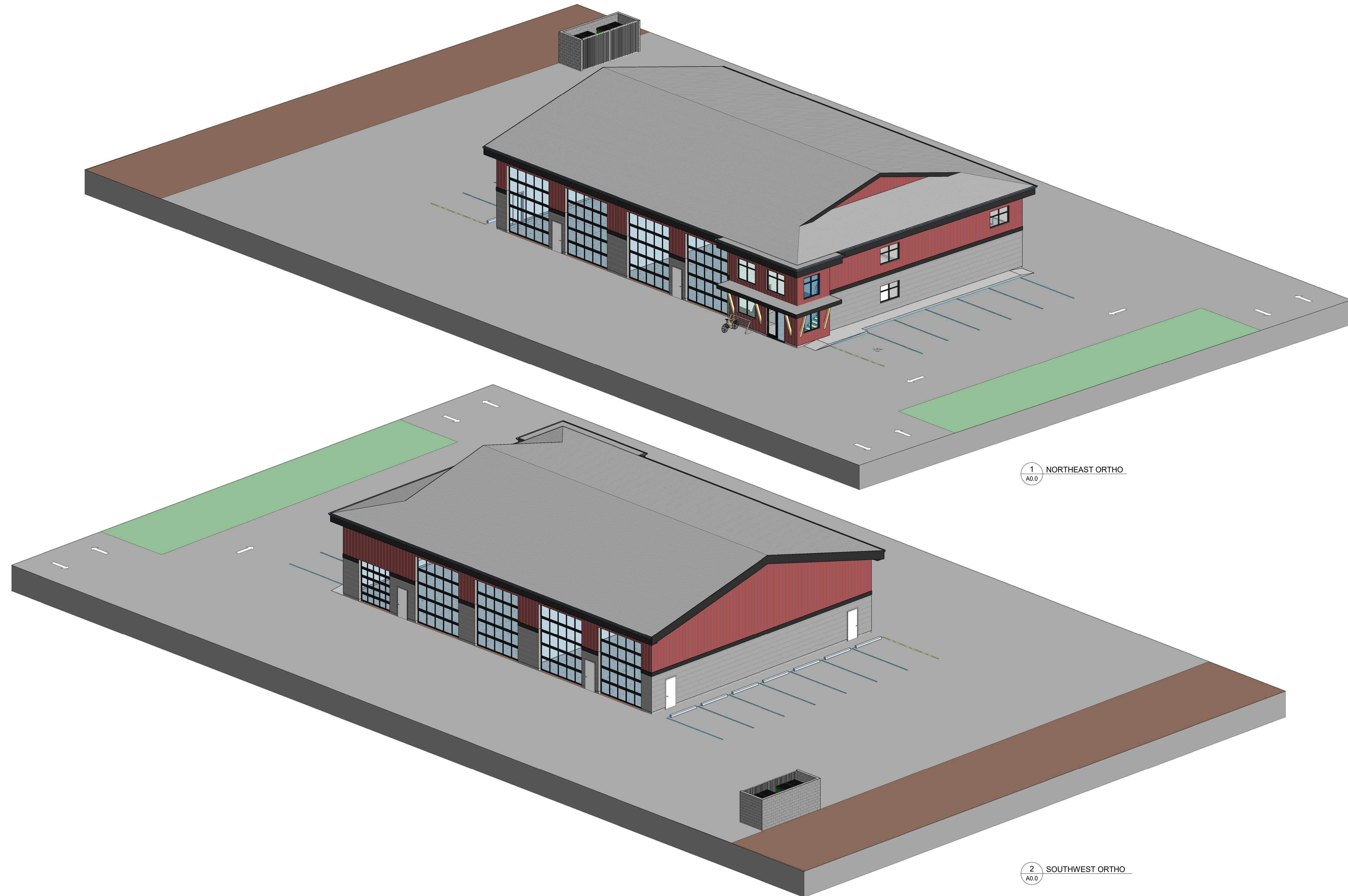


Spencer Croil, RPP MCIP
Director of Planning and Community Development
Development Officer

cc. Applicant





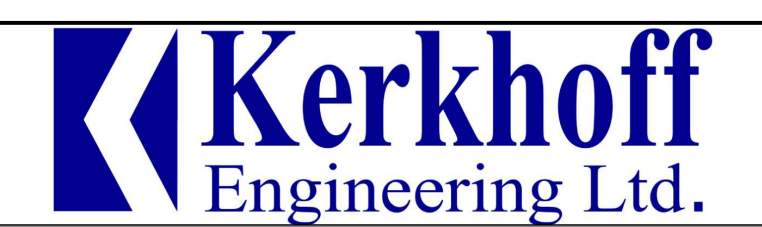


1 NORTHEAST ORTHO
A0.0

2 SOUTHWEST ORTHO
A0.0

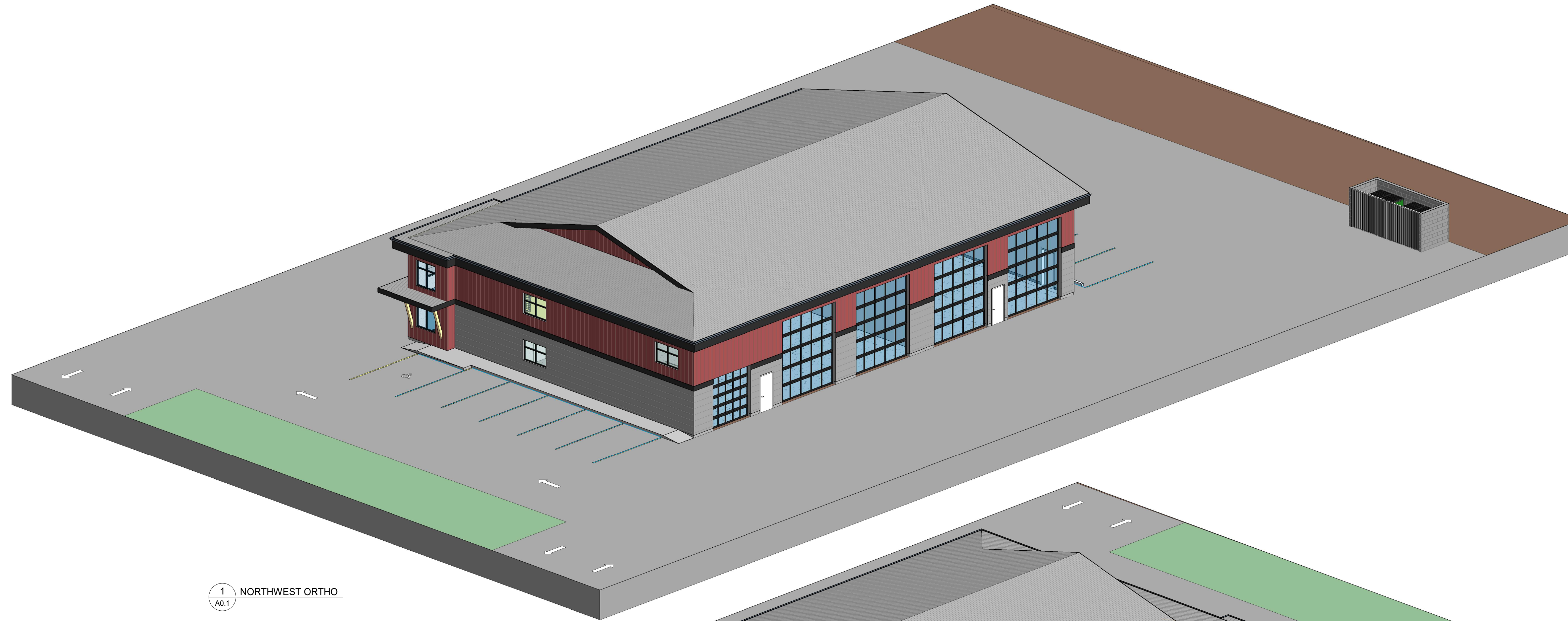
COALDALE SHOP

Coledale, A.B.

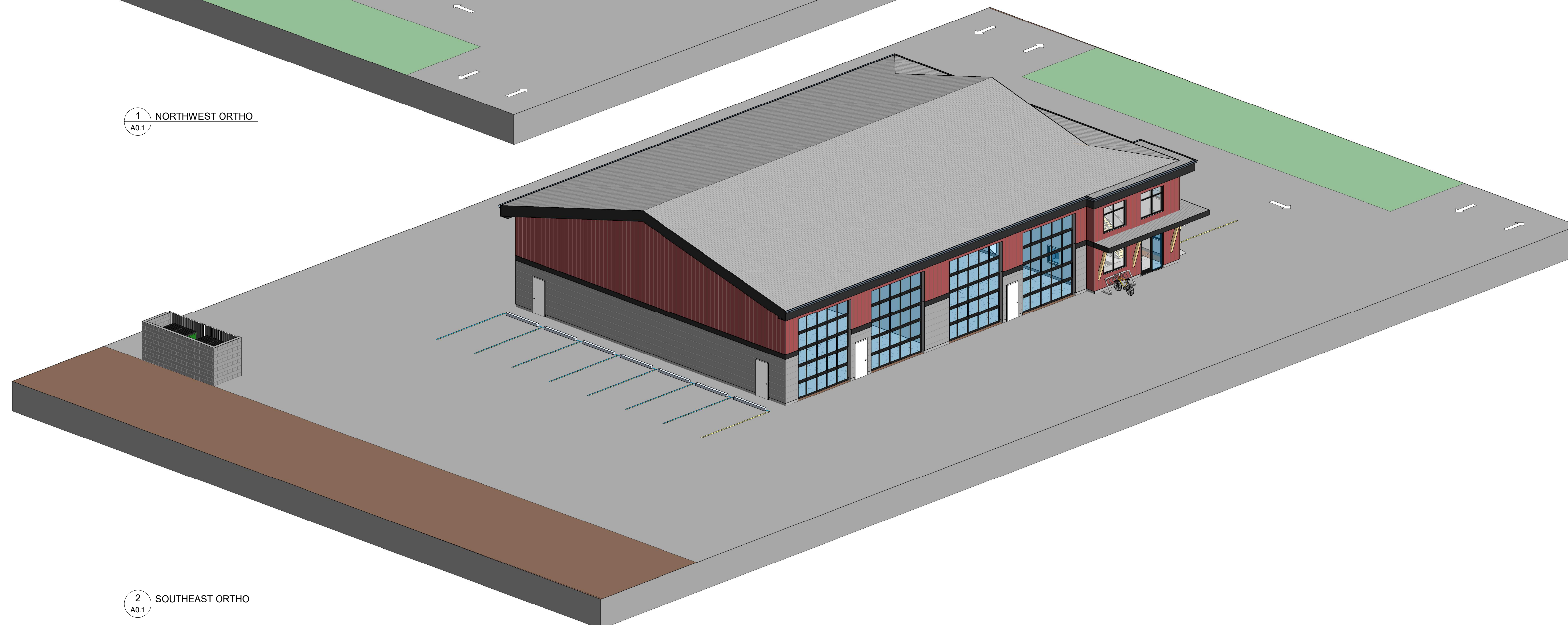


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1 NORTHWEST ORTHO
A0.1

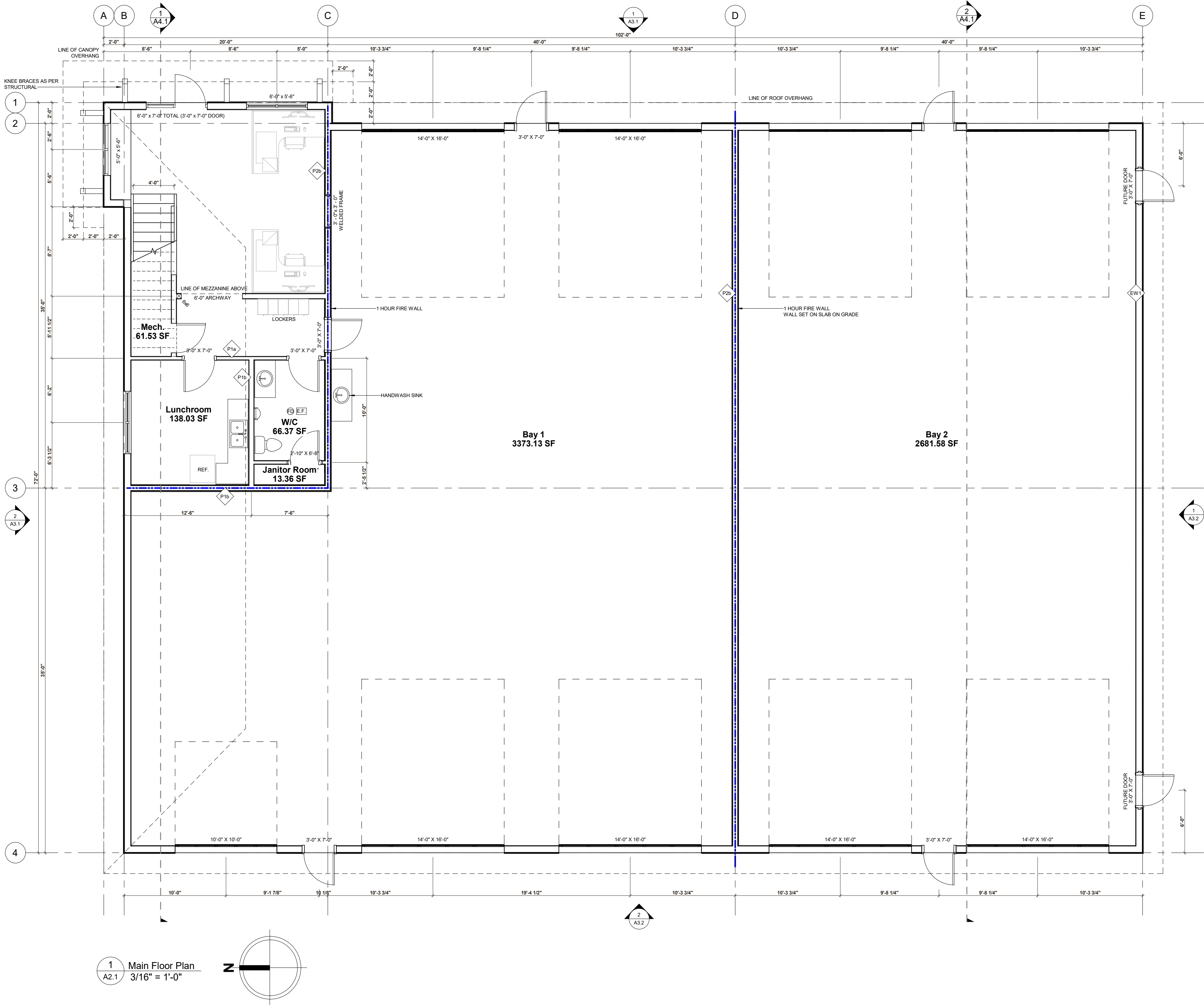


2 SOUTHEAST ORTHO
A0.1

COALDALE SHOP

Coledale, A.B.



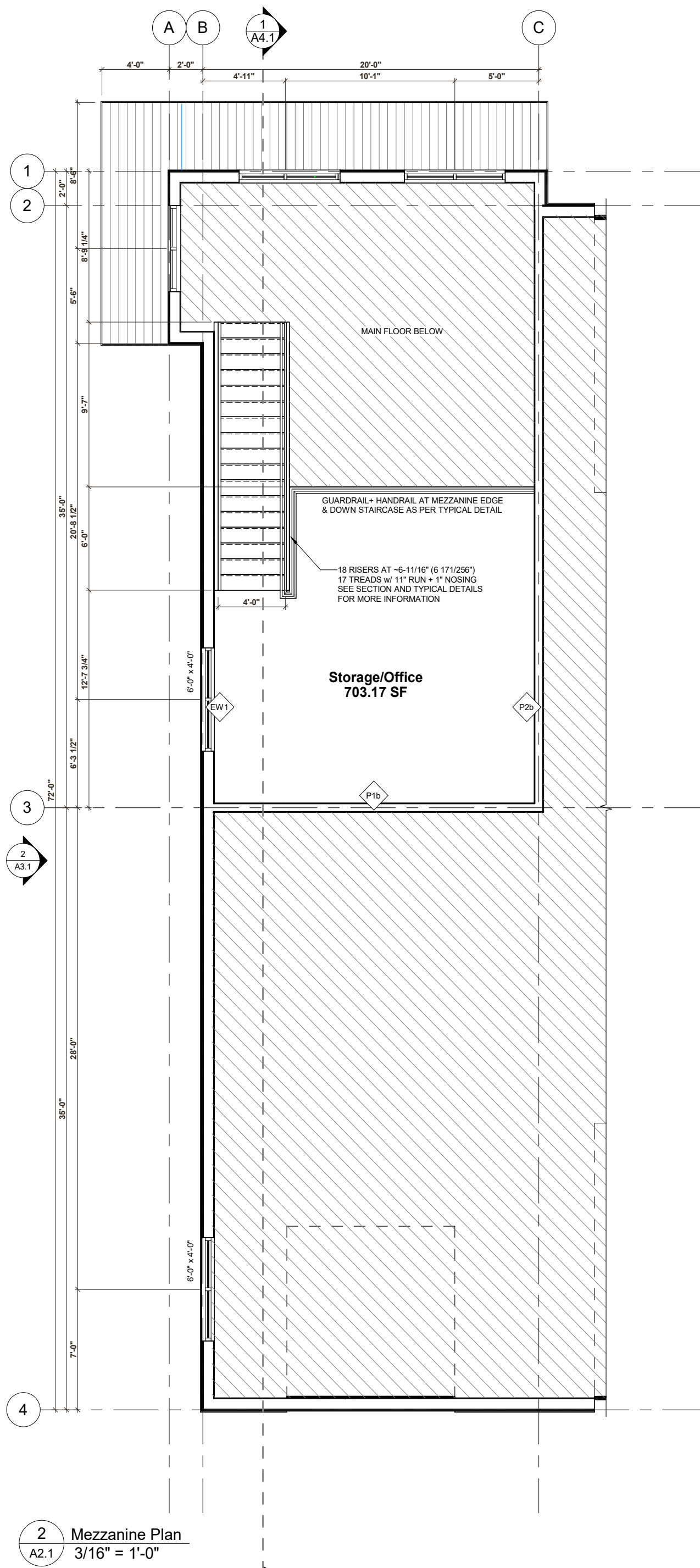


1 Main Floor Plan
A2.1
3/16" = 1'-0"

WALL TYPES - EXTERIOR

WOOD STUD INSULATED WALL:	RSI
• EXTERIOR AIR FILM	0.03
• CEMENT FIBRE (HARD PANEL) SIDING	0.05
• 3/8" P.T. RAINSCREEN	0.15
• TYVEK OR EQUIV. HOUSE WRAP	0.05
• 1/2" PLYWOOD SHEATHING	0.14
• 2x6 STUDS @ 16" o/c	2.36
• R19 BATT INSULATION	0.08
• 6 MIL POLY. VAPOUR BARRIER	0.05
• 1/2" GYPSUM WALL BOARD	0.05
• 1 COAT PRIMER AND PAINT	0.02
• INTERIOR AIR FILM	0.12
EFFECTIVE RSI (R-VALUE) OF ENTIRE ASSEMBLY:	2.93 (R16.64)

CONSTRUCTION TYPES - WALLS
1/2" = 1'-0"



2 Mezzanine Plan
A2.1
3/16" = 1'-0"

WALL TYPES - INTERIOR

PARTITION WOOD STUD UNINSULATED WALL:	RSI
FINISH LOCATIONS AS PER EXTERIOR ELEVATIONS	
• 1/2" GYPSUM WALL BOARD	0.05
• 2x6 STUDS @ 16" o/c U.N.D.	2.36
FINISH AS PER INTERIOR ELEVATIONS AND SCHEDULES	

PARTITION WOOD STUD INSULATED WALL:	RSI
INTERIOR FINISH AS PER INTERIOR ELEVATIONS AND SCHEDULES	
• 5/8" GWB	0.05
• 2x6 WOOD STUDS @ 16" o/c	2.36
• FILL CAVITY WITH SOUND BATT INSULATION	0.08
• 5/8" GWB (TYPE X WHERE 1 HR. F.R.R. IS SPECIFIED)	0.05
INTERIOR FINISH AS PER INTERIOR ELEVATIONS AND SCHEDULES	

LINE DENOTES 1-HR F.R.R. REFER TO PLANS FOR LOCATIONS

ISSUED FOR INFORMATION

PROJECT NO:
20-170

NO.	DATE	ISSUED FOR INFORMATION
1	JAN 13/21	ISSUED FOR INFORMATION
2	JAN 13/21	ISSUED FOR INFORMATION
3	JAN 13/21	ISSUED FOR INFORMATION
4	JAN 22/21	ISSUED FOR INFORMATION

Architectural Sheet List

Sheet Name	No.	Rev.
Cover	A2.0	3
Main Floor Plan	A2.1	4
Elevations	A3.1	4
Sections	A3.2	4
Cut Orthographic	A4.1	4

CONTRACTOR:

ARCHITECTURAL CONSULTANT:
Kerkhoff Engineering Ltd.
#101 - 5622 VEDDER RD.
CHILLIWACK, BC V2R 3N1
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CLIENT:
Tony Bos

PROJECT:
Coaldale Shop

ADDRESS:
Coaldale, A.B.

TITLE:
Main Floor Plan

DRAWN BY:
DS

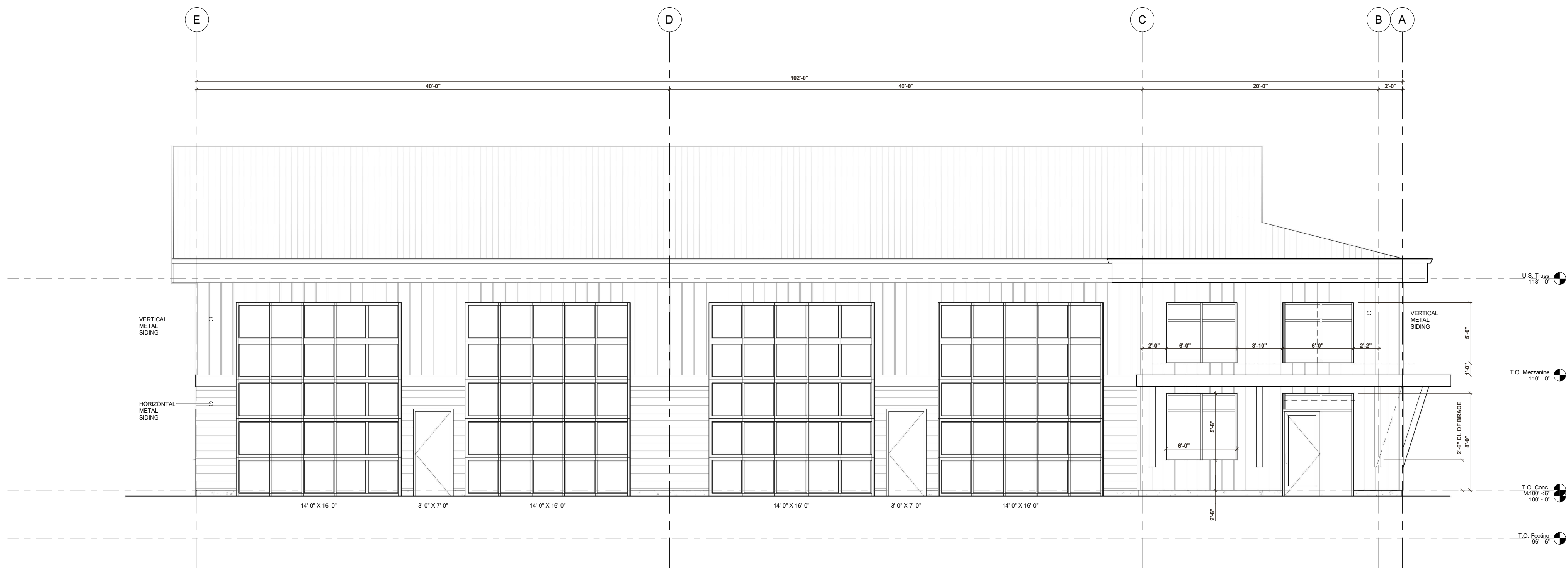
CHECKED BY:
TK

SCALE:
AS NOTED

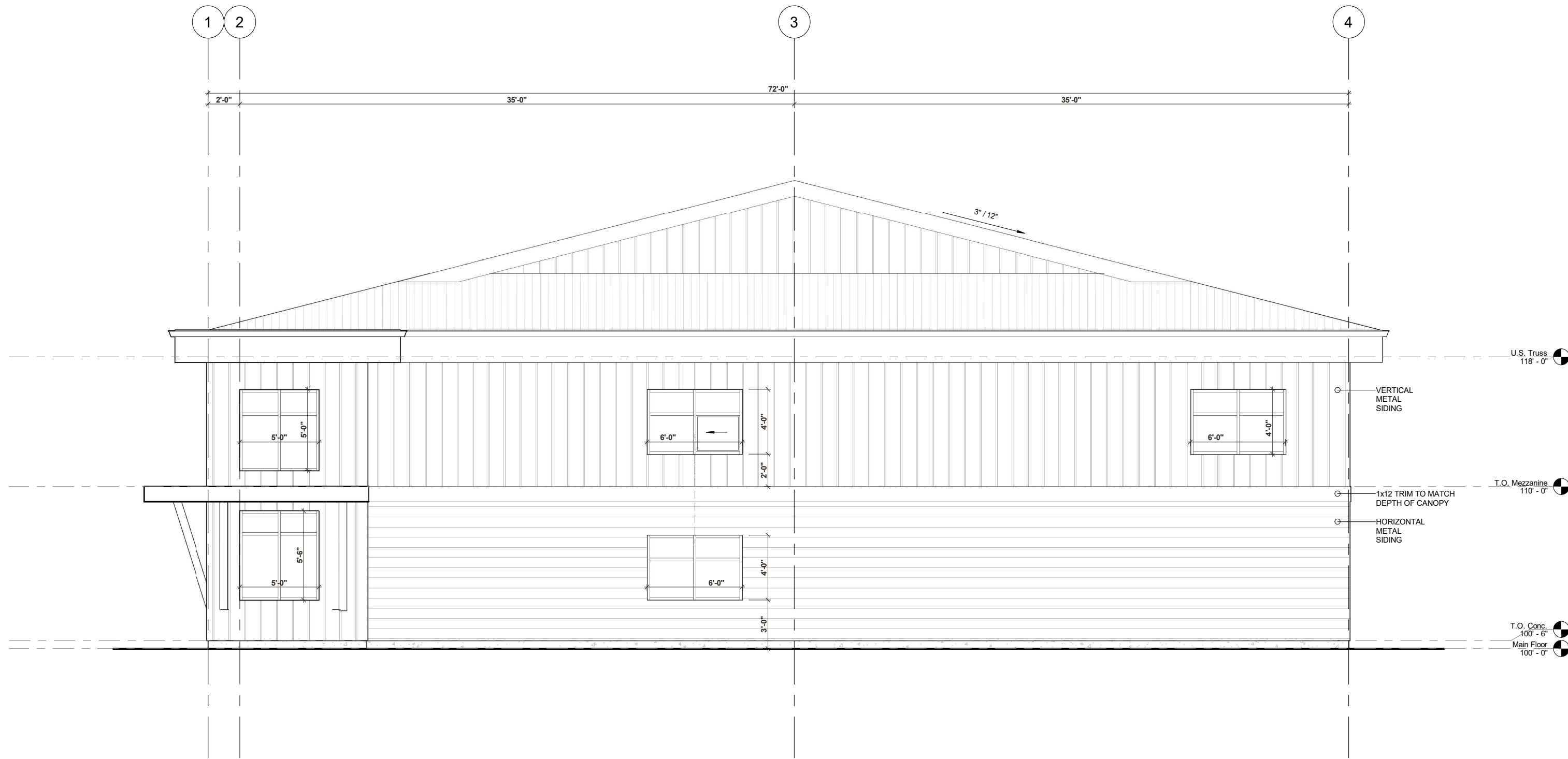
DATE:
Issue Date

SHEET NO:
A2.1

DATE PRINTED:
2021-01-22 4:35:56 PM



1 East Elevation
A3.1
3/16" = 1'-0"



2 North Elevation
A3.1
3/16" = 1'-0"

ISSUED FOR INFORMATION

PROJECT NO:
20-170

NO.	CHK.	DATE	DESCRIPTION
1	DS	JAN 12/21	ISSUED FOR INFORMATION
2	TK	JAN 15/21	ISSUED FOR INFORMATION
3	DS	JAN 22/21	ISSUED FOR INFORMATION
4	TK	JAN 22/21	ISSUED FOR INFORMATION

Architectural Sheet List

Sheet Name	No.	Rev.
Cover	A0.0	3
Main Floor Plan	A0.1	4
Elevations	A3.1	4
Sections	A3.2	4
Details	A4.1	4
Col. Orthographic	A5.1	4

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ARCHITECTURAL CONSULTANT:
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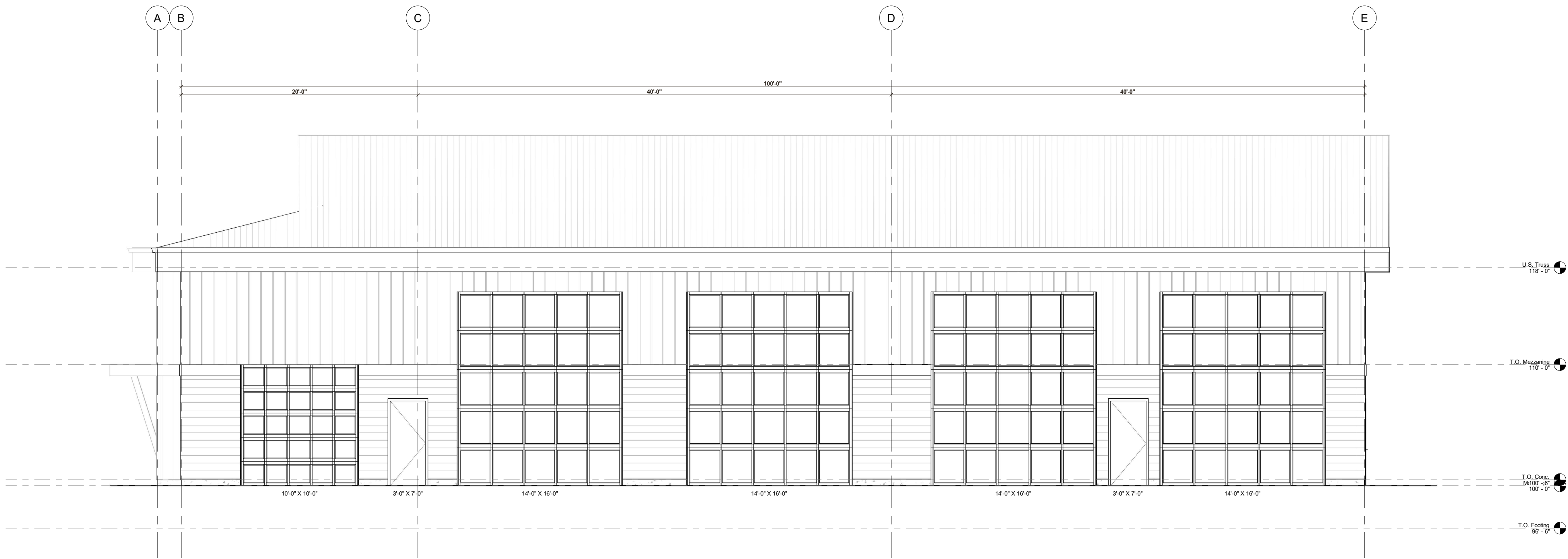
CLIENT:
Tony Bos

PROJECT:
Coaldale Shop

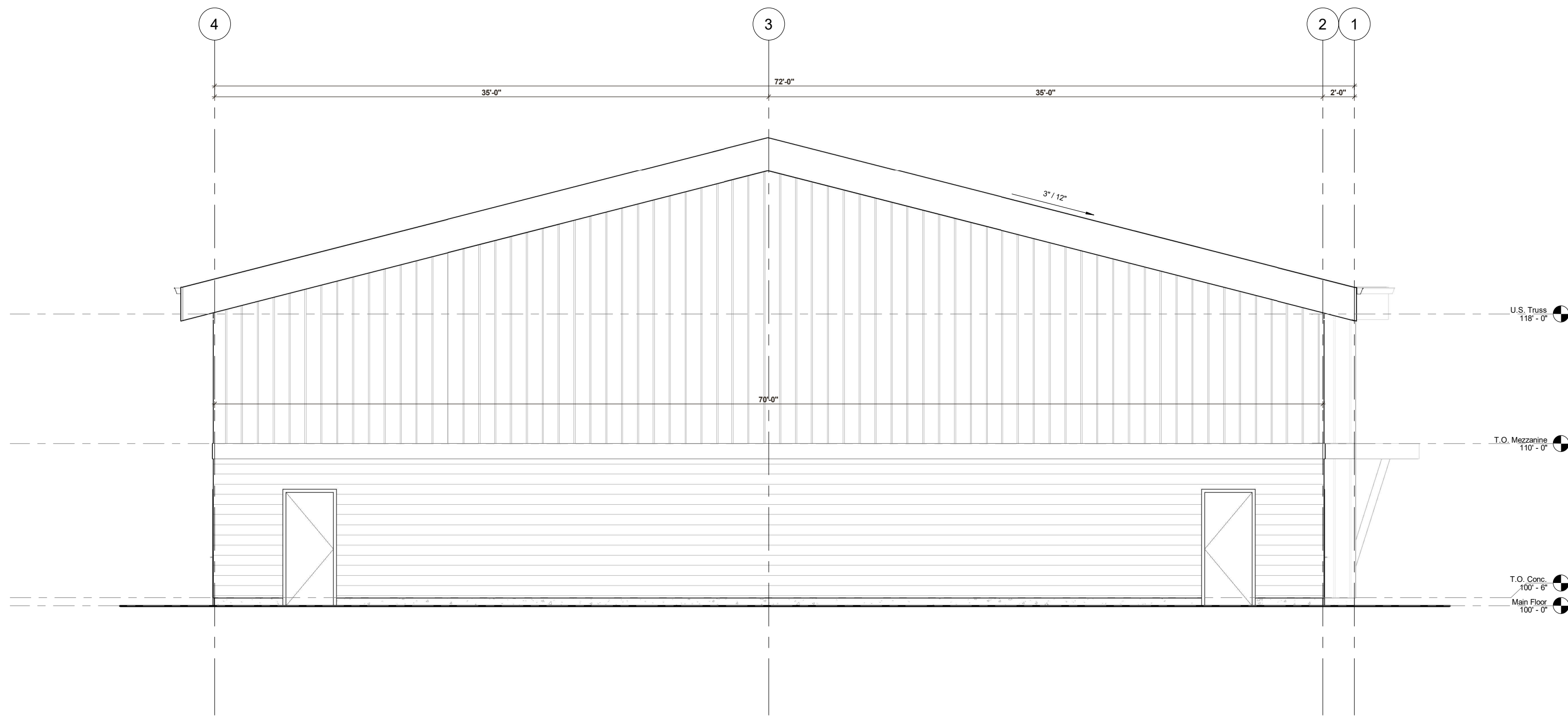
ADDRESS:
Coledale, A.B.

TITLE:
Elevations

DRAWN BY: **DS**
CHECKED BY: **TK**
SCALE: **AS NOTED**
DATE: **Issue Date**
SHEET NO: **A3.1**
DATE PRINTED: **2021-01-22 4:35:57 PM**



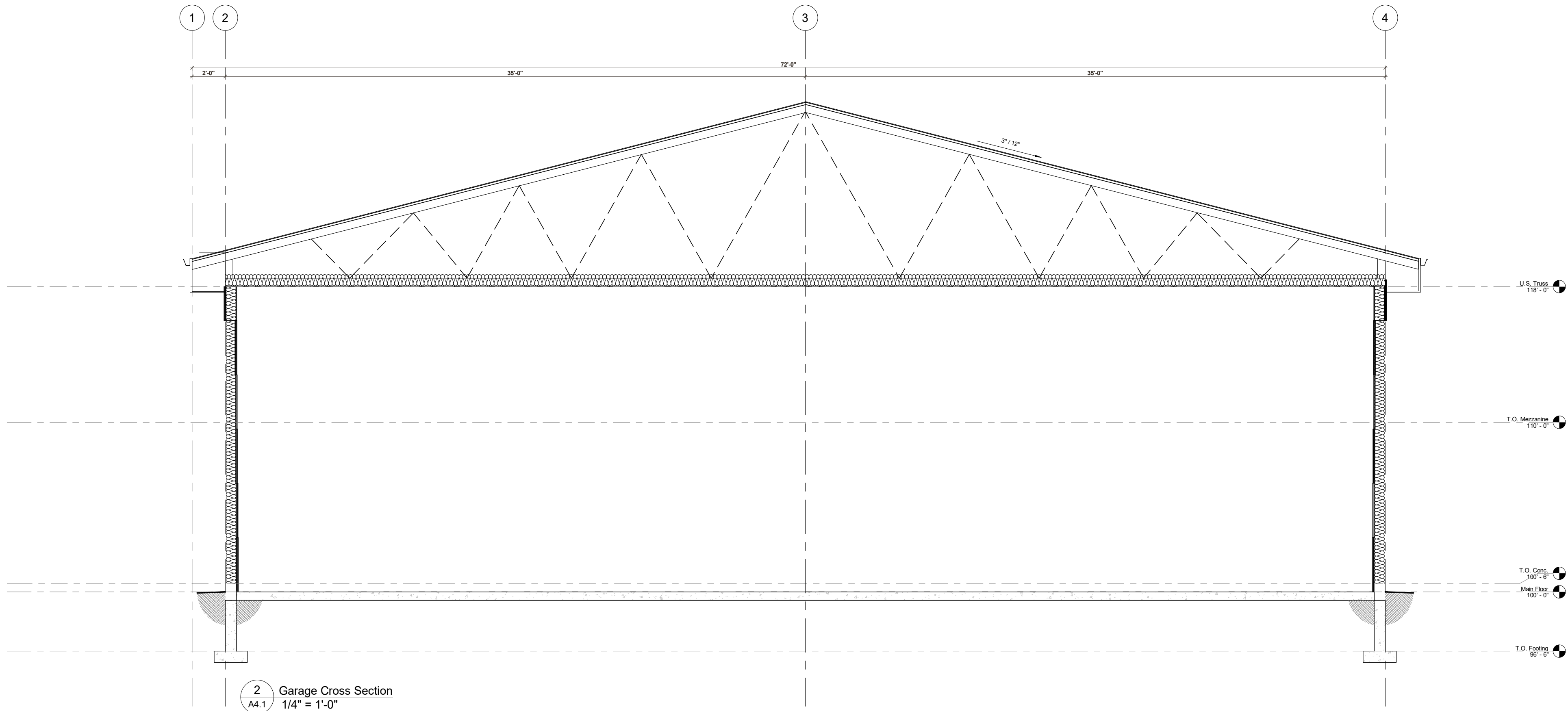
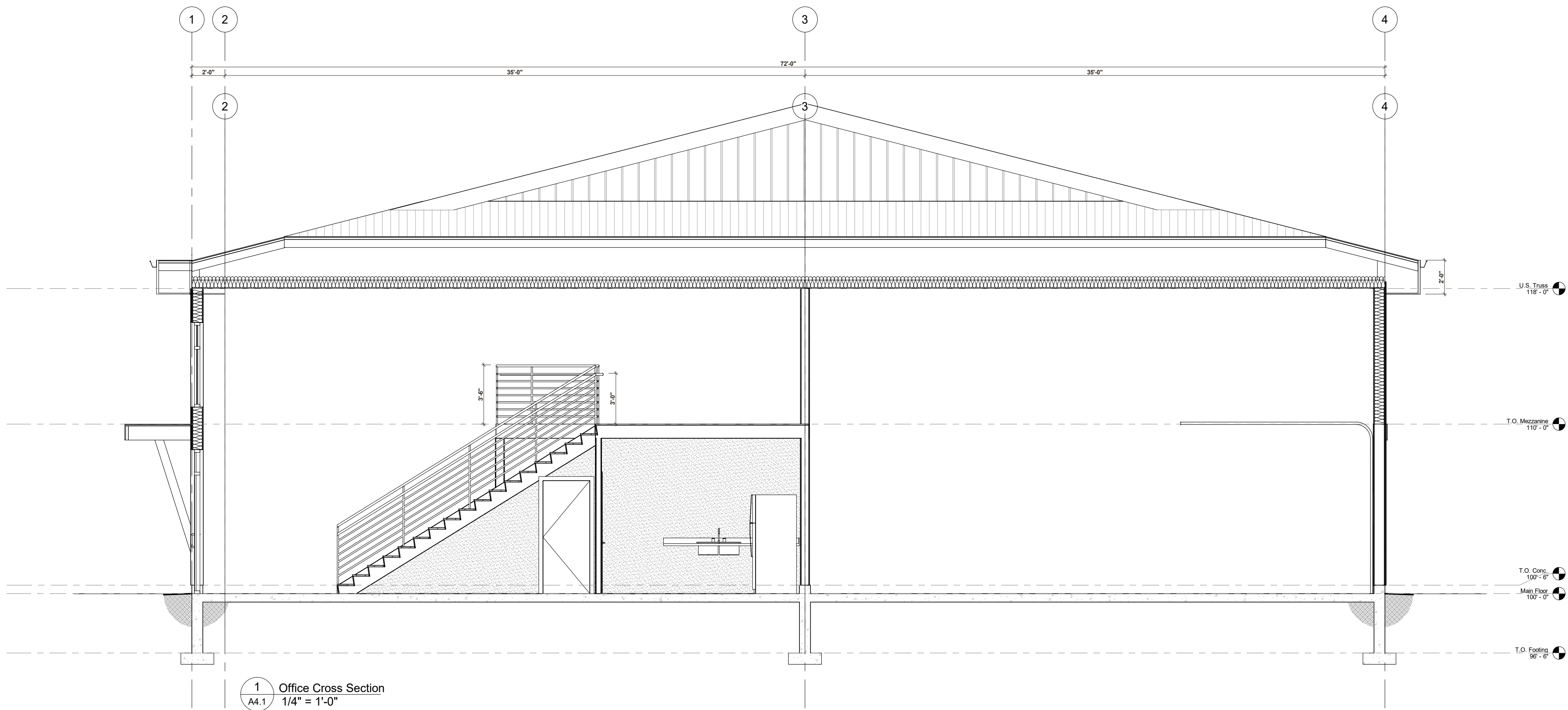
2 West Elevation
A3.2 3/16" = 1'-0"



1 South Elevation
A3.2 3/16" = 1'-0"

ISSUED FOR INFORMATION

PROJECT NO:		20-170	
NO.	ISS.	DATE	DESCRIPTION
3	DS	JAN 19/21	ISSUED FOR INFORMATION
4	DS	JAN 22/21	ISSUED FOR INFORMATION
CONTRACTOR:			
STRUCTURAL CONSULTANT:			
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CLIENT:			
Tony Bos			
PROJECT:			
Coaldale Shop			
ADDRESS:			
Coledale, A.B.			
TITLE:			
Elevations			
DRAWN BY:			
DS			
DESIGNED BY:			
TK			
SCALE:			
AS NOTED			
DATE:			
JAN 22/21			
SHEET NO:			
A3.2			
DATE PRINTED:			
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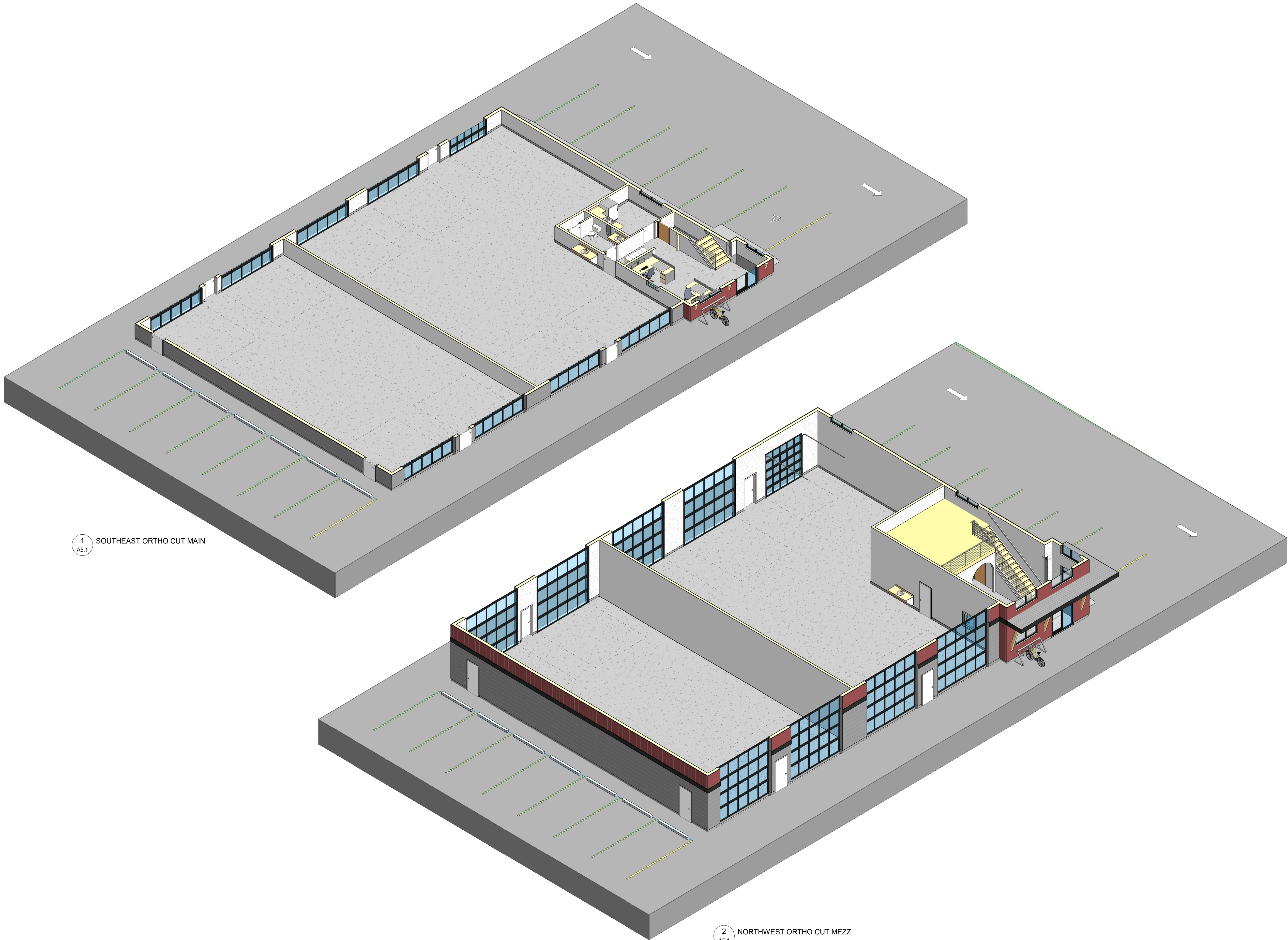


ISSUED FOR INFORMATION

PROJECT NO:		20-170	
NO.	ISS.	CHK.	DATE
3	DS	TK	JAN 19/21
4	DS	TK	JAN 22/21

ISSUES		DESCRIPTION	
NO.	ISS.	CHK.	DATE
3	DS	TK	JAN 19/21
4	DS	TK	JAN 22/21

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STRUCTURAL CONSULTANT:	
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CLIENT:	
Tony Bos	
PROJECT:	
Coaldale Shop	
ADDRESS:	
Coledale, A.B.	
TITLE:	
Sections	
DRAWN BY:	
DS	
DESIGNED BY:	
TK	
SCALE:	
AS NOTED	
DATE:	
JAN 22/21	
SHEET NO:	
A4.1	
DATE PRINTED:	
2021-01-22 4:35:59 PM	



1 SOUTHEAST ORTHO CUT MAIN
A5.1

2 NORTHWEST ORTHO CUT MEZZ
A5.1

ISSUED FOR INFORMATION

PROJECT NO:		20-170	
ISSUES		DESCRIPTION	
NO	DATE	CHK	ISSUED FOR INFORMATION
3	DS	TK	JAN 19/21
4	DS	TK	JAN 22/21
CONTRACTOR:			
STRUCTURAL CONSULTANT:			
 #101 - 5622 VEDDER RD, CHILLIWACK, BC V2R 3N1			
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CLIENT:			
Tony Bos			
PROJECT:			
Coaldale Shop			
ADDRESS:			
Coledale, A.B.			
TITLE:			
Cut Orthographic			
DRAWN BY:			
DS			
DESIGNED BY:			
TK			
SCALE:			
AS NOTED			
DATE:			
JAN 22/21			
SHEET NO:			
A5.1			
DATE PRINTED:			
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INDUSTRY – I



Purpose:

To provide for a broad range of industrial and storage uses. The location of individual uses will have regard to both the effect on adjacent uses and the ability to provide adequate services to the site.

1. (A) PERMITTED USES

- Accessory building, structure or use to an approved permitted use
- Building Supplies
- Car Wash
- Contractor, Building and Trade
- Contractor, Heavy Duty Equipment
- Equipment Sales, Rental and Service
- Farm/Industrial Machinery Sales, Rental and Service
- Light Industry/Manufacturing
- Manufacturing
- Public or Private Utility
- Railway and Railway Related Uses
- Seasonal Sales
- Shipping Container (temporary)
- Sign Types²: 1A, 2, 3, 4, 5, 6, 10
- Truck Transportation Depots
- Truck Wash
- Warehouse, Retail
- Warehouse, Wholesale
- Warehouse Storage

(B) DISCRETIONARY USES

- Abattoirs
- Accessory building, structure or use to an approved discretionary use
- Adult Entertainment Facility¹
- Alternative/Renewable Energy, Commercial/Industrial
- Asphalt Batch Plant
- Auto Body Repair and Paint Shop
- Automobile Sales and Service
- Automotive Repair and Service Shop
- Bulk Fuel Storage and Sales
- Cannabis Production Facility
- Concrete Batch Plant
- Feed Mill/ Grain Elevator
- Fertilizer Storage and Sales
- Food Processing Facility
- Garden Centre/ Greenhouse
- Gas Bar
- Horticultural Operations or Facilities
- Industry with a Heavy Utility Demand
- Kennel
- Natural Resource Extraction
- Outdoor Recreation and Sports fields
- Pet Care Services
- Recreation, Private
- Recycling Facility
- Service Station
- Shipping Container (permanent)
- Sign Types²: 1B, 7³, 8, 9, 11, 12
- Small Wind Energy System - Type A and B⁴
- Sand Blasting Facility
- Veterinary Clinic

Notes: 1 – See Schedule 4, Section 31 for setback requirements.

2 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.

3 – **Sign Type 7** (Billboard) limited to lots immediately adjacent to Highway 3.

4 – See **Schedule 4, Section 27** for definition of small wind energy system types.

(C) PROHIBITED USES

- Salvage Yard
- Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use

2. MINIMUM LOT SIZE

Use	Width		Length		Area	
	m	ft.	m	ft.	m ²	ft ²
All uses	30.48	100	30.48	100	929.03	10,000

- (a) The Designated Officer or Municipal Planning Commission may approve a development on an existing registered lot if the minimum dimensions or area are less than those specified above in Section 2.

3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
All uses	7.62	25	4.57	15	3.05	10	7.62	25

4. MAXIMUM SITE COVERAGE

- (a) **All Buildings – 60%**
Principal buildings and accessory buildings shall not occupy more than 60 percent of the surface area of any lot within this land use district.

5. OUTDOOR STORAGE

- (a) No outdoor storage shall be permitted in the required front yard setback of 7.6 m (25 ft.) or in the required corner lot secondary front yard setback of 4.6 m (15 ft.).
- (b) Outdoor storage areas shall be effectively screened from view by buildings, solid fences, trees, landscaped features or combinations thereof and be maintained in good repair to the satisfaction of the Development Authority.

6. OUTSIDE DISPLAY OF GOODS

- (a) Outside display of goods shall be limited to examples of products, merchandise, equipment, and/or items sold by the business or industry on the lot(s) or development site and shall be located in conformance with *Schedule 9: Landscaping and Amenity Area Standards and Guidelines*.

7. LANDSCAPING REQUIREMENTS

- (a) Landscaping shall be provided on all street frontage and shall be to the satisfaction of the Designated Officer or the Municipal Planning Commission. See *Schedule 9: Landscaping and Amenity Area Standards and Guidelines*.

8. ENVIRONMENTAL SITE ASSESSMENT / ENVIRONMENTAL IMPACT ASSESSMENT

- (a) Where, in the opinion of the Designated Officer or the Municipal Planning Commission, a proposed development may create an unacceptable environmental impact and/or where there may have been historical environmental impacts (i.e. soil contamination), an environmental site assessment and/or environmental impact assessment may be required prior to dealing with the application.

9. STANDARDS OF DEVELOPMENT

– SCHEDULE 4

10. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES

– SCHEDULE 9

11. INDUSTRIAL, COMMERCIAL AND WAREHOUSING STANDARDS

– SCHEDULE 10

12. OFF-STREET PARKING AND LOADING REQUIREMENTS

– SCHEDULE 11

13. COMMERCIAL / INDUSTRIAL ALTERNATIVE / RENEWABLE ENERGY

– SCHEDULE 12

14. SIGN REGULATIONS

– SCHEDULE 13

SCHEDULE 11: OFF-STREET PARKING AND LOADING REQUIREMENTS

SCHEDULE 11: OFF-STREET PARKING AND LOADING REQUIREMENTS

1. APPLICABILITY

- (a) The off-street parking and loading requirements and design standards apply to:
 - i. all new buildings and uses, and
 - ii. the expansion or enlargement of existing buildings or uses.
- (b) In the case of expansion or enlargement of an existing building or use, additional off-street parking spaces will be required to serve the expanded or enlarged area only, not the entire building or use.

2. MINIMUM REQUIRED OFF-STREET PARKING

- (a) The minimum required off-street parking for a development shall be calculated in accordance with Table 1 (Minimum Required Off-street Parking) of this Schedule.
- (b) All required off-street parking shall be provided at the time of construction and prior to occupancy.
- (c) The applicant must provide a site plan and/or parking plan (and in some cases an alternative parking plan) showing the location and dimensions of all off-street parking requirements.
- (d) Off-street parking requirements based on floor area are to be computed on the gross floor area (GFA) of the building, unless otherwise stipulated in this Bylaw.
- (e) Calculation of off-street parking requirements resulting in a fractional number of 0.5 or greater shall be rounded up and rounded down when resulting in a fractional number of 0.49 or less.
- (f) A multiple use development must provide parking in an amount equal to the number of spaces for all uses, except where a shared parking provision is approved by the Municipal Planning Commission. An alternative parking plan shall be submitted in proposing a shared parking scenario and is based upon the proposed sharing of parking spaces between two or more uses on a lot and/or utilization of lot area on a lot other than that in which the use is proposed and must include a written agreement between the owners on record. Where such off-site parking is approved, a caveat shall be registered against the lot(s) to guarantee the continuous use of the site for parking for the life of the development.
- (g) Where a use is not listed, minimum required off-street parking shall be provided as required by the Development Authority having regard to the listed use that is most similar to the proposed use. As an alternative, the Development Authority may require a parking study to be prepared by a qualified professional at the applicant's expense to determine the parking requirements for a use not listed in Table 1.
- (h) All required parking spaces shall be provided on the same lot as the building or use, except where the Municipal Planning Commission may approve an alternative parking plan in permitting off-site parking spaces to be provided on a lot within 152.4 m (500 ft.) of the building or use if, in the Municipal Planning Commission's opinion, it is impractical to provide parking on the same lot as the building or use. Where such off-site parking is approved, a caveat shall be registered against the lot(s) to guarantee the continuous use of the site for parking for the life of the development.

Table 1 – Minimum Required Off-Street Parking

USE	MINIMUM PARKING SPACES
COMMERCIAL/INDUSTRIAL	
Abattoirs	As required by the MPC
Accessory, buildings structures or uses	As required by the MPC or Designated Officer
Amusement facility	1 space/27.9 m ² (300 ft ²) of GFA
Assisted living facility	1 space per 2.5 dwelling units
Autobody repair/paint shop	1 space/46.5 m ² (500 ft ²) of GFA
Automotive sales and/or service	1 space/46.5 m ² (500 ft ²) of GFA
Building - trade contractors/building supplies	1 space/65 m ² (700 ft ²) of GFA
Bulk fuel storage and sales	1 space/46.5 m ² (500 ft ²) of GFA
Business support service	1 space/46.5 m ² (500 ft ²) of GFA
Car wash	1 space per employee
Child care/day care facility	1 space per employee plus 1 space for every 10 children
Civic and governmental offices	1 space/46.5 m ² (500 ft ²) of GFA
Convenience store	1 space/27.9 m ² (300 ft ²) of GFA
Drive-in/drive-through use	1 space/5.1 m ² (55 ft ²) of seating area plus 1 space per employee
Eating establishment	1 space per 4 seats plus 1 per employee
Entertainment establishment	1 space/5.1 m ² (55 ft ²) of patron use area plus 1 space per employee
Equipment sales, rental and service	1 space/65 m ² (700 ft ²) of GFA
Farm/industrial machinery sales and service	1 space/65 m ² (700 ft ²) of GFA
Feed mills/grain elevators and ancillary uses	1 space/65 m ² (700 ft ²) of GFA
Fertilizer storage and sales	1 space/46.5 m ² (500 ft ²) of GFA
Financial institution	1 space/37.2 m ² (400 ft ²) of GFA
Food processing	As required by the MPC
Funeral facility	1 space/5 seating spaces plus 1 space per employee
Garden centres and horticulture operations and facilities	1 space/65 m ² (700ft ²) of GFA
Golf course	As required by the MPC
Government/institutional facilities	As required by the Designated Officer or MPC
Grocery store	1 space/37.2 m ² (400 ft ²) of GFA
Hotel/motel	1 space per guest room
Industry with a heavy utility demand	1 space/92.9 m ² (1000 ft ²) of GFA
Kennel	1 space/46.5 m ² (500 ft ²) of GFA
Landscaping materials sales	1 space/65 m ² (700 ft ²) of GFA
Light industry/manufacturing/fabrication	1 space/65 m ² (700 ft ²) of GFA
Liquor store	1 space/18.6 m ² (200 ft ²) of GFA
Lounges/beverage rooms	1 space/5.1 m ² (55 ft ²) patron use area plus 1 space per employee
Machinery and equipment rental	1 space/65 m ² (700 ft ²) of GFA
Maintenance/utility uses	1 space/65 m ² (700 ft ²) of GFA
Manufacturing	1 space/46.5 m ² (500 ft ²) of GFA
Medical/health facility	1 space per staff member and 1 space per examination room
Mini storage	As required by the Designated Officer
Museum/library/art gallery	As required by the Designated Officer or MPC
Office	1 space/46.5 m ² (500 ft ²) of GFA

Outdoor storage	As required by the Designated Officer or MPC
Personal service	1 space/37.2 m ² (400 ft ²) of GFA
Pet care services	1 space/46.5 m ² (500 ft ²) of GFA plus 1 space per employee
Recreation facility, public or private	1 space/27.9 m ² (300 ft ²) of GFA
Recycling facility	1 space/65 m ² (700 ft ²) of GFA
Research and development facility	1 space/92.9 m ² (1000 ft ²) of GFA
Restaurant	1 space per 4 seats plus 1 space per employee
Retail store	1 space/37.2 m ² (400 ft ²) of GFA
Salvage or wreckage yard	As required by the MPC
Service station/gas bar	1 space/37.2 m ² (400 ft ²) of GFA
Shopping centre	1 space/23.2 m ² (250 ft ²) of GFA
Specialty manufacturing/cottage industry	1 space/46.5 m ² (500 ft ²) of GFA
Tourist information	1 space/46.5 m ² (500 ft ²) of GFA
Transportation/delivery service	1 space/46.5 m ² (500 ft ²) of GFA
Truck transportation/dispatch depot	1 space/65 m ² (700 ft ²) of GFA
Truck wash	1 space per employee
Veterinary clinics (large or small animal)	1 space/46.5 m ² (500 ft ²) of GFA
Warehousing	1 space/65 m ² (700 ft ²) of GFA
Waste disposal facility	As required by the MPC
Wholesale trade	1 space/65 m ² (700 ft ²) of GFA
RESIDENTIAL	
Bed and breakfast	1 space per guest room
Boarding/lodging houses	1 space per bedroom
Communal facility	As required by the Designated Officer or MPC
Dwellings:	
-Apartment	1.5 spaces per dwelling unit plus 0.5 space per unit for visitor parking
-Duplex/semi-detached	2 spaces per dwelling unit
-Multi-unit/townhouse	2 spaces per dwelling unit plus 0.5 space per unit for visitor parking
-Single-detached dwellings (site built, manufactured, prefabricated, moved-in)	2 spaces per dwelling unit
Home occupation 1	N/A
Home occupation 2	1 additional space
Manufactured home park -visitor parking	As required by the Designated Officer or MPC
Secondary suite	2 additional spaces
Senior citizen housing	1 space per 2.5 dwelling units
PUBLIC	
Cemetery	As required by the MPC
Clubs and organizations	1 space/5.1 m ² (55 ft ²) patron use area plus 1 space per employee
Community hall/cultural facility	1 space/5 seating spaces plus 1 space per employee
Educational institutions/schools	3 spaces per classroom
Exhibition ground	As required by the MPC
Group care facility	1 space per employee
Hospital	1 space per bed
Institutional facilities or uses	As required by the MPC
Parks and playgrounds	As required by the Designated Officer
Religious assembly	1 space/5 seating spaces

3. PAYMENT-IN-LIEU OF OFF-STREET PARKING

- (a) In lieu of providing the minimum requirements for off-street parking in compliance with this Schedule, an owner of land and/or an applicant for a development permit may, subject to the Municipal Planning Commission's approval (i.e. waiver or variance of the minimum required off-street parking requirements), pay to the municipality an amount of money on such terms as Council considers reasonable (as established by resolution of Council) in return for the equivalent public parking space to be provided by the municipality.
- (b) The option for payment-in-lieu of providing off-street parking spaces is only applicable to those developments on lands located in the Downtown Overlay as shown in Section 8 of the Commercial (C-1) land use district.
- (c) To be eligible for the payment-in-lieu provision, a minimum of 25 percent of the required off-street parking spaces shall be provided on the same lot as the proposed building and/or use.

4. BARRIER-FREE PARKING

- (a) The minimum number of barrier-free parking spaces to be provided for the disabled shall be a portion of the total number of off-street parking spaces required, in accordance with Table 2, Barrier-Free Parking Spaces.
- (b) Each barrier-free parking space for the disabled shall be:
 - i. at least 3.7 m (12 ft.) wide,
 - ii. have a firm, slip-resistant and level surface,
 - iii. be clearly marked as being for the use of persons with disabilities only.
- (c) Where there are two or more adjacent barrier-free parking stalls, a 1.5 m (5 ft.) wide access aisle shall be provided between the stalls.
- (d) Barrier-free parking stalls shall be clearly identifiable in accordance with Safety Codes.
- (e) There must be a well-lit, distinguishable, barrier-free path of travel from the parking areas to the building entrance.
- (f) It is recommended that an additional number of spaces be considered when the purpose or use of the building facilities may cause an increase in the number of seniors or persons with disabilities who require accessible parking, such as, but not limited to, medical services and restaurants.

Table 2 - Barrier-Free Parking Spaces	
Number of parking spaces required for a use	Number of barrier-free spaces required for use by persons with disabilities
0-10	0*
11-25	1
26-50	2
51-100	3
for each additional increment of 100 or part thereof	one additional stall

* Development is encouraged to provide at least one barrier-free parking space for use by persons with disabilities.

5. LOADING SPACE REQUIREMENTS

- (a) One loading space shall be provided for each loading door.
- (b) There shall be a minimum of one off-street loading space per building in the *C-1, C-2, Industry – I* and *Light Industry – I-2* land use districts.
- (c) The Designated Officer or Municipal Planning Commission may require that off-street loading areas be provided in any land use district.
- (d) The minimum dimensions for a loading space shall be 3.1 m (10 ft.) by 9.1 m (30 ft.) with an overhead clearance of 4 m (13 ft.).
- (e) Each loading area shall provide a doorway into the building sufficient to meet the needs of the use within the building.
- (f) Each loading area shall be designed in such a manner that it will not interfere with convenient and safe pedestrian movement, traffic flow or parking.
- (g) The Development Authority may require additional loading areas or doors if, in the Development Authority's opinion, such additional areas or doors are deemed necessary.
- (h) The Development Authority may consider a joint loading area for two or more uses if, in the Development Authority's opinion, such a loading area would facilitate orderly development or relieve congestion in the immediate area.

6. STACKING SPACES FOR DRIVE-THROUGH USES

- (a) In addition to the off-street parking requirements, a drive-through use is required to provide the following minimum stacking spaces:
 - i. Restaurant use: 30.5 m (100 ft.) from order box to pick-up window
 - ii. Gas station: 9.1 m (30 ft.) from each end on pump island
 - iii. Bank machine: 22.9 m (75 ft.) from bank machine window
 - iv. Car wash: 15.2 m (50 ft.) from car wash entrance
 - v. Other: As determined by the Development Authority
- (b) The minimum stacking space requirements in (a) above may be varied by the Municipal Planning Commission depending upon the intensity of the proposed development.

7. OFF-STREET PARKING DESIGN STANDARDS

- (a) Off-street parking areas shall be accessible and designed in a manner which will provide for orderly parking in accordance with the minimum parking space dimensions in Figure 1, Parking Layout Alternatives.
- (b) Parking space designs proposing tandem or stacked parking to a maximum of 2 vehicles per stall may be approved by the Municipal Planning Commission provided the spaces are for employee parking only.
- (c) The stall width and depth requirements for an off-street parking space may be reduced by the Municipal Planning Commission where spaces are designed to accommodate compact vehicle parking.
- (d) Where a use or development may need to accommodate over-sized vehicles such as tractor-trailers, large recreational vehicles, buses or other similar vehicles, the Development Authority may require larger parking space and aisle dimensions.

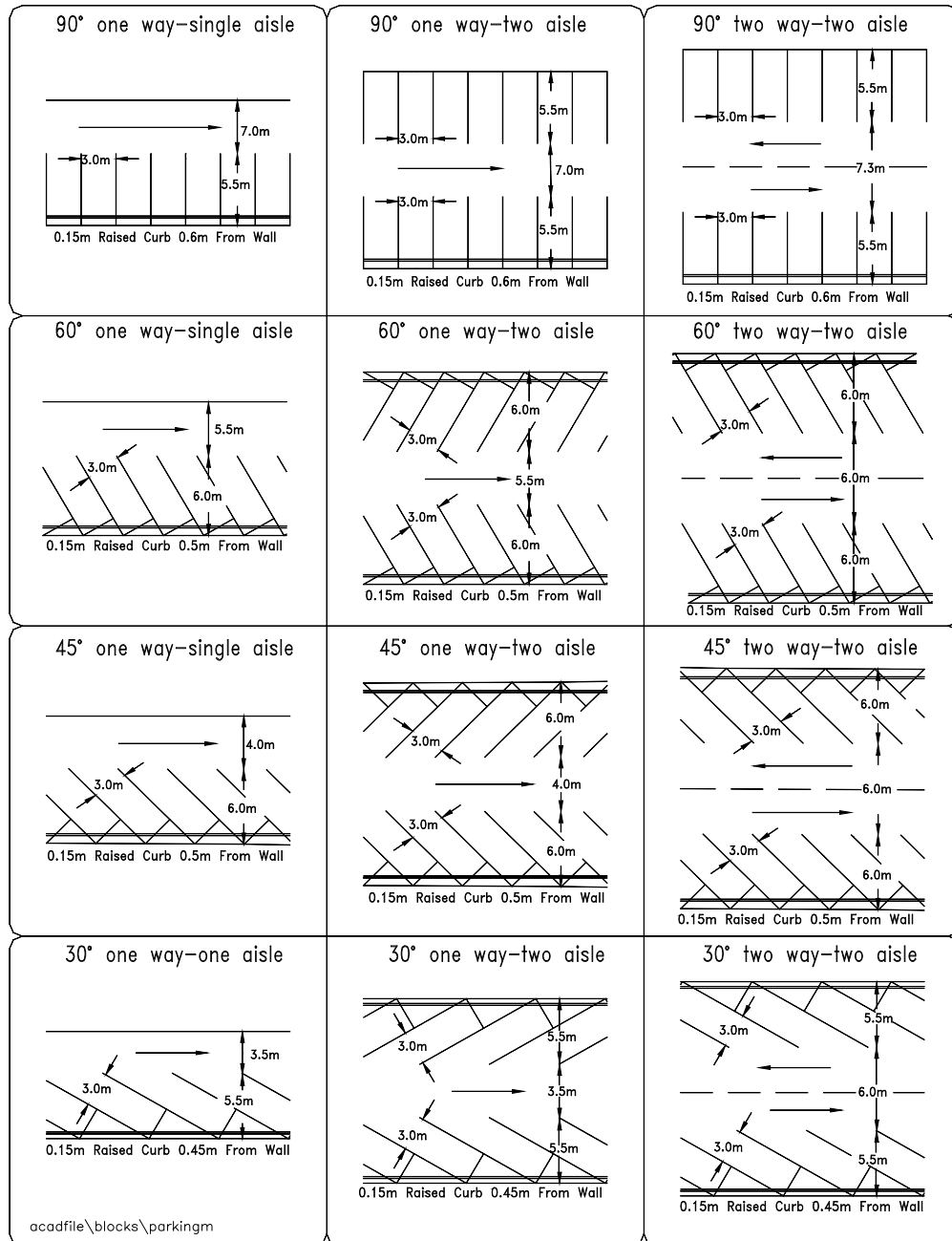
- (e) Off-street parking areas shall be constructed in a manner which will permit adequate drainage, snow removal, and maintenance.
- (f) Off-street parking spaces adjacent to a road right-of-way shall be provided with bumper blocks, curbing or other similar protective feature to ensure public safety and prevent vehicle overhang.
- (g) The Development Authority may require that off-street parking areas or portions thereof be hard-surfaced (pavement, cement, etc.) as a condition of approval, prior to occupancy or an alternative timeframe as agreed to between the Town and the applicant. A security deposit for completion of this condition may be required.

8. DRIVEWAY STANDARDS

- (a) Driveway and lot access location and configuration shall be to the satisfaction of the Development Authority.
- (b) Vehicular access for corner lots will be limited to locations along the minor street unless site specific considerations require otherwise.
- (c) Driveways and manoeuvring aisles serving as fire lanes shall be at least 6.1 m (20 ft.) wide.
- (d) In all land use districts the Development Authority may require that driveways be hard-surfaced (paved, concrete, or similar equivalent) as a condition of approval.

Figure 1

PARKING LAYOUT ALTERNATIVES-METRES



AGENDA ITEM REPORT



Title: DP 2021-042 - 3125 13th Street
Report Type: Request for Decision
Report Author: Melanie Messier
Meeting: Municipal Planning Commission - 14 Apr 2021
Department: Planning
Reviewed by Spencer Croil
Supervisor/Peer:

TOPICS:

Planning and Community Development:
Municipal Planning

OBJECTIVE:

The following report is to present the Municipal Planning Commission (MPC) with an application to review a request for a waiver of setback requirements in the construction of a single detached dwelling and attached garage at the subject property Plan 1611387, Block 3, Lot 7.

The parcel is zoned as Country Residential CR-2 where secondary front yard setback requirements are 7.6 metres (25 ft). The applicant is proposing a secondary front yard setback of 4.8 metres (16 ft) thereby requesting a 36% waiver, which is in excess of the maximum 10% waiver that can be decided upon by a designated officer (Development Officer). For this reason, the application requires the review of the MPC.

PREVIOUS COUNCIL DIRECTION:

First time this matter as appeared before Council.

ANALYSIS:

The proposed single detached dwelling and attached garage meet the require side, rear, and primary front yard setbacks. However, in order for a dwelling to fit on the lot as designed and oriented, a secondary front waiver of 2.7 metres (9 ft) is required. In this particular instance, the secondary front yard of the home is considered to be the yard facing 33rd Avenue.

The setback requirement for a secondary front yard in the CR-2 zoning district is 7.6 metres (25 ft). The dwelling is proposed to be located such that it is 4.8 metres (16 ft) from the secondary front yard. The waiver being requested represents a waiver of 36%.

Informative: The request for a waiver is largely based on the subject property not meeting the minimum lot dimension requirements. Lot width requirements in CR-2 zoning are minimum of 24 metres (80 ft) wide, while the width of the subject property is 19 metres (63 ft) wide.

Applicable Sections of the Land Use Bylaw:

- Land Use Bylaw, Schedule 2, Country Residential 2 land use district

KEY CONSIDERATIONS:

Staff requests that the commission considers APPROVAL of Development Application (2021-042) to allow for a waiver of secondary front yard setback requirements subject to the following conditions. These conditions are in addition to standard development conditions associated with single detached dwellings with an attached garage permit.

1. Setbacks to conform to the site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential 2 - CR-2, with the exception of the secondary front yard setback which shall be reduced to 4.8 metres (16 ft).

FINANCIAL IMPACT:

None

STAKEHOLDER ENGAGEMENT:

The application has been circulated to neighbouring property owners and one response has been provided.

DECISION OPTIONS:

The MPC may:

1. Approve the development application with conditions.
2. Deny application with reasons.
3. Table the application pending further receipt of additional information.

The Development Officer recommends approval of the permit subject to the conditions as listed in the staff report.

RECOMMENDATION:

THAT the commission approve DP 2021-042 with conditions.

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIC PLAN:**ATTACHMENTS:**

[2021-042 - Notice Letter to Adjacent Landowners - 3125 13 Street - SDD waiver](#)
[DP 2021-042 - Site plan](#)
[LUB - Schedule 2 - Country residential 2](#)
[DP 2021-042 - circulation response](#)



April 1, 2021

TO: NEIGHBOURING PROPERTY OWNERS
RE: DEVELOPMENT APPLICATION 2021-042
APPLICANT: ANDREAS CONSTRUCTION INC
ADDRESS: 3125 13th STREET, COALDALE, AB
PLAN 1611387, BLOCK 3, LOT 7
ZONING: COUNTRY RESIDENTIAL 2 (CR-2)

Dear Sir/Madam,

We are in receipt of Development Application 2021-042 regarding the construction of a single detached dwelling with an attached garage.

The dwelling and attached garage meet the required side, rear, and primary front yard setbacks. However, in order for the dwelling to fit on the lot as designed and oriented, a secondary front yard waiver of 9' is required. In this particular instance, the secondary front yard of the home is considered to be the yard facing 33rd Avenue. The setback requirement for a secondary front yard in the CR-2 zoning is 25'. The dwelling is proposed to be located such that it is 16' from the secondary front yard. The waiver being requested represents a waiver of 36%, which is in excess of the maximum 10% waiver that can be decided upon by a designated officer (Development Officer).

INFORMATIVE: The request for a waiver is largely based on the subject property not meeting the minimum lot dimension requirements. Lot width requirements in CR-2 zoning are a minimum of 80' wide, while the width of the subject property is 63' wide. As such, the application will be considered and decided upon by the Municipal Planning Commission (MPC) at the April MPC meeting.

- **This application will be heard by the MPC at the April 14th meeting, which will be held virtually at 5 pm.**
- **Options for attending the meeting are by virtual means.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by April 8th, 2021 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, April 14th, 2021, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2021-042.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 1:00pm on Friday, April 12th, 2021 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

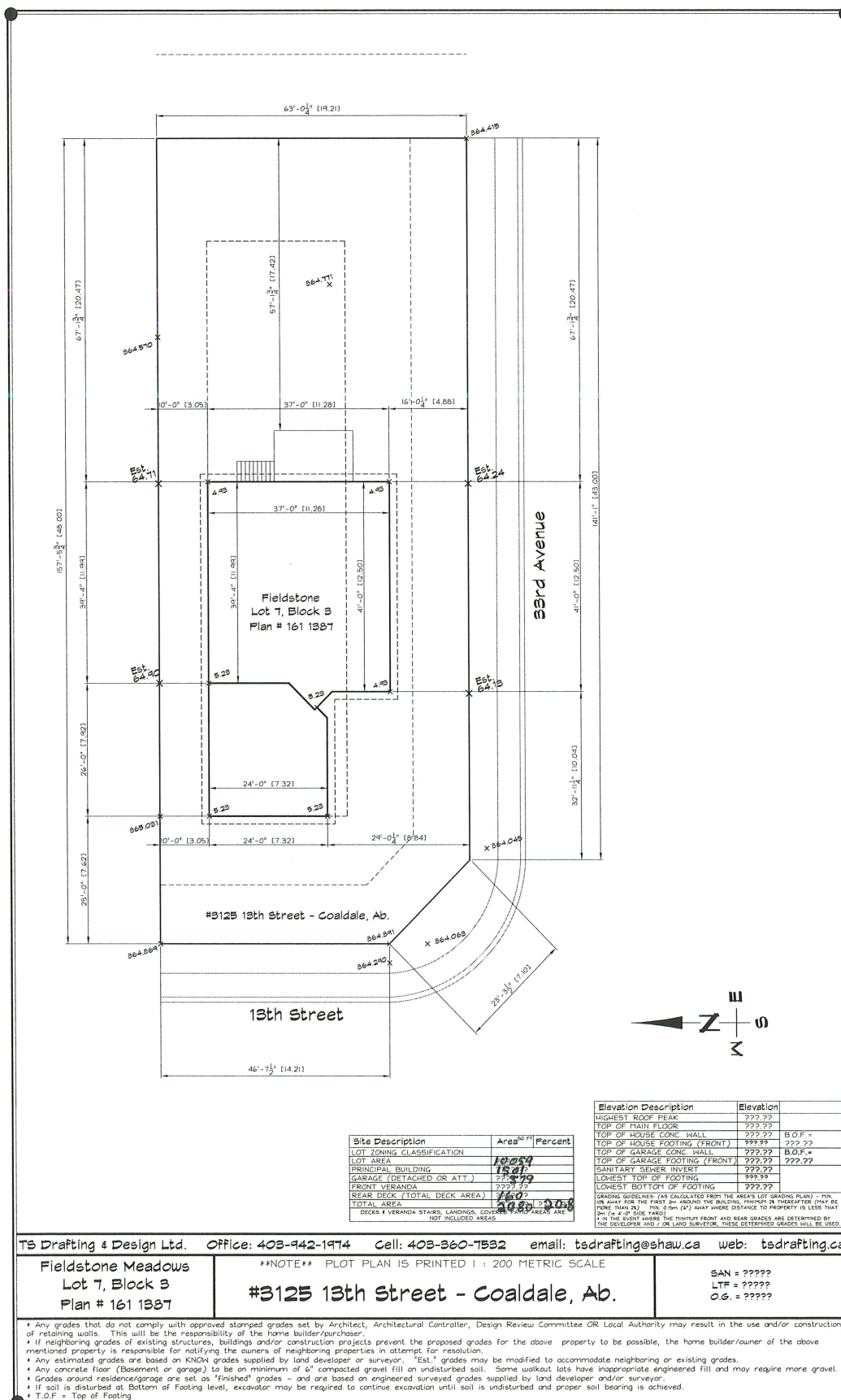
Sincerely,



Spencer Croil, RPP MCIP
Director of Planning and Community Development

cc. Applicant





COUNTRY RESIDENTIAL TWO – CR-2



Purpose:

To establish a residential large lot district to ensure that any development will proceed in an orderly and economical manner.

1. (A) PERMITTED USES

- Dwellings:
 - Secondary Suite
 - Single-Detached - Prefabricated
 - Single-Detached Site Built
- Accessory building, structure or use to an approved permitted use
- Day Home
- Detached Garage
- Garden Shed
- Home Occupation 1
- Shipping Container (temporary)

(B) DISCRETIONARY USES

- Dwellings:
 - Moved-In
- Accessory building, structure or use to an approved discretionary use
- Bed and Breakfast
- Child Care Facility
- Home Occupation 2
- Moved-In Building
- Public or Private Utility
- Sign Types¹: 2, 4, 5², 12

Notes: 1 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.

2 – See Schedule 13, subsection 8(5)(i) for restrictions on freestanding signs in residential districts.

(C) PROHIBITED USES

- Shipping Container (permanent)
- Single detached manufactured dwelling
- Sign Types 1, 3, 6, 7, 8, 9, 10, 11
- Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use.

2. MINIMUM LOT SIZE

Use	Width		Length		Area	
	m	ft.	m	ft.	m ²	ft ²
Single-detached dwellings	24.38	80	33.52	110	817.21 (0.081 ha)	8,800 (0.20 acre)
All other uses	As required by the Designated Officer or Municipal Planning Commission					

- (a) The Designated Officer may approve a development on an existing registered lot if the minimum dimensions or area are less than those specified above in Section 2.
- (b) Despite the above requirements, all lots located on curves or cul-de-sacs shall have a minimum frontage³ of 6 m (19.68 ft.).

3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS AND USES

	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
Use	m	ft.	m	ft.	m	ft.	m	ft.
Principal Use	7.62	25	7.62	25	3.05	10	6.10	20
Accessory Buildings	–	–	–	–	1.52	5	1.52	5
All other uses	As required by the Designated Officer or Municipal Planning Commission							

4. MAXIMUM SITE COVERAGE

(a) **Principal Building – 35%**

The principal building shall not occupy more than 35 percent of the surface area of a lot. Attached garages shall be considered as part of the principal building.

(b) **Accessory Buildings – 10%**

Any accessory buildings shall not occupy more than 10 percent of the surface area of a lot.

(c) Other development shall be at the discretion of the Development Authority.

5. MAXIMUM HEIGHT OF BUILDINGS

Use	Maximum Height*
Principal Dwelling	10 m (33 ft.)
Accessory Buildings	4.57 m (15 ft.)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*See definition for Building Height.

6. DRAINAGE

- (a) All dwellings and accessory structures must have eaves and downspouts, proper site grading and all surface drainage must be contained on-site and directed into approved municipal infrastructure.

7. ACCESSORY BUILDINGS (INCLUDING GARDEN SHEDS AND DETACHED GARAGES)

- (a) Minimum setbacks for accessory buildings including garden sheds and detached garages are as follows:

	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
Use	m	ft.	m	ft.	m	ft.	m	ft.
Accessory Buildings	See (f) and (g) below.				3.05	10	4.57	15

Note: Measurements are from the respective property line to the nearest point of the building.

- (b) No accessory building or use shall be allowed on a lot without an approved principal building or use.
- (c) Accessory structures and uses not specifically included within a development permit require a separate development permit application.

- (d) Accessory buildings on interior lots or laneless corner lots shall not have overhanging eaves less than 0.61 m (2 ft.) from the side and rear lot line.
- (e) Accessory buildings on laned corner lots shall not have overhanging eaves less than 2.74 m (9 ft.) from the secondary front lot line and 0.61 m (2 ft.) from the rear and side lot lines.
- (f) Accessory buildings shall not be located in the front yard.
- (g) Accessory buildings shall not be located in a side yard between the property line and a principal building.
- (h) Accessory buildings shall have a minimum separation of 0.61 m (2 ft.) from the overhanging eaves of the accessory building and the eaves of any other structure or dwelling.
- (i) The exterior finish of all accessory buildings must be the same or complimentary to the principal building.
- (j) A minimum separation distance of 1.22 m (4 ft.) shall be provided between a principal building and any accessory building or structure.

8. STANDARDS OF DEVELOPMENT	– SCHEDULE 4
9. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS	– SCHEDULE 5
10. PREFABRICATED DWELLING REGULATIONS	– SCHEDULE 6
11. HOME OCCUPATIONS	– SCHEDULE 7
12. BED AND BREAKFAST STANDARDS	– SCHEDULE 8
13. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES	– SCHEDULE 9
14. OFF-STREET PARKING AND LOADING REQUIREMENTS	– SCHEDULE 11
15. SIGN REGULATIONS	– SCHEDULE 13



Melanie Messier <melanie.messier@coaldale.ca>

Fwd: 3125 13 Street, Coaldale

Spencer Croil <planner@coaldale.ca>
To: Melanie Messier <melanie.messier@coaldale.ca>

Wed, Apr 7, 2021 at 12:03 PM

Hi Mel

Please include in the application package for MPC

----- Forwarded message -----

From: <douglas@bergenassociates.com>
Date: Wed, Apr 7, 2021 at 12:01 PM
Subject: 3125 13 Street, Coaldale
To: Spencer Croil <planner@coaldale.ca>
CC: <crandreas@hotmail.com>

Good morning Spencer,

I am in receipt of an application for setback waivers at 3125 13 Street in Coaldale.

I confirm that I have no issue with the application.

Sincerely,

Douglas J. Bergen, CET

Douglas J. Bergen & Associates Ltd.

Phone: 403-345-2116



Virus-free. www.avast.com

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AGENDA ITEM REPORT



Title: DP 2021-044 - 2133 20A Avenue
Report Type: Request for Decision
Report Author: Melanie Messier
Meeting: Municipal Planning Commission - 14 Apr 2021
Department: Planning
Reviewed by Spencer Croil
Supervisor/Peer:

TOPICS:

Planning and Community Development:
Development, Municipal Planning

OBJECTIVE:

The following report is to present the Municipal Planning Commission (MPC) with an application to review the construction of a single-detached dwelling with a detached garage at the subject property Plan 2011113, Block 3, Lot 32.

The parcel is zoned Residential Small Lot - R-1B. This applicant is proposing a variety of waivers for setback requirements for the single-detached dwelling and the detached garage based on the approval of a previously approved subdivision, which allowed for the creation of the lot. For this reason, the application requires the review of the MPC.

PREVIOUS COUNCIL DIRECTION:

First time this matter has appeared before Council.

ANALYSIS:

Generally, it is worth noting that the lot upon which the development of the single detached dwelling and detached garage is proposed was created by way of a subdivision completed in 2019. At the time of the subdivision application, a conceptual layout for the development of the newly created lot was provided and has informed the preparation of the development permit that is the subject of this application.

The lot that was created by the subdivision is 23 m (76.9 ft) wide and 15.2 m (49.10 ft) in length, with an area of 356.97 m² (3842.4 ft²). The minimum dimensions for the R-1B land use district are 12.19 m (40 ft) width and 30.48 m (100 ft) depth, with a minimum area of 371.55 m² (4000 ft²). Therefore, the lot in question is under the minimum size as per the land use district. However, as per Sec. 39(b) of the Administration part of the Land Use Bylaw, the Subdivision Authority may approve the creation of a lot that does not meet minimum dimensional or area requirements and the Development Authority may approve development on such lots.

The single detached dwelling is proposed to be 1.21 m (4 ft) from the south and west property boundaries (being considered the side and/or rear property boundaries), 5.48 m (18 ft) from the north property boundary, being considered the front property boundary, and 7.62 m (25 ft) from the east

property boundary, being considered the secondary front property boundary. The standard setbacks for a single detached dwelling in the R-1B land use district is 6.1 m (20 ft) for the front yard, 3.05 m (10 ft) for secondary front, 1.52 m (5 ft) for side, and 7.62 m (25 ft) for rear yards. The dwelling, as proposed, would require a 2 ft front yard waiver, 1 ft side yard waiver, and 21 ft rear yard waiver.

The detached garage is proposed to be 0.91 m (3 ft) from the north and east property boundaries, being considered the front and secondary front property boundaries. The standard setbacks for a detached garage in the R-1B land use district is 6.1 m (20 ft) for the front yard, 3.05 m (10 ft) for secondary front yard, and 0.9 m (3 ft) for side and rear yards. The garage, as proposed, would require a front yard waiver of 17 ft and a secondary front yard waiver of 7 ft.

Applicable Sections of the Land Use Bylaw:

- Land Use Bylaw, Schedule 2, Residential Small Lot R-1B

KEY CONSIDERATIONS:

Staff requests that the commission considers APPROVAL of Development Application (2021-044) to allow for a waiver of setback requirements for the construction of a single-detached development and a detached garage subject to the following conditions. These are in addition to the standard conditions associated with single-detached dwelling and detached garage permits.

1. Setbacks to conform to the site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential Small Lot R-1B, with the exception of the front yard 2' front yard waiver, 1' side yard waiver, and 21' rear yard waiver.
2. Accessory building setbacks to conform to the site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential Small Lot R-1B, with the exception of the 17' front yard waiver and 7' secondary front yard waiver.

FINANCIAL IMPACT:

None

STAKEHOLDER ENGAGEMENT:

The application has been circulated to neighbouring property owners.

DECISION OPTIONS:

The MPC may:

1. Approve the development application with conditions.
2. Deny application with reasons.
3. Table the application pending further receipt of further information.

The Development Officer recommends approval of the permit subject to conditions as listed in the staff report.

RECOMMENDATION:

THAT the commission approve DP 2021-044 with conditions.

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIC PLAN:



1. Focus on
Community Safety



2. Focus on Livability



3. Focus on Economic
Health



4. Focus on Good
Governance and
Corporate Excellence



5. Focus on
Responsible and
Responsive Growth

ATTACHMENTS:

[2021-044 - Notice Letter to Adjacent Landowners](#)

[LUB - Schedule 2 - Residential - R1B](#)

[2021-044 - Site plan and drawings](#)



April 1, 2021

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2021-044

APPLICANT: RIVER HAWK HOMES

**ADDRESS: 2133 20A AVENUE, COALDALE, AB
PLAN 2011113, BLOCK 3, LOT 32**

ZONING: RESIDENTIAL SMALL LOT – R-1B

Dear Sir/Madam,

We are in receipt of Development Application 2021-044 regarding the construction of a single detached dwelling with a detached garage.

Generally, it is worth noting that the lot upon which the development of the single detached dwelling and detached garage is proposed was created by way of a subdivision completed in 2019. At the time of the subdivision application, a conceptual layout for the development of the newly created lot was provided, and has informed the preparation of the development permit that is the subject of this notice.

The lot that was created by the subdivision is 23 m (76.9 ft) wide and 15.2 m (49.10 ft) in length, with an area of 356.97 m² (3842.4 ft²). The minimum dimensions for the R-1B land use district are 12.19 m (40 ft) width and 30.48 m (100 ft) depth, with a minimum area of 371.55 m² (4000 ft²). Therefore, the lot in question is under the minimum size as per the land use district. However, as per Sec. 39(b) of the Administration part of the Land Use Bylaw, the Subdivision Authority may approve the creation of a lot that does not meet minimum dimensional or area requirements and the Development Authority may approve development on such lots.

The single detached dwelling is proposed to be 1.21 m (4 ft) from the south and west property boundaries (being considered the side and/or rear property boundaries), 5.48 m (18 ft) from the north property boundary, being considered the front property boundary, and 7.62 m (25 ft) from the east property boundary, being considered the secondary front property boundary. The standard setbacks for a single detached dwelling in the R-1B land use district is 6.1 m (20 ft) for the front yard, 3.05 m (10 ft) for secondary front, 1.52 m (5 ft) for side, and 7.62 m (25 ft) for rear yards. The dwelling, as proposed, would require a 2 ft front yard waiver, 1 ft side yard waiver, and 21 ft rear yard waiver.

The detached garage is proposed to be 0.91 m (3 ft) from the north and east property boundaries, being considered the front and secondary front property boundaries. The standard setbacks for a detached garage in the R-1B land use district is 6.1 m (20 ft) for the front yard, 3.05 m (10 ft) for secondary front yard, and 0.9 m (3 ft) for side and rear yards. The garage, as proposed, would require a front yard waiver of 17 ft and a secondary front yard waiver of 7 ft.

- This application will be heard by the MPC at the April 14th meeting, which will be held virtually at 5 pm.
- Options for attending the meeting are by virtual means.
- For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.

The full agenda will be posted on our website by April 8th, 2021 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, April 14th, 2021, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2020-044.**

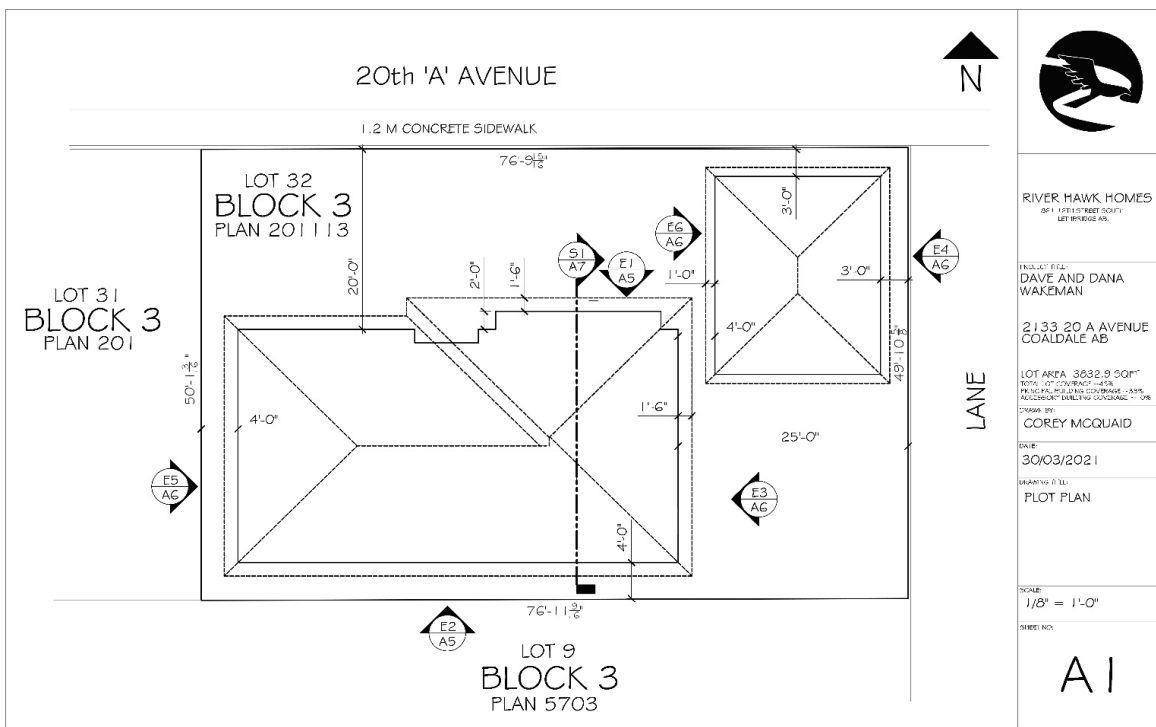
Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 1:00pm on Friday, April 12th, 2021 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,



Spencer Croil, RPP MCIP
Director of Planning and Community Development

cc. Applicant



RESIDENTIAL SMALL LOT – R-1B



Purpose:

To provide for small residential lot sites, usually predesignated or pre-planned, to accommodate high-quality, single-detached dwellings and semi-detached dwellings. Development is to occur on smaller-sized lots as defined in this land use district.

1. (A) PERMITTED USES

- Dwellings:
 - Single-Detached - Site Built
 - Single-Detached - Prefabricated
 - Semi-Detached - Pre-Planned¹
- Accessory building, structure or use to an approved permitted use
- Day Home
- Detached Garage
- Garden Shed
- Home Occupation 1
- Shipping Container (temporary)

(B) DISCRETIONARY USES

- Dwellings:
 - Moved-In
 - Secondary Suite
 - Semi-Detached - Isolated²
- Accessory building, structure or use to an approved discretionary use
- Bed and Breakfast
- Child Care Facility
- Home Occupation 2
- Institutional Facilities and Uses
- Moved-In Building
- Parks and Playgrounds
- Public or Private Utility
- Sign Types³: 2, 4, 5⁴, 12

Notes:

1 – Semi-Detached Dwelling – Pre-Planned means a semi-detached dwelling or a proposed semi-detached dwelling that **would** be located on a site designated for that purpose in an adopted Statutory Plan.

2 – Semi-Detached Dwelling – Isolated means a semi-detached dwelling or proposed semi-detached dwelling that would be located on a site **not** designated for that purpose in an adopted Statutory Plan.

3 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.

4 – See Schedule 13, subsection 8(5)(i) for restrictions on freestanding signs in residential districts.

(C) PROHIBITED USES

- Shipping Containers (permanent)
- Single-detached manufactured dwellings
- Sign Types 1, 3, 6, 7, 8, 9, 10, 11
- *Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use*

2. MINIMUM LOT SIZE

Use	Width		Length		Area	
	m	ft.	m	ft.	m ²	ft ²
Single Detached Dwelling	12.19	40	30.48	100	371.55	4,000
Semi-Detached Dwellings (for each side)	12.19	40	30.48	100	371.55	4,000
All other uses	As required by the Designated Officer or Municipal Planning Commission					

- (a) The Designated Officer may approve a development on an existing registered lot if the minimum dimensions or area are less than those specified above in Section 2.
- (b) Despite the above requirements, all lots located on curves or cul-de-sacs shall have a minimum frontage of 6 m (19.68 ft.).

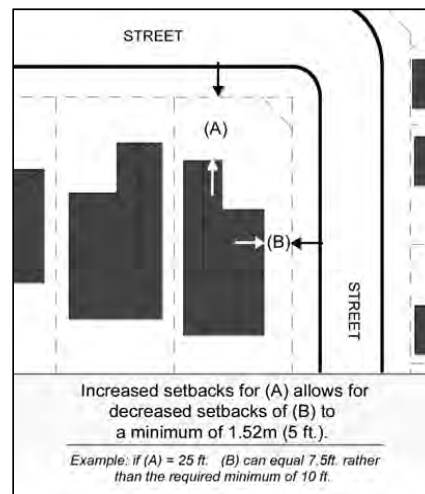
3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS AND USES

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Single Detached Dwelling	6.10	20	3.05*	10*	1.52	5	7.62	25
Semi-Detached Dwellings (for each side)	7.62	25	3.81*	12.5*	1.52	5	7.62	25
All other uses	As required by the Designated Officer or Municipal Planning Commission							

Note: Measurements are from the respective property line to the nearest point of the building.

MINIMUM YARD SETBACKS FOR A CORNER LOT

*The required secondary front yard distance on a corner lot may be reduced by 0.15 m (0.5 ft.) for each 0.3 m (1 ft.) that the front yard setback is increased, providing the resulting secondary front yard setback is never less than 1.52 m (5 ft.). (see diagram)



4. MAXIMUM SITE COVERAGE

- (a) **Total allowable coverage:** 45% inclusive of all buildings
- (b) **Principal building:** 35 - 45% depending on accessory building(s)
The principal dwelling shall not occupy more than 45 percent of the surface area of a lot. Attached garages shall be considered as part of the principal building.
- (c) **Accessory buildings:** 0 - 10% depending on principal building
The combined total of all accessory buildings, including detached garages, shall be no more than 10 percent of the surface area of the lot, or less, depending on the total lot coverage of the principal building.
- (d) Other development shall be at the discretion of the Development Authority.

5. MINIMUM FLOOR AREA

Use	Minimum Floor Area*
Single-Detached Dwellings	69.68 m ² (750 ft ²)
Semi-Detached Dwellings (both units)	130.06 m ² (1,400 ft ²)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*Total floor area of all floors as measured by floors above grade or floors not more than 1.5 m (5 ft.) below grade.

6. MAXIMUM HEIGHT OF BUILDINGS

Use	Maximum Height*
Principal Dwelling	10 m (33 ft.)
Accessory Buildings	4.57 m (15 ft.)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*See definition for Building Height.

7. DRAINAGE

- (a) All dwellings and accessory structures must have eaves and downspouts, proper site grading and all surface drainage must be contained on-site and directed into approved municipal infrastructure.

8. ACCESSORY BUILDINGS (INCLUDING GARDEN SHEDS AND DETACHED GARAGES)

- (a) Minimum setbacks for accessory buildings including garden sheds and detached garages are as follows:

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Accessory Buildings – interior lots and laneless corner lots	See (f) and (g) below.				0.90	3	0.90	3
– laned corner lots	Same as principal		3.05	10	0.90	3	0.90	3
All other uses	As required by the Designated Officer or Municipal Planning Commission							

Note: Measurements are from the respective property line to the nearest point of the building.

- (b) No accessory building or use shall be allowed on a lot without an approved principal building or use.
- (c) Accessory structures and uses not specifically included within a development permit require a separate development permit application.
- (d) Accessory buildings on interior lots or laneless corner lots shall not have overhanging eaves less than 0.61 m (2 ft.) from the side and rear lot line.
- (e) Accessory buildings on laned corner lots shall not have overhanging eaves less than 2.74 m (9 ft.) from the secondary front lot line and 0.61 m (2 ft.) from the rear and side lot lines.
- (f) Accessory buildings shall not be located in the front yard.
- (g) Accessory buildings shall not be located in a side yard between the property line and a principal building.
- (h) Accessory buildings shall have a minimum separation of 0.61 m (2 ft.) from the overhanging eaves of the accessory building and the eaves of any other structure or dwelling.
- (i) The exterior finish of all accessory buildings must be the same or complimentary to the principal building.
- (j) A minimum separation distance of 1.22 m (4 ft.) shall be provided between a principal building and any accessory building or structure.

9. MINIMUM LOT LINE SETBACKS FOR OVERHANGING EAVES

- (a) The overhanging eaves of a principal building shall not be less than 0.61 m (2 ft.) from the side lot line.

10. ARCHITECTURAL CONTROL APPROVAL

- (a) Development permits may require developer's Architectural Control review and approval PRIOR to a development permit being issued.

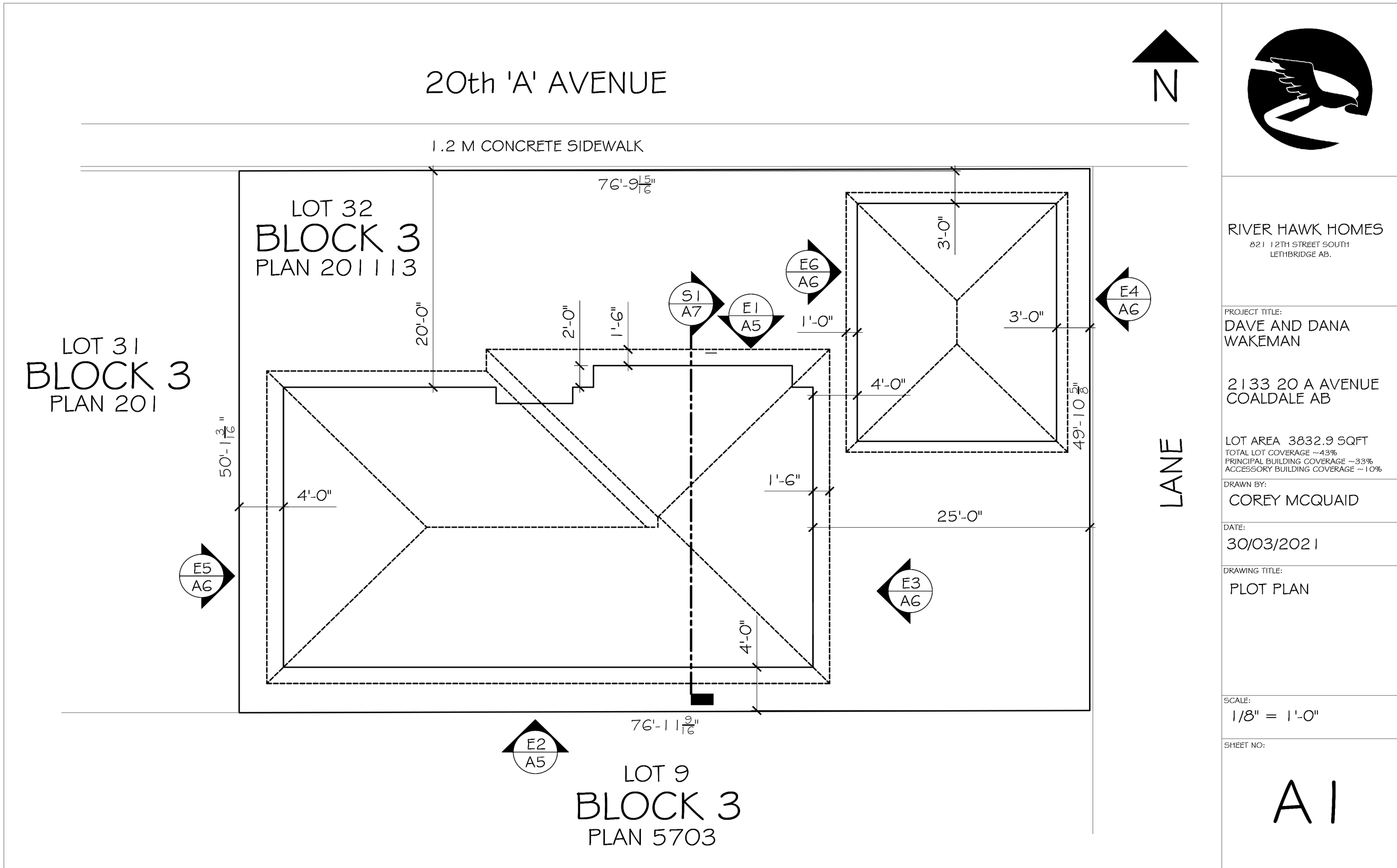
11. PREPLANNED OR COMPREHENSIVE DEVELOPMENTS

Applications for preplanned or comprehensive Developments or Subdivisions should be accompanied by:

- (a) **Development Concept** – A graphic rendering of the project together with a brief written summary of the concept and purpose of the development;
- (b) **Site Plans and Drawings** – Site plans, drawn to an appropriate scale, should be submitted in duplicate. Among other things, they should indicate: dimensions of all existing and proposed lots, existing and proposed roadways and public areas, parking stalls, the location of adjoining parcels and other details needed to describe the proposal;
- (c) **Topographic Details** – Topography of the site, including one metre or one-half metre contours should be provided either on the site plan or on a separate drawing;
- (d) **Contouring and Drainage** – Any proposed cutting and filling or other contouring of the site should be shown on a separate site plan. Proposed drainage of surface runoff should be detailed either on this plan or the main site plan;
- (e) **Roadways and Access** – All existing and proposed public roadways, such as streets, lanes and walkways should be shown and should include the proposed width of each as well as linkages to existing public roads;

- (f) **Development Specifications** – Specifications of the actual development should include such items as: minimum setbacks of all existing or proposed structures from lot boundaries, location, dimension and capacity of parking, driveway access points, approximate location of buildings on each lot, height of structures, etc.;
- (g) **Services and Utilities** – Information on all utilities that will be provided to the site including details pertaining to road construction, sidewalks, curb and gutter, water supply, storm sewer, sanitary sewage disposal, solid waste disposal are usually necessary;
- (h) **Staging of Development** – Proposed staging if the proposed Subdivision or Development will be completed in two (2) or more phases. This should be described together with the purpose of the proposed staging;
- (i) **Architectural Controls** – Any design standards such as type of roofing, building colours, siting of buildings, fencing, etc. to be complied with;
- (j) **Other Information** – And any other information that may be required by the Development Authority to make a recommendation.

12. STANDARDS OF DEVELOPMENT	– SCHEDULE 4
13. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS	– SCHEDULE 5
14. PREFABRICATED DWELLING REGULATIONS	– SCHEDULE 6
15. HOME OCCUPATIONS	– SCHEDULE 7
16. BED AND BREAKFAST STANDARDS	– SCHEDULE 8
17. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES	– SCHEDULE 9
18. OFF-STREET PARKING AND LOADING REQUIREMENTS	– SCHEDULE 11
19. SIGN REGULATIONS	– SCHEDULE 13





RIVER HAWK HOMES
821 12TH STREET SOUTH
LETHBRIDGE AB.

PROJECT TITLE:
DAVE AND DANA
WAKEMAN

2133 20A AVE
COALDALE AB

DRAWN BY:
COREY MCQUAID

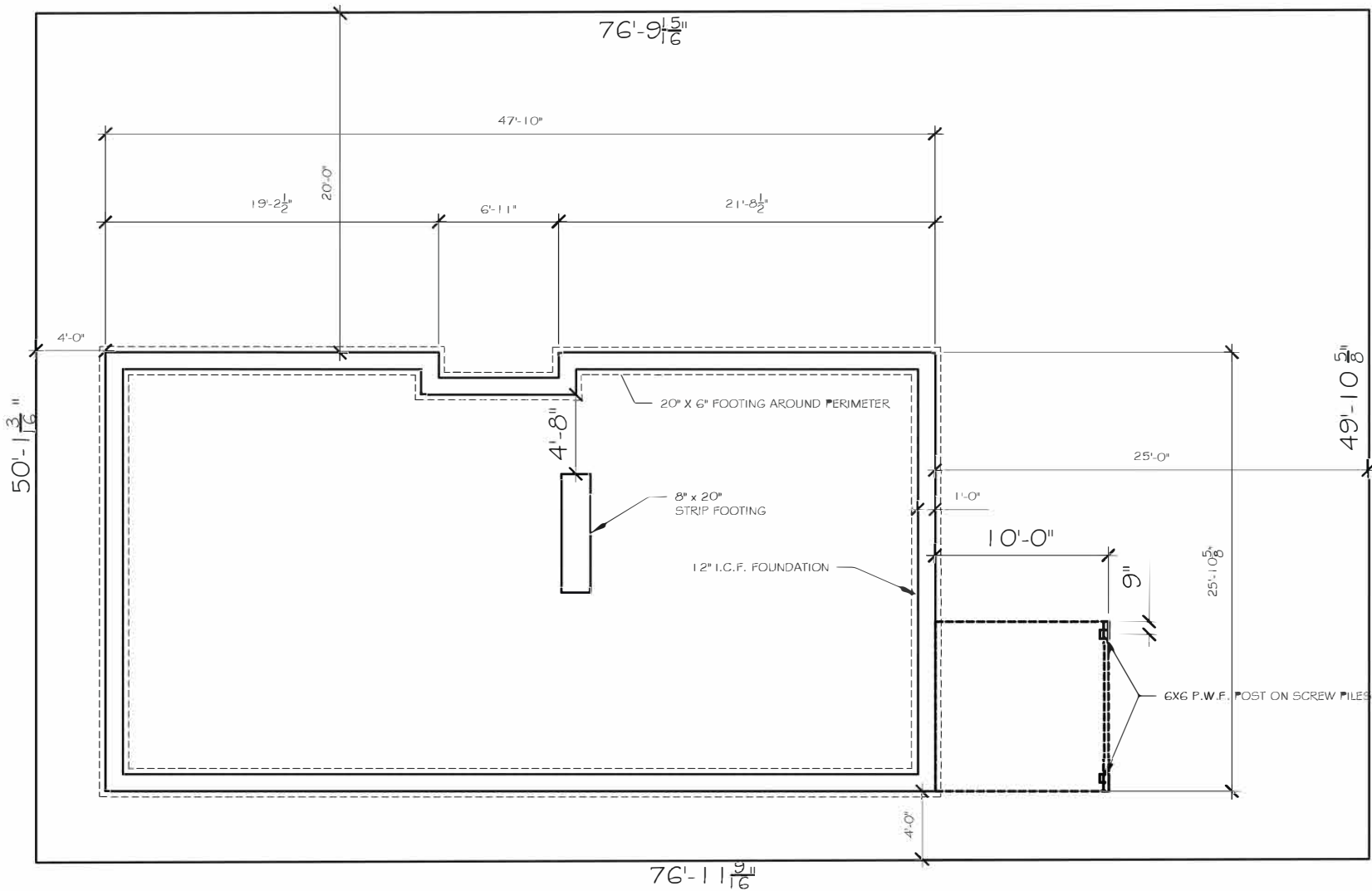
DATE:
15/09/2020

DRAWING TITLE:
FOUNDATION PLAN

SCALE:
1/8" = 1'-0"

SHEET NO:

A2





RIVER HAWK HOMES
821 12TH STREET SOUTH
LETHBRIDGE AB.

PROJECT TITLE:
DAVE AND DANA
WAKEMAN

DRAWN BY:
COREY MCQUAID

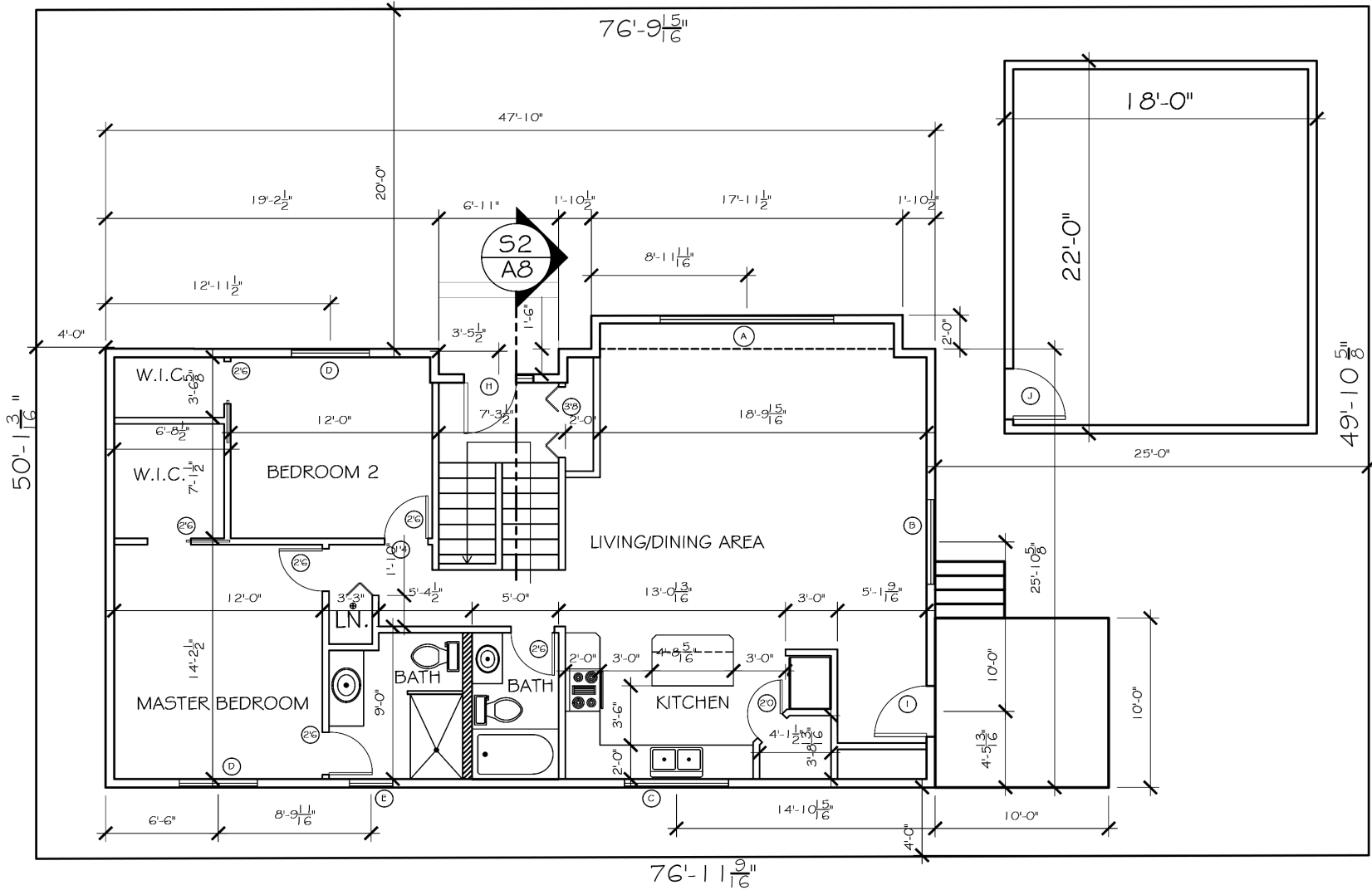
DATE:
30/03/2021

DRAWING TITLE:
MAIN FLOOR PLAN

SCALE:
1/8" = 1'-0"

SHEET NO:

A3





RIVER HAWK HOMES
821 12TH STREET SOUTH
LETHBRIDGE AB.

PROJECT TITLE:
DAVE AND DANA
WAKEMAN

2133 20A AVE
COALDALE AB

DRAWN BY:
COREY MCQUAID

DATE: 15/09/2020

DRAWING TITLE:

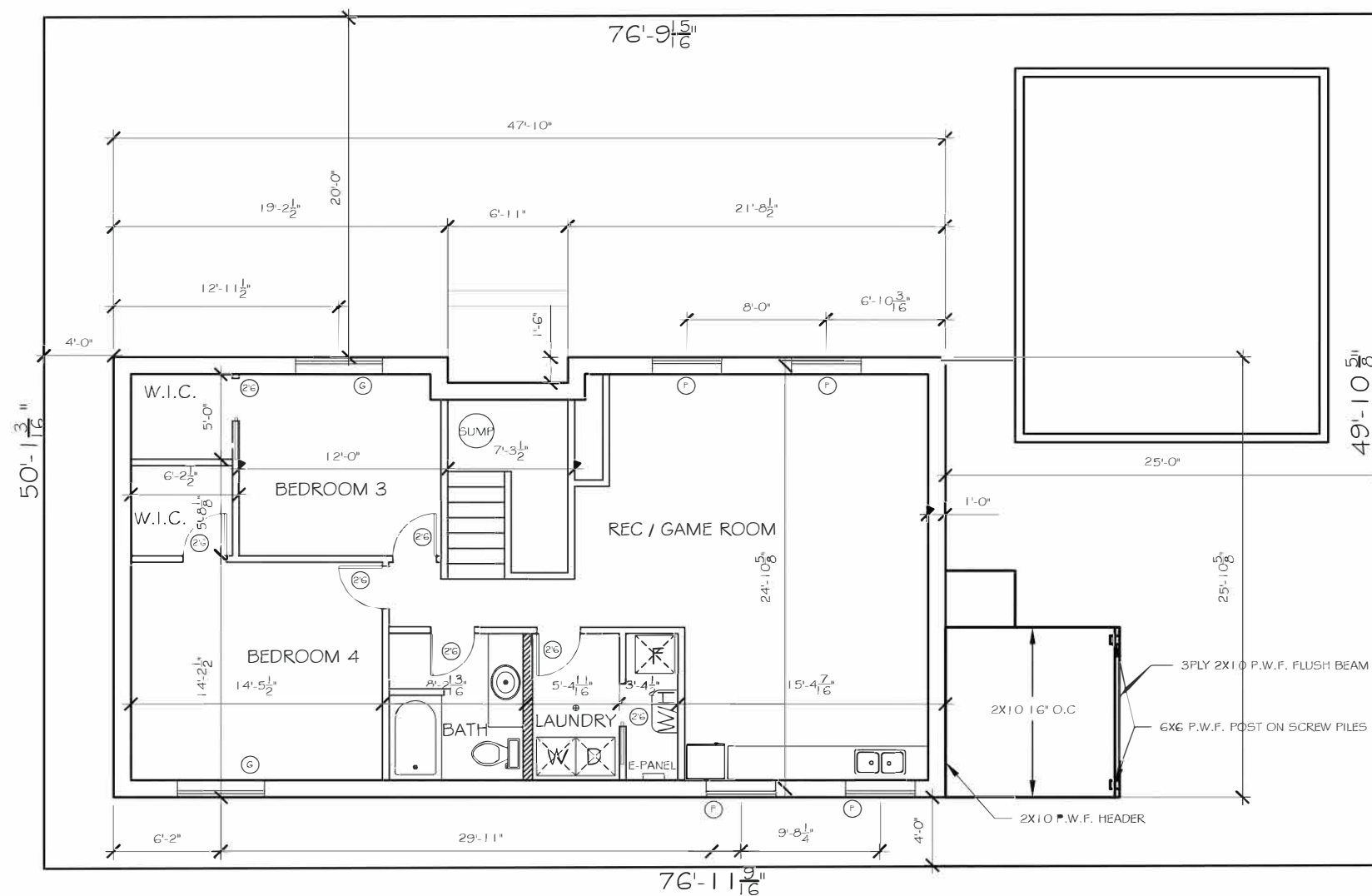
BASMENT PLAN

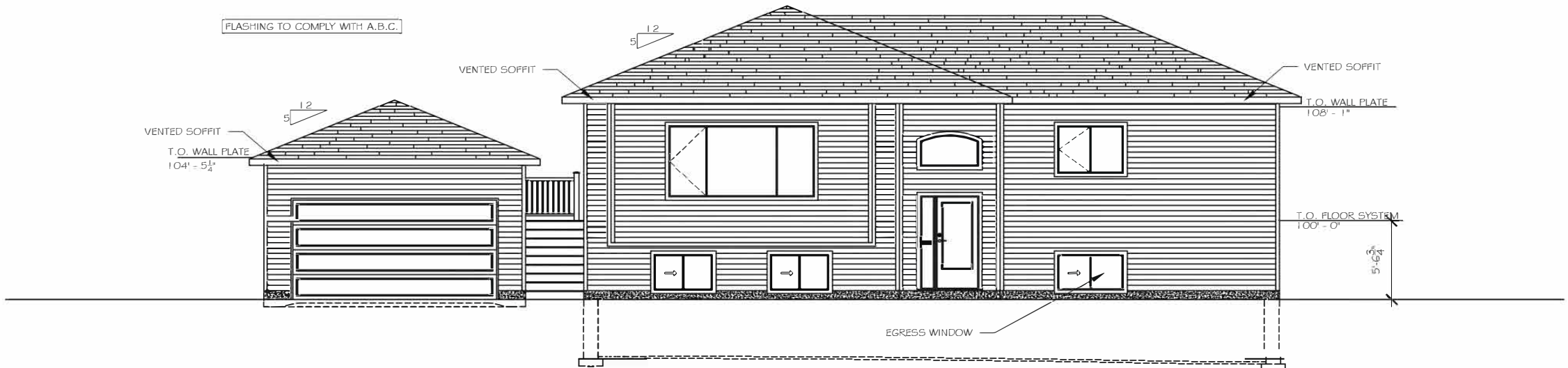
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SHEET NO.

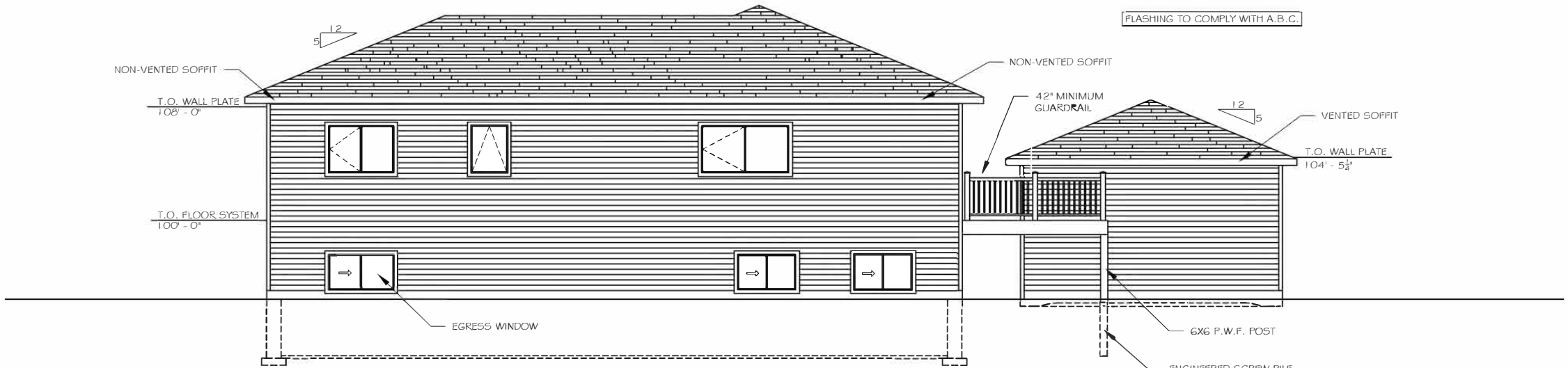
A4

15/09/2020





E1 NORTH ELEVATION
A1 SCALE: 1/8" = 1'-0"



E2 SOUTH ELEVATION
A1 SCALE: 1/8" = 1'-0"



RIVER HAWK HOMES
821 12TH STREET SOUTH
LETHBRIDGE AB.

PROJECT TITLE:
DAVE AND DANA
WAKEMAN

2133 20A AVE
COALDALE AB

DRAWN BY:
COREY MCQUAID

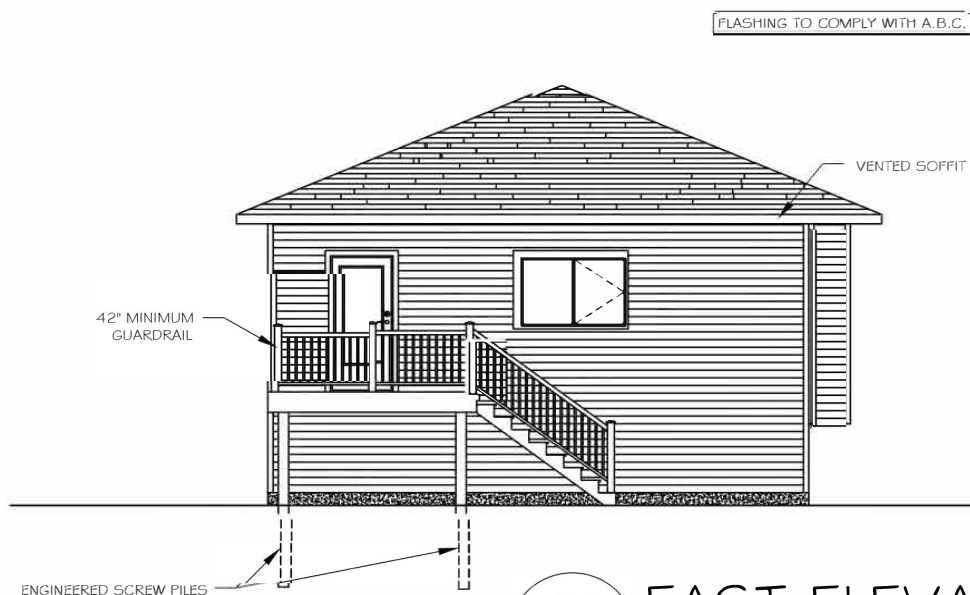
DATE:
15/09/2020

DRAWING TITLE:
NORTH/SOUTH
ELEVATIONS

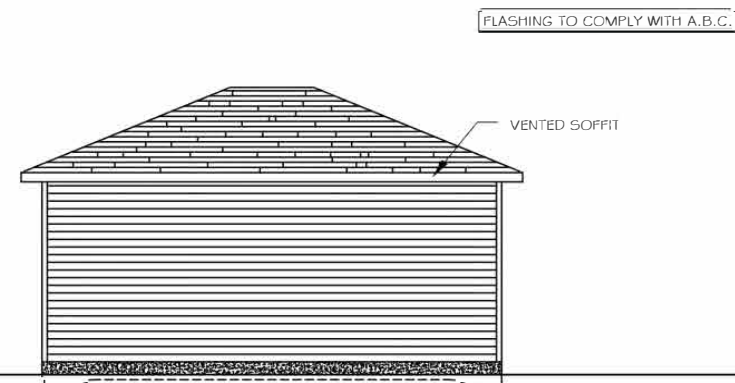
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1/8" = 1'-0"

SHEET NO:

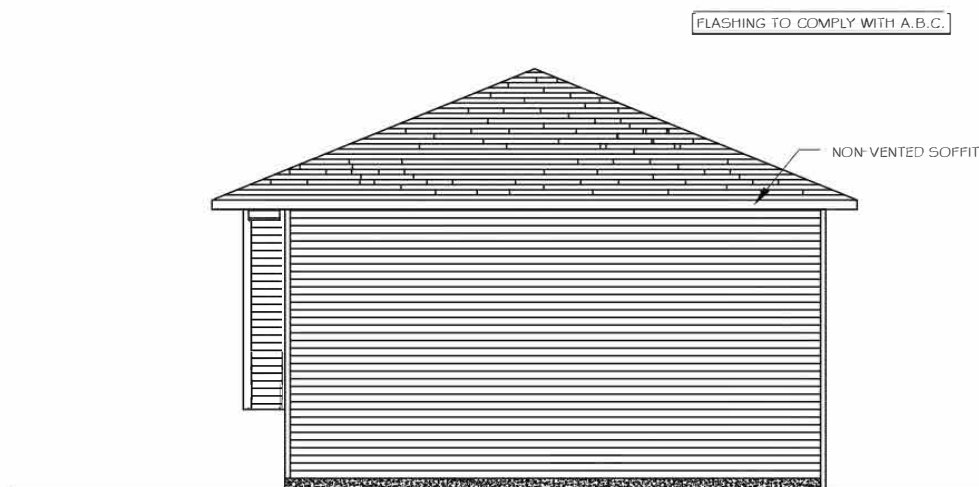
A5



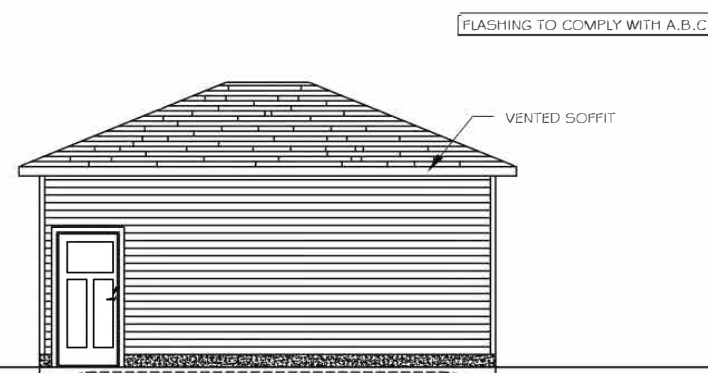
E3
A1 **EAST ELEVATION**
SCALE: 1/8" = 1'-0"



E4
A1 **EAST GARAGE ELEVATION**
SCALE: 1/8" = 1'-0"



E5
A1 **WEST ELEVATION**
SCALE: 1/8" = 1'-0"



E6
A1 **WEST GARAGE ELEVATION**
SCALE: 1/8" = 1'-0"



RIVER HAWK HOMES
821 12TH STREET SOUTH
LETHBRIDGE AB.

PROJECT TITLE:
DAVE AND DANA
WAKEMAN

2133 20A AVE
COALDALE AB

DRAWN BY:
COREY MCQUAID

DATE:
15/09/2020

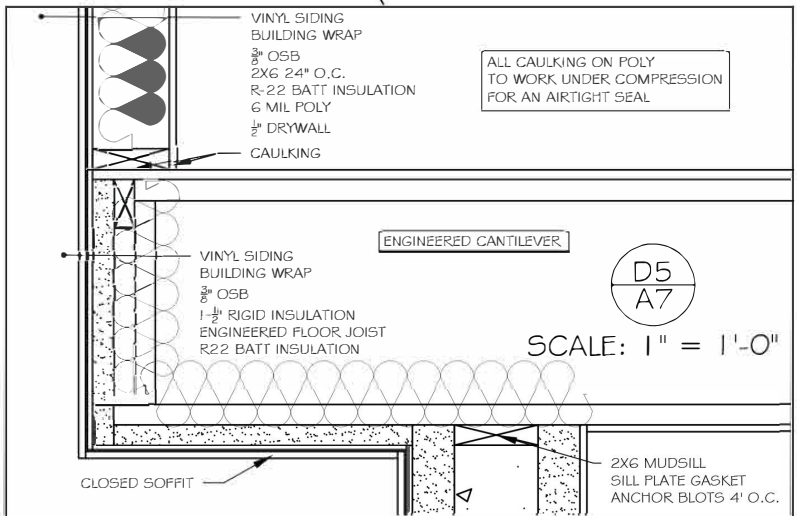
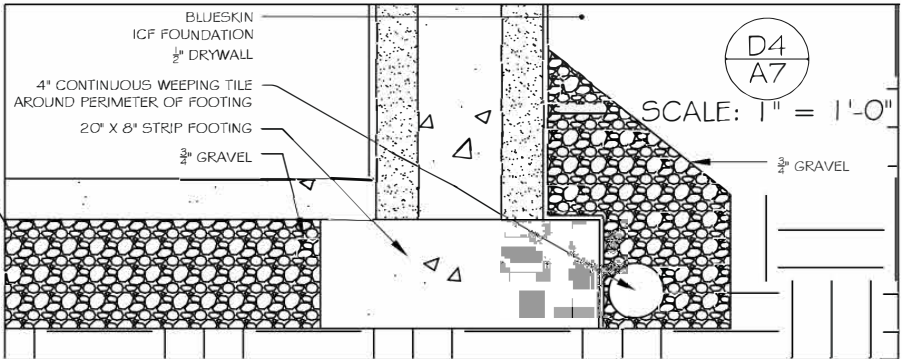
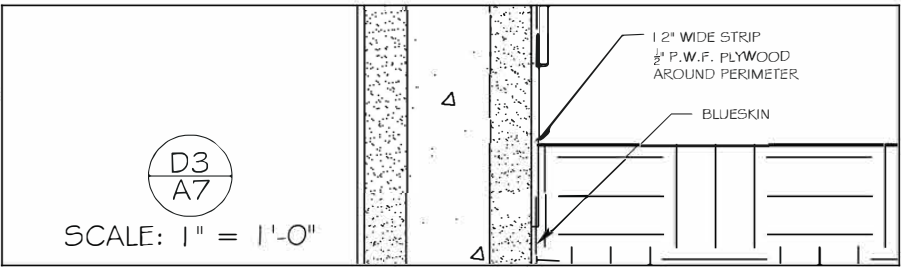
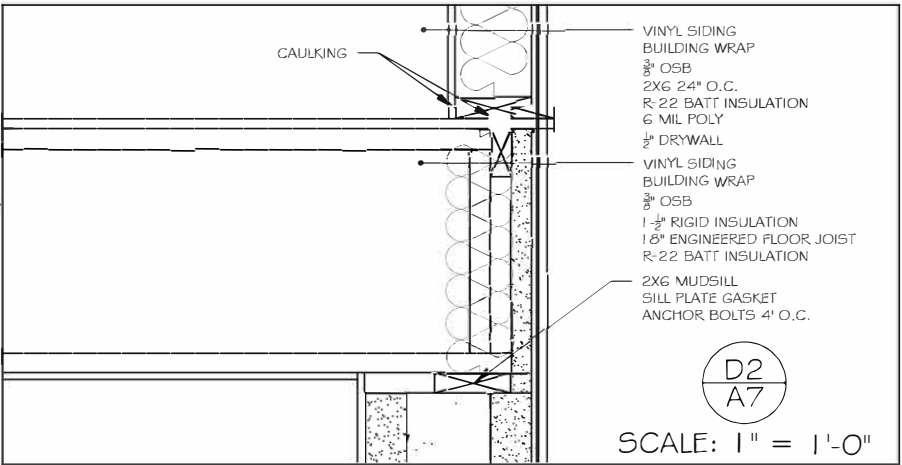
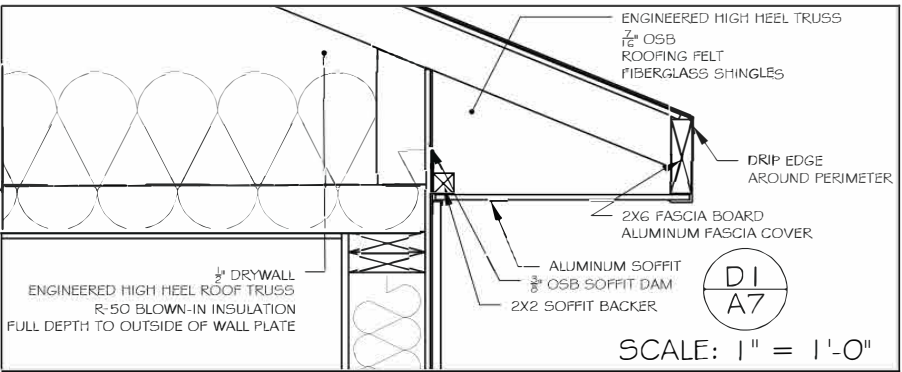
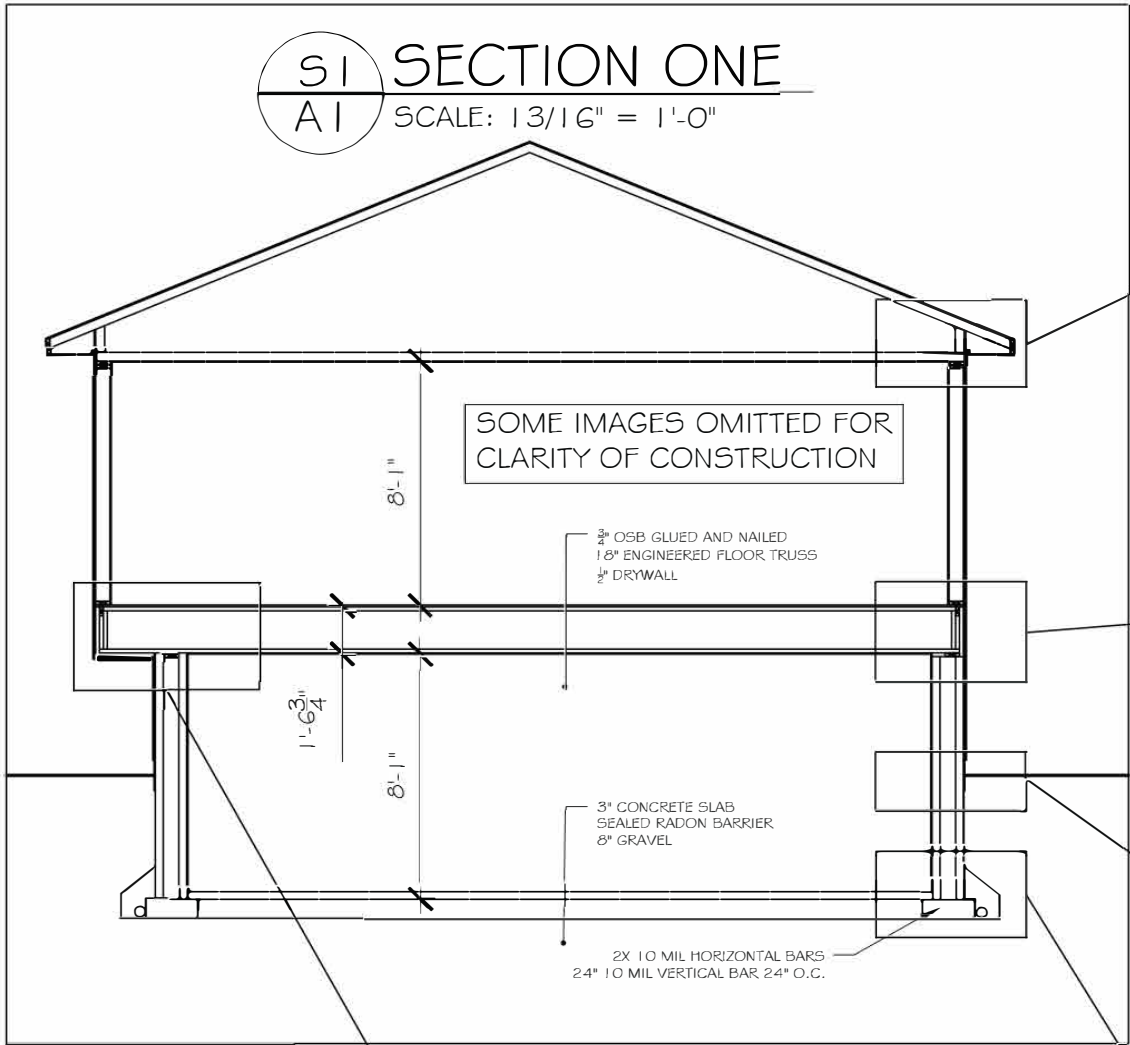
DRAWING TITLE:
EAST/WEST
ELEVATIONS

SCALE:
1/8" = 1'-0"

SHEET NO:

A6

15/09/2020



RIVER HAWK HOMES
821 12TH STREET SOUTH
LETHBRIDGE AB.

PROJECT TITLE:
DAVE AND DANA
WAKEMAN

2133 20A AVE
COALDALE AB

DRAWN BY:
COREY MCQUAID

DATE:
15/09/2020

DRAWING TITLE:
SECTION AND
DETAILS

2133 20A AVE
COALDALE AB

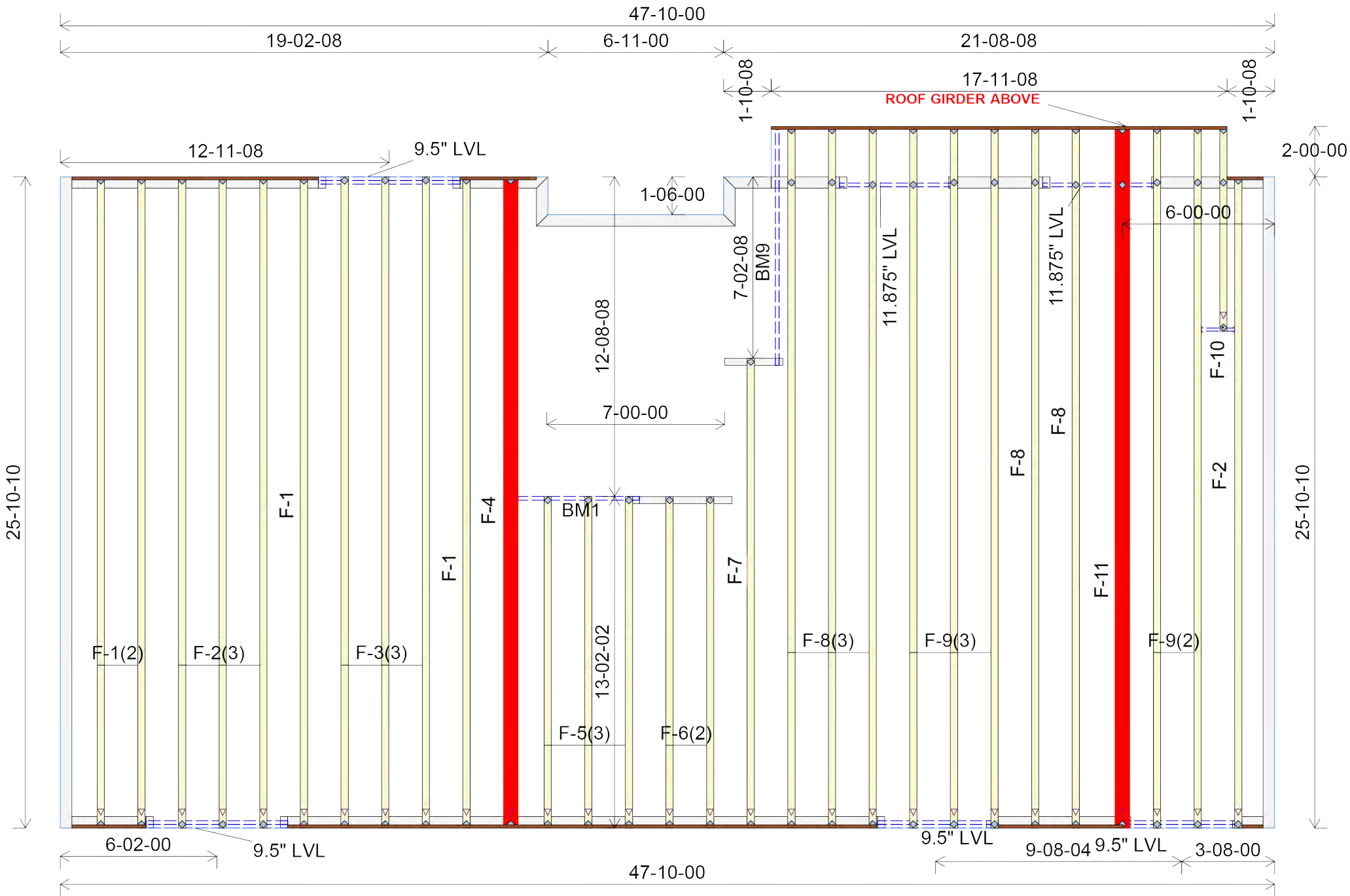
SCALE:
AS NOTED

SHEET NO:

A7

15/09/2020

- NOTES:
1. **READ** and **SAVE ALL** drawings and information supplied with this order.
 2. This is a truss placement diagram only, it is intended to be read in conjunction with Architectural drawings.
 3. Any discrepancies/questions/errors, must be reported to Timber Tech Truss Inc. prior to assembling floor system.
 4. Trusses are not to be cut or modified in any way.
 5. Builder to ensure Floor Trusses do not interfere with any req'd Mechanical openings.
 6. Floor Truss spacing may be adjusted up to 3" max.
 7. 2x6 Strongback bridging recommended at 10' o/c. or as per attached drawings.



FLOOR TRUSS LAYOUT

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult "Bracing of wood trusses" available from the Truss Plate Institute, 583 Donifrio Drive, WI 53179.

THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VOIDS ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS. REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

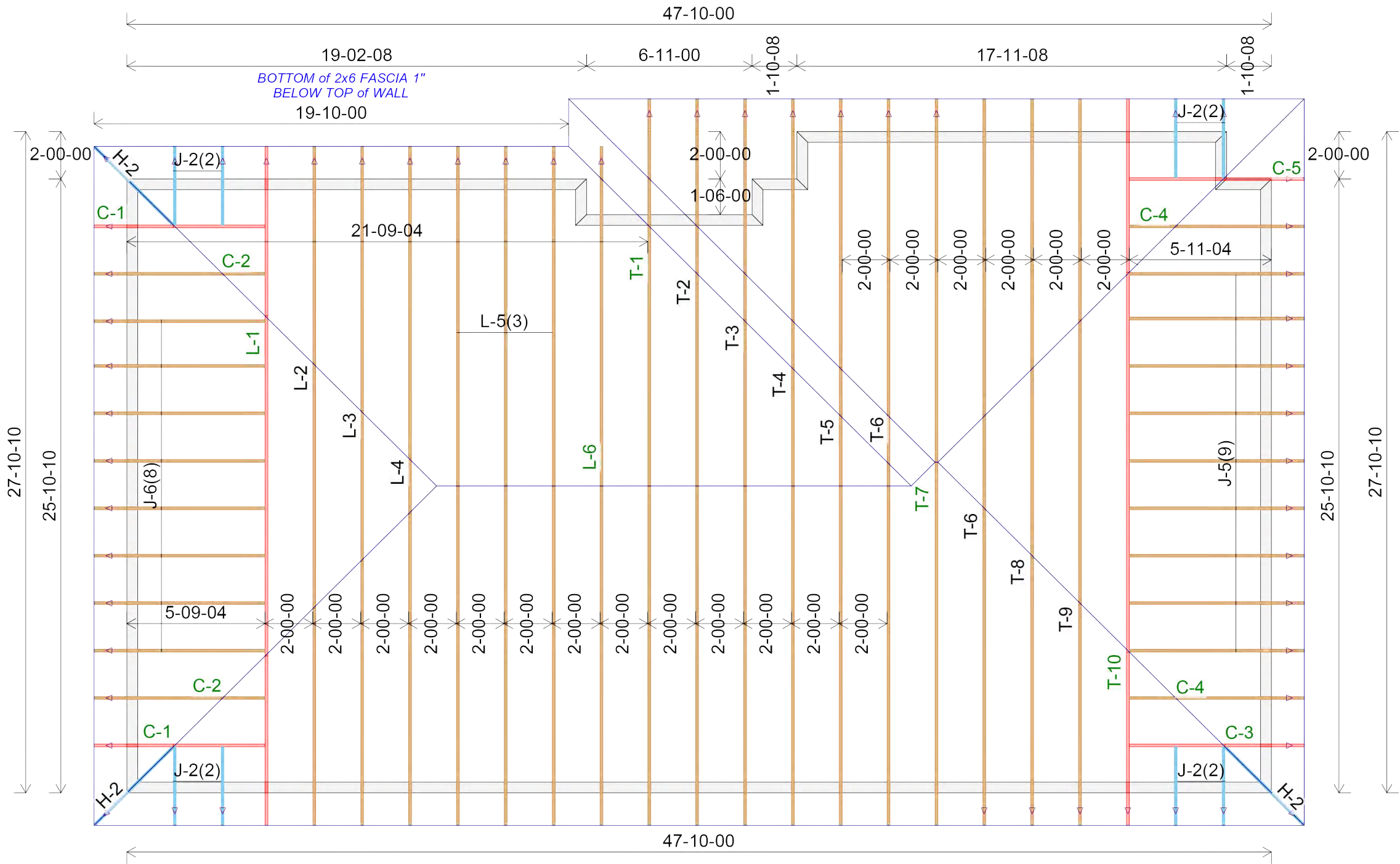


TIMBER-TECH
TRUSS INC.
Engineered Building Components

1405 - 31 St. N.
Lethbridge, AB
PH: (403) 328-5499



AVONLEA HOMES		147 GLODENROD WAY WEST	
LYANNA - 3 CAR		J190828710GJ	
18" O.W. FLOOR TRUSS	19'2" O/C	TCLL: 40 PSF TCCL: 15 PSF	
		BCLL: 0 PSF BCDL: 5 PSF	
		Designer: Gary J.	



- NOTES:
1. **READ** and **SAVE ALL** drawings and information supplied with this order.
 2. This is a truss placement diagram only, it is intended to be read in conjunction with Architectural drawings.
 3. Any discrepancies/questions/errors, must be reported to Timber Tech Truss Inc. prior to assembling roof system.
 4. Trusses are not to be cut or modified in any way.
 5. All permanent lateral and or T bracing must be of the size and grade specified, and fastened as indicated on the TRUSS drawings provided.
 6. Multiple ply girders must be laminated according to instructions found on the TRUSS drawings provided.
 7. Details for the connection or attachment of ledger bearings to girder trusses or walls are NOT determined by the truss designer. They are the responsibility of the builder or an authority other than the truss designer.
 8. See attached WWT-A "Handling and Erection" Manual for recommended guidelines for the installation of trusses.

ROOF TRUSS LAYOUT

THIS IS A TRUSS PLACEMENT DIAGRAM ONLY. These trusses are designed as individual building components to be incorporated into the building design at the specification of the building designer. See individual design sheets for each truss design identified on the placement drawing. The building designer is responsible for temporary and permanent bracing of the roof and floor system and for the overall structure. The design of the truss support structure including headers, beams, walls, and columns is the responsibility of the building designer. For general guidance regarding bracing, consult "Bracing of wood trusses" available from the Truss Plate Institute, 583 Donifrio Drive, WI 53179.

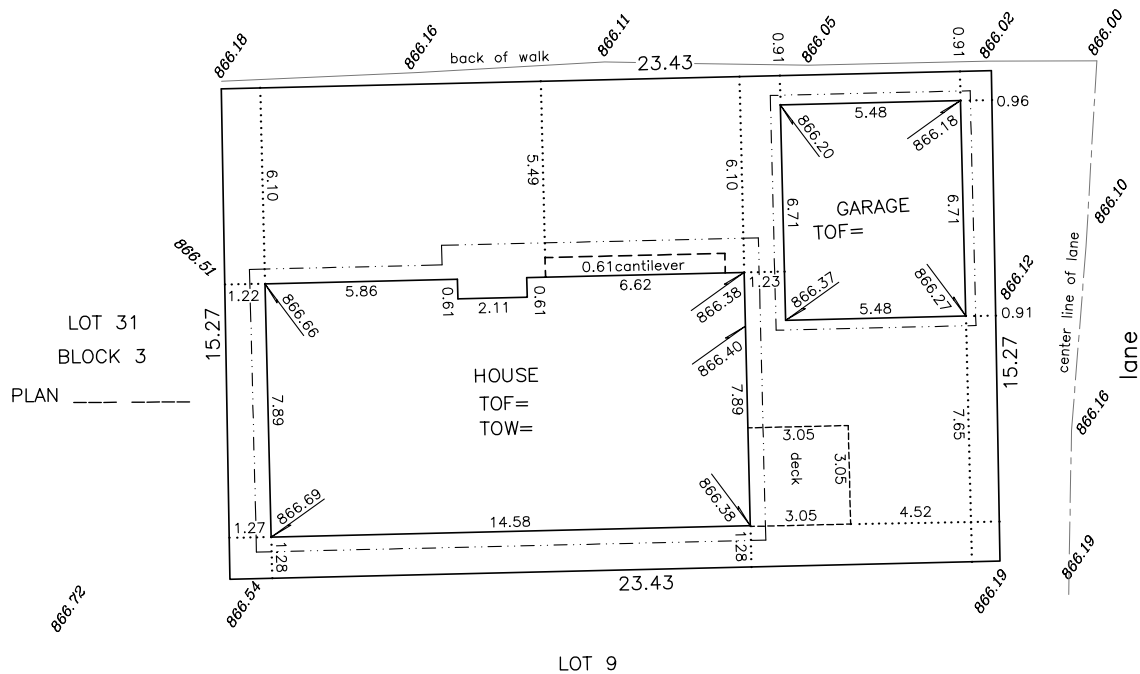
THIS LAYOUT IS THE SOLE SOURCE FOR FABRICATION OF TRUSSES AND VOIDS ALL PREVIOUS ARCHITECTURAL OR OTHER TRUSS LAYOUTS. REVIEW AND APPROVAL OF THIS LAYOUT MUST BE RECEIVED BEFORE ANY TRUSSES WILL BE BUILT. VERIFY ALL CONDITIONS TO INSURE AGAINST CHANGES THAT WILL RESULT IN EXTRA CHARGES TO YOU.

 1405 - 31 St. N. Lethbridge, AB PH: (403) 328-5499						LOUIS MZCQUAID		COALDALE	
		5/12 PITCH	PITCH	18" OVERHANG	G.S.L.: 25.06 PSF	RAIN: 2.09 PSF	J1809290246J		
		0/12 VAULT	VAULT	24" O.C.	T.C.L.: 21 PSF	B.C.L.: 0 PSF	6/9/2020		
					T.C.D.L.: 5 PSF	B.C.D.L.: 7 PSF	Designer: Gary J.		

PLOT PLAN
OF
LOT 32, BLOCK 3, PLAN 201 113
RIVER HAWK HOMES
2133 — 20th 'A' Avenue, Coaldale



20th 'A' AVENUE



NOTE:
Suggested finished grades at building
are calculated using City of Lethbridge
lot grading guidelines.

NOTE:
Retaining walls may be required
to achieve positive drainage without
adversely affecting adjacent properties.

TOF stands for top of footing
TOW stands for top of wall
Suggested grade at house shown thus...
Existing Grades shown thus 938.00

Distances are in metres and decimals thereof
Lot Area: 357.7 sq.meter 3850.7 sq.feet
Building Area: 153.8 sq.meter 1655.5 sq.feet
Sanitary Sewer Invert to be verified
by contractor prior to construction

Drawn: MJ	Checked: DJA	Scale: 1 : 200 (metric)
Date: June 9, 2020	JOB	9962

brown okamura & associates ltd.
2830 — 12 Avenue North, Lethbridge, Alberta T1H 5J9

AGENDA ITEM REPORT



Title: DP 2021-045 - 2008 8th Street
Report Type: Request for Decision
Report Author: Melanie Messier
Meeting: Municipal Planning Commission - 14 Apr 2021
Department: Planning
Reviewed by Spencer Croil
Supervisor/Peer:

TOPICS:

Planning and Community Development:
Municipal Planning

OBJECTIVE:

The following report is to present the Municipal Planning Commission (MPC) with an application allow the installation of three (3) flagpoles at the subject property Plan 7710135, Block B, Lot 13.

The parcel is located within the Institutional/Recreational - I/R zoning district, where flagpoles are a "Permitted Projection into Setback" as per the Land Use Bylaw. However, the flag poles are above the permitted height allowed within yard setbacks. For this reason, the application requires the review of the MPC.

PREVIOUS COUNCIL DIRECTION:

First time this matter has appeared before Council.

ANALYSIS:

Flagpoles 4.57 metres (15 feet) or less are permitted in yard setbacks, including flagpoles, as per Schedule 4, Sec. 12 (Permitted Projections into Setbacks) of the Town's Land Use Bylaw (LUB). However, in this particular instance, the flagpoles are proposed to be within the 7.62 m (25 foot) front yard setback at the property that is the subject of this notice of application, and 9.1 metres (30 feet) and 7.62 metres (25 feet) in height, which represents an approximate doubling of the height that is permitted in yard setbacks, as per the LUB.

Applicable Sections of the Land Use Bylaw:

- Land Use Bylaw, Schedule 2, Institutional/Recreational - I/R zoning district
- Land Use Bylaw, Schedule 4, Standards of Development, Sec. 12, Permitted Projections into Setbacks

KEY CONSIDERATIONS:

Staff requests that the commission considers APPROVAL of Development Application (2021-045) to allow for a waiver of height requirements for the installation of three (3) flagpoles subject to the following conditions:

1. The three (3) flag poles are to conform with the attached site plan and are not to be relocated or increased in size without the application of the appropriate permits.

FINANCIAL IMPACT:

None

STAKEHOLDER ENGAGEMENT:

The application was circulated to the neighbouring property owners.

DECISION OPTIONS:

The MPC may:

1. Approve the development application with conditions.
2. Deny the application with reasons.
3. Table the application pending further receipt of information.

The Development Officer recommends approval of the permit subject to the conditions as listed in the staff report.

RECOMMENDATION:

THAT the commission approve DP 2021-045 with conditions.

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIC PLAN:

1. Focus on
Community Safety



2. Focus on Livability



3. Focus on Economic
Health



4. Focus on Good
Governance and
Corporate Excellence



5. Focus on
Responsible and
Responsive Growth

ATTACHMENTS:

[2021-045 - Notice Letter to Adjacent Landowners](#)

[2021-045 - Site plan and drawings](#)

[LUB - Schedule 2 - Institutional-Recreation I-R](#)

[LUB - Schedule 4 - Standards of development](#)



April 1, 2021

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2021-045

APPLICANT: BRANDON BULTENA

**ADDRESS: 2008 8 STREET, COALDALE, AB
PLAN 7710135, BLOCK B, LOT 13**

ZONING: INSTITUTIONAL / RECREATIONAL – I/R

Dear Sir/Madam,

We are in receipt of Development Application 2021-045 regarding the installation of three (3) flagpoles, one of which is 9.1 metres (30 feet) in height, and two of which are 7.62 m (25 feet) in height.

Flagpoles 4.57 metres (15 feet) or less are permitted in yard setbacks, including flagpoles, as per Schedule 4, Sec. 12 (Permitted Projections into Setbacks) of the Town's Land Use Bylaw (LUB). However, in this particular instance, the flagpoles are proposed to be within the 7.62 m (25 foot) front yard setback at the property that is the subject of this notice of application, and 9.1 metres (30 feet) and 7.62 metres (25 feet) in height, which represents an approximate doubling of the height that is permitted in yard setbacks, as per the LUB.

As such, the Municipal Planning Commission (MPC) is required to make the decision on this application.

- **This application will be heard by the MPC at the April 14th meeting, which will be held virtually at 5 pm.**
- **Options for attending the meeting are by virtual means.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by April 8th, 2021 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, April 14th, 2021, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2020-045.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 1:00pm on Friday,

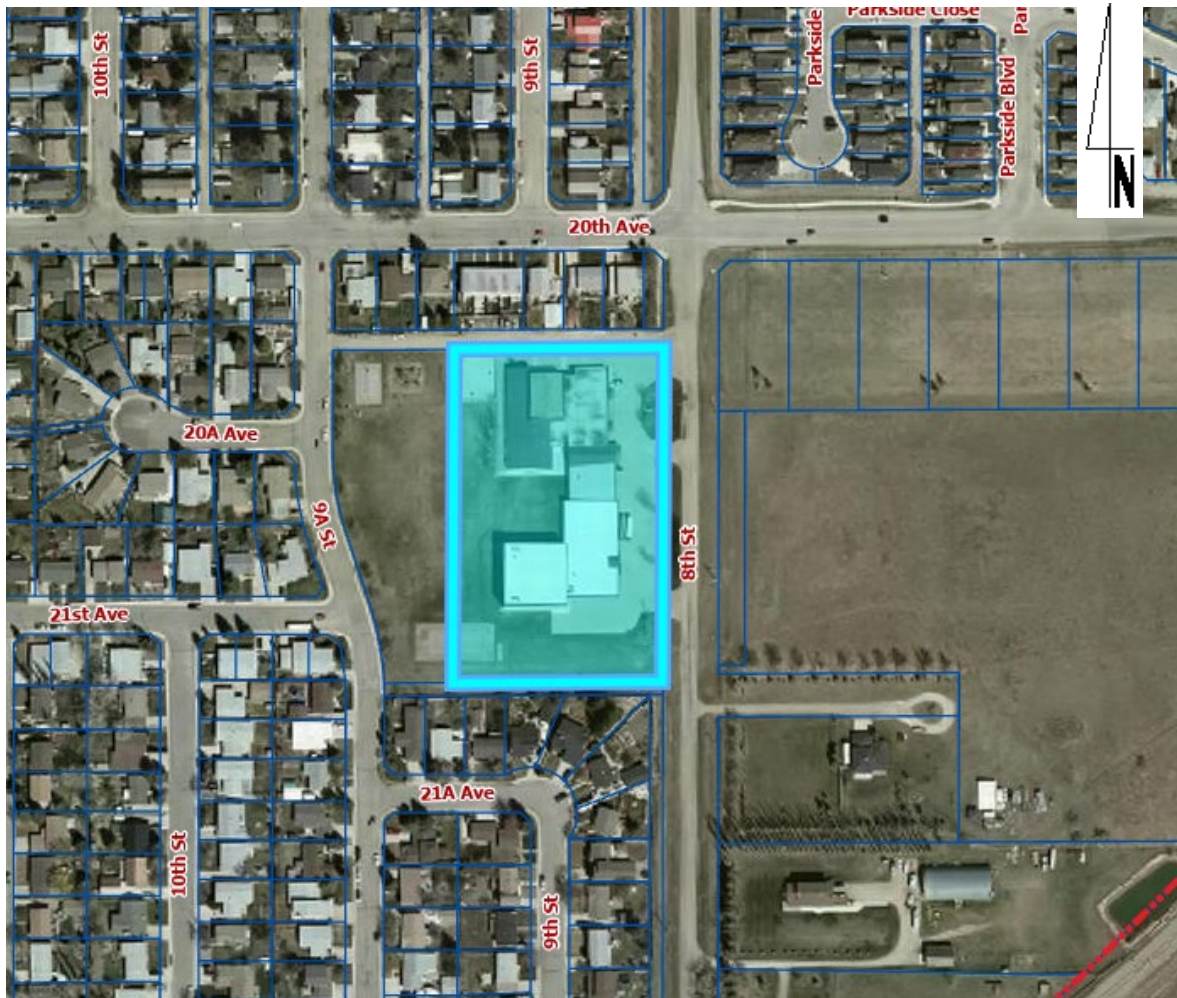
April 12th, 2021 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,

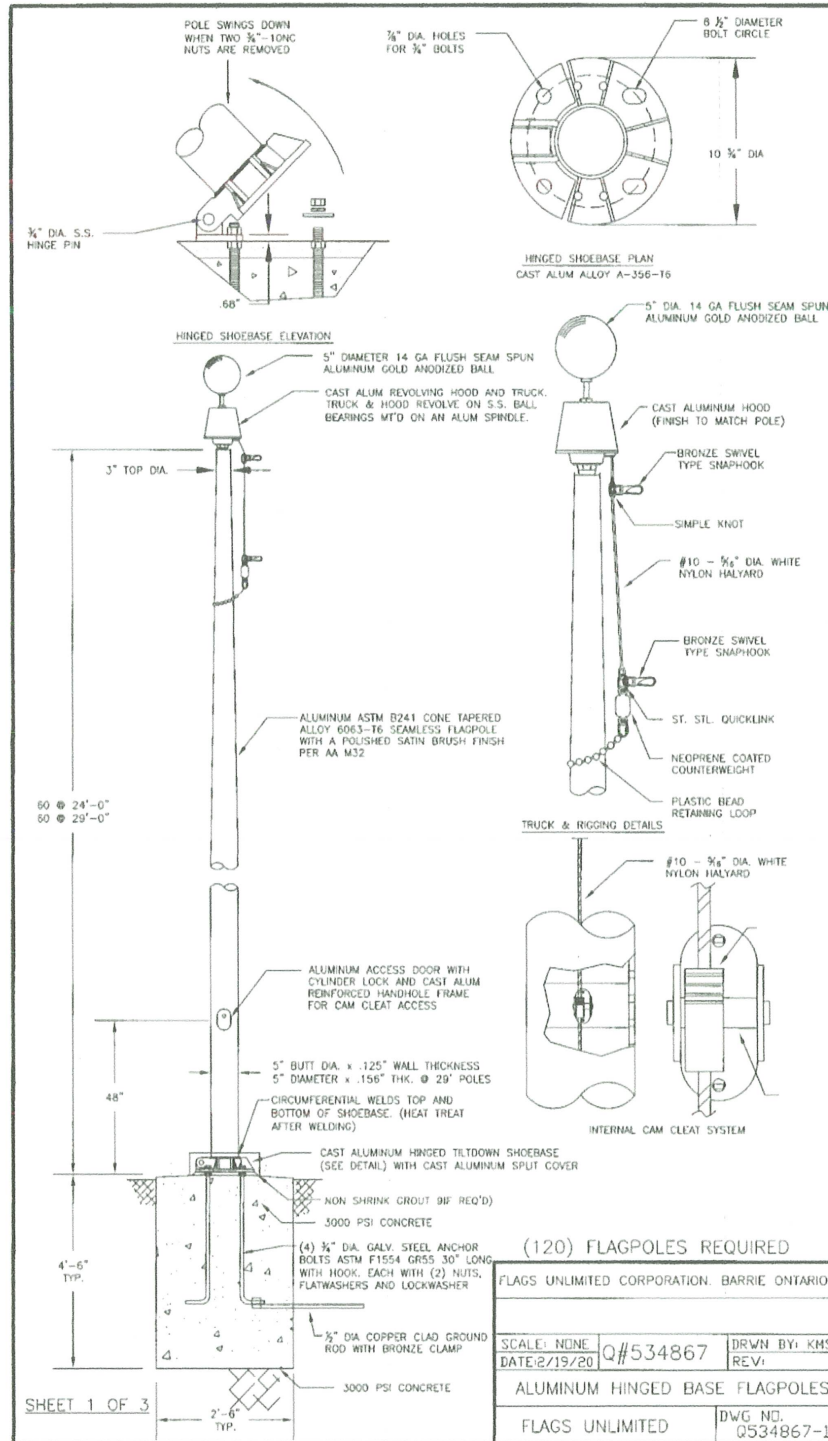


Spencer Croil, RPP MCIP
Director of Planning and Community Development

cc. Applicant



25' & 30' Pole Installation



[illegible]

INSTITUTIONAL / RECREATIONAL – I/R



Purpose:

To provide for institutional, public and semi-public uses which are compatible with each other and with adjoining uses.

1. (A) PERMITTED USES

- Accessory building, structure or use to an approved permitted use
- Government Services
- Hospital
- Outdoor Recreation and Sports fields
- Parks and Playgrounds
- Recreation, Public
- School
- Shipping Container (temporary)
- Sign Types¹: 1A, 2, 4
- Utility, Public

(B) DISCRETIONARY USES

- Accessory building, structure or use to an approved discretionary use
- Child Care Facility
- Cemetery
- Dwellings
 - Moved-in
 - Prefabricated
- Educational Institution
- Golf Course
- Institutional Facilities or Uses
- Medical/Health Facility
- Moved-In Building
- Museum
- Recreation, Private
- Public or Religious Assembly
- Sign Types¹: 1B, 3, 5, 6, 8, 9, 10, 11, 12
- Small Wind Energy System – Type A and B²
- Utility, Private

Notes: 1 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.

2 – See Schedule 4, Section 27 for definition of small wind energy system types.

(C) PROHIBITED USES

- Shipping Container (permanent)
- Sign Type 7
- *Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use*

2. MINIMUM LOT SIZE

All Uses – As required by the Designated Officer or Municipal Planning Commission.

3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
All Uses	7.62	25	3.05	10	3.05	10	7.62	25
Accessory Buildings	As required by the Designated Officer or Municipal Planning Commission							

4. MAXIMUM SITE COVERAGE

(a) **All Buildings – 50%**

Principal buildings and accessory buildings shall not occupy more than 50 percent of the surface area of any lot within this land use district.

- | | |
|---|---------------|
| 5. STANDARDS OF DEVELOPMENT | – SCHEDULE 4 |
| 6. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS | – SCHEDULE 5 |
| 7. PREFABRICATED DWELLING REGULATIONS | – SCHEDULE 6 |
| 8. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES | – SCHEDULE 9 |
| 9. OFF-STREET PARKING AND LOADING REQUIREMENTS | – SCHEDULE 11 |
| 10. SIGN REGULATIONS | – SCHEDULE 13 |

SCHEDULE 4: STANDARDS OF DEVELOPMENT

SCHEDULE 4: STANDARDS OF DEVELOPMENT

Except for more specific, alternative, or contradictory standards as may be set forth within an individual land use district, the following standards apply to all uses in all districts.

1. STATUTORY PLANS

Where the policies, rules or procedures indicated in a statutory plan vary, supplement, reduce, replace or qualify the requirements of this Bylaw for a particular district or districts, the policies, rules or procedures indicated in the statutory plan shall take precedence.

2. QUALITY OF DEVELOPMENT

The Municipal Planning Commission or Designated Officer may impose reasonable conditions on a development permit if it will make the use or development more consistent with the purpose of the land use district or with an adopted Statutory Plan.

3. DESIGN AND ORIENTATION OF BUILDINGS, STRUCTURES AND SIGNS

- (a) The design, character and appearance of buildings, structures or signs shall be consistent with the intent of the land use district in which the building is located and compatible with other buildings in the vicinity.
- (b) The Development Authority may regulate the exterior finish of buildings, structures or signs to improve the quality of any proposed development within any land use district.
- (c) The maximum allowable height above the average finished surface level of the surrounding ground of the exposed portion of a concrete or block foundation may be limited by the Development Authority.
- (d) Subject to the requirements of the Safety Codes, the Development Authority may require that buildings be physically accessible to disabled persons.
- (e) If a building is to be located on a lot with more than one street frontage or on a lot with potential for further subdivision, the Development Authority may regulate the orientation and location of the building as a condition of development approval.

4. REDUCED LOT AREA AND DIMENSION

The Municipal Planning Commission or Designated Officer may approve a development on an existing registered lot the minimum dimensions or area of which are less than those specified in Schedule 2.

5. CORNER LOT CUT-OFF YARD DIMENSIONS

Where a laneway or roadway has reduced the size of a lot by cutting off a corner of the lot the minimum yard dimensions shall apply to the portions of the lot that have not been cut-off by the laneway or roadway. See Figure 4.1.

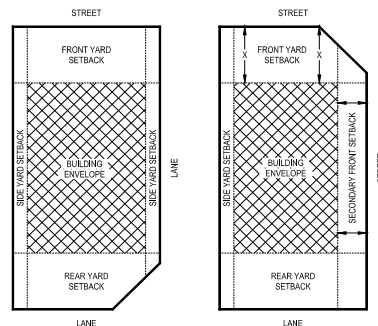
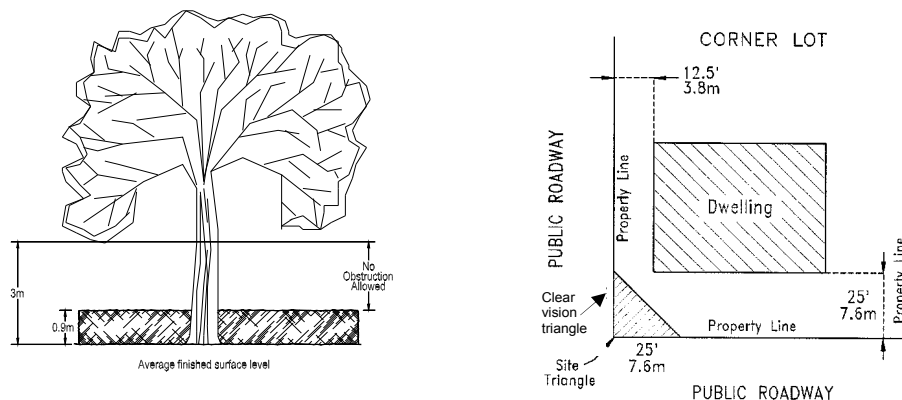


Figure 4.1: Corner Cut-off Lot Minimum Yard Dimensions
X = minimum yard dimension (arrows indicate measurement location)

6. CLEAR VISION TRIANGLE FOR CORNER LOTS (ALL USES)

On a corner lot nothing shall be erected, placed, planted or allowed to grow in such a manner as to materially impede vision between a height of 0.9 m (3 ft.) and 3 m (10 ft.) above the centre line grades of the intersecting streets in the area bounded by the property lines of such corner lots and a line joining points along the said property lines 7.6 m (25 ft.) from the point of intersections. This restriction may apply in the C-1 district at the discretion of the Designated Officer or Municipal Planning Commission.



7. RESIDENTIAL PRINCIPAL BUILDING/USE YARD SETBACKS

- (a) The Development Authority may waive the minimum required yard setback requirement in a well established residential area if, in its opinion:
- the proposed setback is in accordance with (or similar to) the existing and prevailing neighbourhood yard pattern;
 - the building and its proposed location (inclusive of any existing or proposed additions) is compatible with the form, scale and massing of surrounding dwellings; and
 - the proposal complies with the appropriate section of the Land Use Bylaw specifying any and all requirements in considering **Applications Requiring Waivers (Variance)** (as per Sections 36-37 of the Land Use Bylaw).

- (b) If, in the opinion of the Municipal Planning Commission or Designated Officer, an application for an addition or renovation to an existing dwelling or a new dwelling in any area would adversely affect the use and enjoyment of neighbouring properties, the Designated Officer may notify those residents affected by the proposed development. The Municipal Planning Commission would make a decision on the proposed development after consultation with any and all residents that may be affected by the proposed development. The Municipal Planning Commission could then increase the setback requirements for the proposed development to enhance the appearance of the area or in providing that the development more appropriately fits and is compatible with the existing developments in the neighbourhood area.

8. RETAINING WALLS AND GRADING

- (a) In all land use districts, the applicant shall provide a grading plan for the development.
- (b) The Designated Officer or the Municipal Planning Commission may require the construction of a retaining wall as a condition of a development permit if, in their opinion, significant differences in grade exist or will exist between the parcel being developed and adjacent parcels.
- (c) As a condition of a development permit, the Designated Officer or the Municipal Planning Commission may require special grading and/or paving to prevent surface drainage problems with neighbouring lots.
- (d) Roof and surface drainage shall be directed either to the public roadway fronting the property, or as approved by the Designated Officer, to a rear or side property boundary or as approved in an engineered stormwater management plan.

9. REFUSE COLLECTION AND STORAGE

- (a) Refuse and garbage shall be kept in suitable containers or permanent enclosures.
- (b) Refuse and garbage storage areas shall be effectively screened from public view.
- (c) All refuse on any construction site shall be properly screened or placed in an approved enclosure until removed for disposal.

10. LANDSCAPING STANDARDS AND SCREENING

Refer to *Schedule 9: Landscaping and Amenity Areas Standards and Guidelines*.

11. GARDEN SHEDS

- (a) Garden sheds are permitted provided:
 - i. they do not exceed 9.3 m² (100 ft²) in area,
 - ii. are not on a permanent foundation, and
 - iii. meet the applicable district's required setback distances.
- (b) Garden sheds that exceed the area requirement in subsection 11(a)(i), or are to be located closer than the stipulated setback in the applicable land use district will require a waiver/variance to this Bylaw.
- (c) Garden sheds that do not exceed the area requirement in subsection 11(a)(i) and meet the stipulated setback in the applicable land use district, but will be placed on a permanent foundation will require a development permit.

12. PERMITTED PROJECTIONS INTO SETBACKS

- (a) In no circumstances shall any part of any structure encroach or cause runoff on an adjoining property.
- (b) The following features may, subject to the relevant provisions of Safety Codes, project or encroach into the minimum required yard setbacks under this Bylaw:
 - i. unenclosed steps or unenclosed fire escapes may project a maximum of 1.5 m;
 - ii. a wheelchair ramp at the discretion of the Development Authority;
 - iii. fences to the property line in accordance with the applicable land use district and Section 6 (Clear Vision Triangle for Corner Lots);
 - iv. driveways, curbs and sidewalks;
 - v. off-street parking in accordance with the applicable land use district and Section 6 (Clear Vision Triangle for Corner Lots);
 - vi. service metres;
 - vii. mailboxes;
 - viii. landscaping, fish ponds, ornaments, flagpoles (less than 4.6 m (15 ft.) in height), or other similar landscaping features in accordance with Section 6 (Clear Vision Triangle for Corner Lots);
 - ix. temporary swimming pools in accordance with the applicable land use district;
 - x. signs, in accordance with Schedule 13: Sign Regulations;
 - xi. uncovered decks may encroach into the minimum required rear yard setback a maximum distance of 3 m (9.8 ft.);
 - xii. balconies that are unenclosed may encroach into the minimum required rear yard setback a maximum distance of 2 m (6.5 ft.); and
 - xiii. privacy walls less than 2 m (6.5 ft.) above the top of the finished floor elevation/grade of a balcony, deck or patio may encroach the same distance as the approved balcony, deck or patio (as applicable).
- (c) The portions of an attachment to a principal building which may project over a required yard setback are as follows:
 - i. eaves, fireplace chases, bay windows, belt courses, cornices, sills, temporary awnings or other similar architectural features may project:
 - a. a maximum of 0.61 m (2 ft.) over a side yard setback, and
 - b. a maximum of 1.22 m (4 ft.) over a front or rear yard setback.
- (d) In a front yard, cantilevers not exceeding 40 percent of the front wall area may encroach a maximum of 0.61 m (2 ft.).
- (e) In a side yard, cantilevers may encroach a maximum of 0.61 m (2 ft.) where:
 - i. the projection does not exceed 40 percent of one side wall and 20 percent of the other, and
 - ii. the projection is not immediately beside a projection of an adjacent dwelling.
- (f) In a rear yard, cantilevers may encroach a maximum of 0.61 m (2 ft.).
- (g) In all cases, projections into any required setback must comply with the requirements of the *Safety Codes Act*.

13. AIR CONDITIONERS – FREESTANDING

- (a) A freestanding exterior air conditioner shall not be located in a front yard or located less than 1 m (3.3 ft.) from a side or rear property boundary.

14. FENCES AND HEDGES

- (a) In all residential districts no fence, wall, hedge or other means of enclosure greater than 0.9 m (3 ft.) in height, or any combination thereof shall be erected in any front yard area without a permit from the Development Authority.
- (b) In all residential districts fences, walls, hedges or other means of enclosure in the secondary front, rear and side yard shall be no more than 1.8 m (6 ft.).
- (c) Fencing shall not be permitted to be constructed within any developed or undeveloped roadway or laneway right-of-way. Removal of such fencing will be at the property owner's expense.
- (d) Subdivision perimeter fencing is subject to the approval of the Development Authority.
- (e) The Designated Officer or the Municipal Planning Commission may regulate the types of materials and colours used for a fence.
- (f) Refer also to Section 6 for Clear Vision Triangle for Corner Lots.
- (g) The height, type and location of a fence in any Commercial, Industrial, Institutional/Recreational, Public or Reserve land use district (inclusive of the Downtown Overlay – see Section 8 of the C-1 land use district), shall be to the satisfaction of the Development Authority.

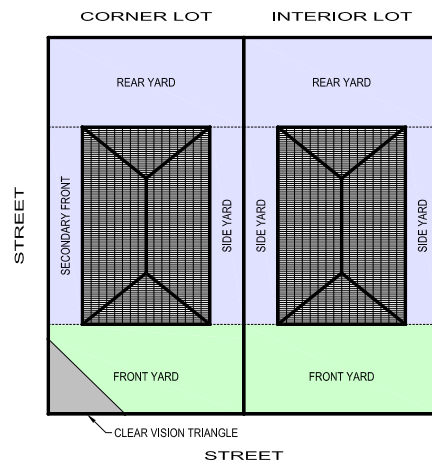


Figure 5.1 - Fence Height Provisions
Green area fence height no more than 0.9 m (3 ft.)
Blue area fence height no more than 1.8 m (6 ft.)

15. DECKS, AMENITY SPACES AND PRIVACY WALLS

- (a) A development permit is required for the construction of any deck more than 0.6 m (2 ft.) above grade in height. Deck height is measured from the finished grade to the finished floor grade of the deck.

- (b) For the purpose of calculating yard setbacks and site coverage requirements as provided in this Bylaw, where a structure is attached to the principal building by a roofed structure (open or enclosed), it shall be deemed to be part of the principal building and must meet the required side and rear yard setbacks.
- (c) A **ground level patio** means an unenclosed (no roof or walls) amenity area of concrete, brick, wood, or other material that is constructed at grade and may or may not be or attached to a dwelling.
- (d) A **deck** means an uncovered horizontal structure with a surface height greater than 0.6 m (2 ft.) above grade at any point, but generally no higher than the first storey floor level, and is intended for use as a private outdoor amenity space.
- (e) **REAR YARD SETBACKS:** uncovered decks may encroach into the minimum required rear yard setback a maximum distance of 3 m (9.8 ft.).
- (f) A **privacy wall** shall be no greater than 2 m (6.5 ft.) above the grade of a balcony, deck or patio.
- (g) Where a development permit is required for construction of a privacy wall (see Schedule 3: Development Not Requiring a Development Permit), the Development Authority may regulate the materials and/or exterior finish.

16. BALCONIES, VERANDAS AND PORCHES

- (a) A balcony shall not project more than 1.8 m (6 ft.) from a building façade. For semi-detached dwellings, no separation from a party wall property line is required for a balcony where a privacy wall extends the full depth of the balcony.
- (b) Where any building or structure is attached to a principal building by:
 - i. a roof structure (open or enclosed) above grade;
 - ii. a floor or foundation which is above grade; or
 - iii. any structure below grade allowing access between the buildings, such as a parking garage or a corridor or passageway connecting the buildings;
 it is considered to be part of the principal building and shall be considered in calculating site coverage and shall adhere to minimum yard setback requirements (unless specifically permitted to encroach).
- (c) **REAR YARD SETBACKS:** balconies that are unenclosed may encroach into the minimum required rear yard setback a maximum distance of 2 m (6.5 ft.).
- (d) Verandas and porches shall comply with the minimum required yard setbacks (dimensions) as per the applicable land use district.

17. EXTERIOR BUILDING FINISHES

The Designated Officer or the Municipal Planning Commission may require that specific finishing materials and colour tones be utilized in order to maintain the compatibility of any:

- (a) renovations or new development with that of surrounding buildings;
- (b) additions or accessory buildings and structures with the existing buildings on the same lot.

18. SATELLITE DISHES AND TELECOMMUNICATION ANTENNAS

In all residential land use districts:

- (a) satellite dishes greater than 1 m (3 ft.) in diameter or radio or television antenna shall be classified as an accessory structure and shall be placed in the rear or side yard;

- (b) satellite dishes greater than 1 m (3 ft.) in diameter shall not be mounted or attached to the roof of any dwelling or accessory building and shall not be illuminated or contain advertising other than the manufacturer's trademark or logo.

Radio and television antennas, which are not regulated by Industry Canada, are classified as an accessory structure.

19. TELECOMMUNICATION ANTENNA SITING PROTOCOLS

Telecommunication, radio communication and broadcast antenna systems are regulated by Industry Canada. An applicant proposing to locate a telecommunication, radio communication or broadcast antenna system within the Town, which does not meet the exclusion criteria in Appendix A shall be subject to the following siting protocols:

(a) Co-utilization

The applicant shall be requested to identify any other similar antenna systems within a radius of 500 m (1,640 ft.) of the proposed location and to provide documentary evidence that co-utilization of the existing antenna systems is not a viable alternative to the proposed antenna.

(b) Siting Options

The applicant shall be requested to identify siting options and any alternative locations considered.

(c) Appearance

Antenna systems which are visible from residential areas are encouraged to employ innovative design measures to mitigate the visual impact of the antenna system.

(d) Landscaping

The landscaping requirements of the land use district in which the development is proposed should be integrated into the site design, except where existing site vegetation is deemed comparable by the Municipal Planning Commission to the land use district requirements.

(e) Lighting and Signage

- i. Lighting in addition to that which is required by applicable federal agencies shall be avoided. Security lighting may be considered provided it meets the requirements of the applicable land use district.
- ii. Only signage that is required by applicable federal agencies is permitted. No advertising signage shall be permitted.

(f) Municipal Concurrence

- i. The applicant shall be required to present the proposed development to the Municipal Planning Commission at a public meeting in accordance with the Administration Section and submit the following plans at least two weeks before the scheduled meeting:
 - a. site plan identifying the location of the proposed development, access, distance from property lines, easements, rights-of-way or any other development constraint on the property, proposed fencing or other security measures, and landscaping plan; and
 - b. antenna height, type, design, material, appearance and lighting.
- ii. Upon conclusion of the public consultation process, the Development Authority will issue a response to the applicant in writing indicating either concurrence of the proposed development or specific concerns or comments relating to the antenna system.

(g) Public Consultation

- i. The applicant shall be required to hold a public meeting before the Municipal Planning Commission at the Town office or another location approved by the Town administration to explain all aspects of the proposed development, including but not limited to siting, technology and appearance of the structure;
- ii. The Town may notify all land owners within a distance of 500 m (1640 ft.) of the proposed structure at the expense of the applicant.

20. DRIVEWAYS AND SIDEWALKS

- (a) Vehicle access to and from corner lots shall generally be limited to locations along the minor street or cul-de-sac.
- (b) A refundable security fee for sidewalks in the amount of \$500.00 shall be required by the Designated Officer or the Municipal Planning Commission to ensure that already constructed sidewalks are not destroyed when construction or demolition occurs on a lot.
- (c) If damage does occur the Town will use the security fee for the replacement and/or repair costs and the owner and/or applicant will be responsible for any additional costs (over and above \$500) to repair the sidewalk to its previous condition.
- (d) If a security fee has not been taken by the Town and damage has occurred to municipal infrastructure, the Town may invoice the owner for any and all damages.

21. SERVICING REQUIREMENT

All residential, industrial and commercial buildings shall be required to connect to municipal water supply, storm sewer and sanitary sewer systems where the municipal services are, in the opinion of the Designated Officer or the Municipal Planning Commission, reasonably available. Other provisions may apply for water where an area structure plan has been prepared and adopted.

22. SWIMMING POOLS AND HOT TUBS

- (a) For swimming pool regulations refer to the Town of Coaldale Swimming Pool Bylaw. Portable, temporary, or above-ground outdoor hot tubs that are designed to be easily removed do not require a development permit.
- (b) In-ground swimming pools shall:
 - i. require a development permit,
 - ii. be considered an accessory structure,
 - iii. meet the minimum required setbacks for accessory structures in the applicable land use district, and
 - iv. not be calculated in the total maximum site coverage for accessory buildings and structures.

23. KENNELS (ANIMAL BOARDING)

Any development undertaken pursuant to an approved development permit for a kennel or animal boarding use shall be in accordance with the Town of Coaldale's Dog Enforcement Bylaw and the following provisions:

- (a) All dog facilities, including buildings and exterior exercise areas, shall be located to the rear of the principal building.
- (b) The Municipal Planning Commission may determine the maximum number of adult dogs that may be kept at any one time by the operator of a private or commercial kennel.

- (c) All pens, rooms, exercise runs, and holding stalls shall be soundproofed if deemed necessary by the Municipal Planning Commission which shall base its decision on the number of animals to be kept at the kennel, the proximity of the kennel to other uses and/or other kennels, and possibility that the noise from the kennel may adversely affect the amenities of the area.
- (d) In addition to soundproofing requirements, the times at which the animals are allowed outdoors may be regulated.
- (e) All kennel facilities shall be screened by both a visual and sound barrier, by fences and/or landscaping, from existing dwellings on adjacent parcels to the satisfaction of the Municipal Planning Commission.
- (f) Kenneling facilities shall be operated in accordance with health regulations and, in particular, excrement and similar waste shall be disposed of in a manner acceptable to Alberta Health Services.
- (g) Compliance with the Canadian Veterinary Medical Association Code of Practice for Canadian Kennel Operations.

24. DEMOLITION

All building demolitions or removals shall comply with the following:

- (a) No person shall commence or cause to be commenced the demolition or removal of any building or structure, or portion thereof, until all necessary permits have been obtained.
- (b) A development permit must be obtained for the demolition or removal of any building or structure greater than 11 m² (120 ft²) in size.
- (c) Whenever a development permit is issued for the demolition or removal of a building or structure, it shall be a condition of the permit that the lot shall be cleared, with all debris removed, and left in a graded condition upon completion of the demolition or removal to the satisfaction of the Development Authority.
- (d) When a development permit is to be approved for the demolition or removal of a building or structure, the Development Authority may require the applicant to provide a cash deposit, an automatically renewable irrevocable letter of credit, or other acceptable form of security in such amount as to occupy the costs of reclamation to any public utility or town property.
- (e) Whenever a demolition or removal of a building or structure is carried out, the property owner shall, at their own expense, protect any wall, structure, sidewalk, landscaping (hard and/or soft) or roadway liable to be affected by such demolition or removal, including those on neighbouring properties, from damage or displacement.
- (f) The Designated Officer or Municipal Planning Commission may require as a condition of the development permit that the site be fenced and screened to ensure adequate public safety.
- (g) The applicant shall be responsible for obtaining all necessary Safety Codes approvals and utility service disconnections before demolition or removal of buildings or structures.

25. SECONDARY SUITES

Secondary suites shall comply with the following regulations:

- (a) A secondary suite shall only be developed within the principal dwelling and shall not be developed within a detached garage and/or accessory structure.
- (b) The maximum floor area of the secondary suite shall be as follows:

- i. In the case of a secondary suite located completely below the first storey of a single-detached dwelling the floor area shall not exceed the floor area of the first storey of the associated principal dwelling (excluding stairways).
- (c) The minimum floor area for a secondary suite shall be not less than 30 m² (322.93 ft²).
- (d) A secondary suite shall be developed in such a manner that the exterior of the principal dwelling containing the secondary suite shall appear as a single-detached dwelling.
- (e) Only one secondary suite may be developed in conjunction with a principal dwelling.
- (f) A secondary suite shall not be developed within the same principal dwelling containing a Home Occupation 2, unless it is proven to the satisfaction of the Municipal Planning Commission that the amount of traffic generated is limited and adequate parking is available without adversely affecting the neighbourhood.
- (g) The number of persons occupying a secondary suite shall not exceed four.
- (h) The secondary suite shall not be separated from the principal dwelling through a condominium conversion or subdivision.
- (i) Variances or waivers of setbacks shall not be granted to develop a secondary suite.
- (j) A secondary suite shall provide off-street parking in compliance with Schedule 11: Off-Street Parking and Loading Requirements.
- (k) All required off-street parking stalls for a secondary suite shall be hard surfaced (e.g. cement, pavement/asphalt, etc.).
- (l) Development of a secondary suite shall adhere to the Alberta Building Code and Alberta Fire Code as a condition of approval.

26. SOLAR COLLECTOR

- (a) A solar collector attached to a wall or roof of a building may be permitted in any land use district as an accessory structure subject to the following:
 - i. A solar collector mounted on a roof:
 - a. may project a maximum of 1.3 m (4 ft.) from the surface of the roof and shall not exceed the maximum height requirements of the applicable land use district; and
 - b. must not extend beyond the outermost edge of the roof.
 - ii. A solar collector mounted to a wall:
 - a. must be located such that it does not create undue glare on neighbouring property or public roadways;
 - b. must be located a minimum of 2.4 m (7.8 ft.) above grade;
 - c. may project a maximum of 1.5 m (5 ft.) from the surface of the wall, when the wall faces the rear property line, subject to the setback requirements of the applicable land use district; and
 - d. may project a maximum of 0.6 m (2 ft.) from the surface of the wall when the wall faces the front, secondary front or side property line, subject to the setback requirements of the applicable land use district.
- (b) A free-standing solar collector or a solar collector mounted to any structure other than a roof or wall of a building shall be classified as an accessory structure, meet the minimum required setbacks in the land use district, and processed subject to the applicable land use district and the following additional standards:

- i. A free-standing solar collector or a solar collector mounted to any structure other than a roof or wall of a building:
 - a. must be located such that it does not create undue glare on neighbouring property or public roadways;
 - b. must not exceed 1.8 m (6 ft.) in height above existing grade; and
 - c. in all land use districts must not be located in the front, secondary front or side yard of the principal building or dwelling.

27. SMALL WIND ENERGY SYSTEMS

This Section establishes standards for the siting and operation of Small Wind Energy Systems. This Section is intended to implement the necessary requirements while protecting the scenic and natural resources of the Town of Coaldale and the health, safety and welfare of its residents.

(a) DEFINITIONS

The following definitions apply to this Schedule:

Blade means an element of a wind energy system rotor, which acts as a single airfoil, thereby extracting kinetic energy directly from the wind.

Blade clearance means, in reference to a horizontal axis rotor, the distance from grade to the bottom of the rotor's arc.

Rotor's arc means the largest circumferential path travelled by a blade.

Small Wind Energy System (SWES) means a wind energy conversion system consisting of a wind turbine (rotor and blades), a tower, and associated control or conversion electronics, which will be used primarily to reduce onsite consumption of utility power and is CSA approved.

Total height means the height from grade to the highest vertical extension of a SWES. In the case of a SWES with a horizontal axis rotor, total height includes the distance from grade to the top of the tower, plus the distance from the top of the tower to the highest point of the rotor's arc.

Tower means the structure which supports the rotor above grade.

(b) PERMIT REQUIREMENTS

Small Wind Energy Systems shall require a development permit depending on their location, as provided in the regulations for the land use districts in which they are allowed.

Type A Small Wind Energy System: This use is defined as a Small Wind Energy System that is either roof mounted or has a tower which does not exceed 12.2 m (40 ft.) in height.

Type B Small Wind Energy System: This use is defined as a Small Wind Energy System that has a tower which is greater than 12.2 m (40 ft.) in height but does not exceed 24.4 m (80 ft.) in height.

(c) INFORMATION REQUIREMENTS

Applications for Small Wind Energy Systems shall include the following information where applicable:

- i. all proposed Small Wind Energy Systems shall be commercially manufactured and applications shall include the manufacturers make and model number;
- ii. the manufacturer's specifications indicating:
 - a. the SWES rated output in kilowatts;
 - b. safety features and sound characteristics;
 - c. type of material used in tower, blade, and/or rotor construction;
- iii. potential for electromagnetic interference;
- iv. nature and function of over speed controls which are provided;

- v. specifications on the foundations and/or anchor design, including location and anchoring of any guide wires;
- vi. information demonstrating that the system will be used primarily to reduce on-site consumption of electricity;
- vii. location of existing buildings or improvements.

(d) REFERRALS

Prior to making a decision on a development application for a Small Wind Energy System, the Development Authority may refer and consider the input of the following agencies and departments:

- i. Alberta Utilities Commission,
- ii. Transport Canada,
- iii. Navigation Canada.

(e) SETBACKS

- i. A Small Wind Energy System shall comply with all the setbacks that govern the principal use in the district in which it is located.
- ii. No part of the wind system structure, including guy wire anchors, may extend closer than 3.0 m (10 ft.) to the property boundaries of the installation site.

(f) DEVELOPMENT STANDARDS

Small Wind Energy Systems shall comply with the following standards:

- i. There shall be a limit of one Small Wind Energy System per parcel.
- ii. The system's tower shall be set back a minimum distance equal to the height of the tower from all parcel lines, and a minimum distance of 3.0 m (9.8 ft.) from any other structure on the parcel on which the system is located. On parcels 4.0 ha (10 acres) or more, the parcel line setback may be reduced if the applicant demonstrates that:
 - a. because of topography, strict adherence to the setback requirement would result in greater visibility of the system's tower than a reduced setback; and
 - b. the system's tower is set back a minimum distance equal to the height of the tower from any structure on adjoining parcels.
- iii. The system's tower shall not exceed a maximum height of 12.2 m (40 ft.) on a parcel of less than 0.4 ha (1 acre), a maximum of 19.8 m (65 ft.) on a parcel of 0.4 ha (1 acre) to less than 2.0 ha (5 acres), and maximum height of 24.4 m (80 ft.) on a parcel 2.0 ha (5 acres) or more.
- iv. The system's tower shall be located and screened by landforms, natural vegetation or other means to minimize visual impacts on neighbouring residences and public roads, public trails and other public areas.
- v. The system's tower and supporting structures shall be painted a single, neutral, non-reflective, non-glossy (for example, earth-tones, grey, black) that, to the extent possible, visually blends the system with the surrounding natural and built environments.
- vi. The system shall be equipped with manual and automatic over speed controls. The conformance of rotor and over speed control design and fabrication to good engineering practices shall be certified by a licensed mechanical, structural or civil engineer.
- vii. The system's tower-climbing apparatus and blade tips shall be no closer than 4.6 m (15 ft.) from ground level unless the system is enclosed by a 1.8-m (6-ft.) high fence.
- viii. The system's utility lines shall be underground where economically practical.
- ix. The system shall be operated such that no electro-magnetic interference is caused.
- x. The system shall be located in the rear yard.

- xi. Small wind turbines shall not exceed 60 dB(A), or in excess of 5 dB(A) above the background noise, whichever is greater. The level, however, may be exceeded during short-term events including utility outages and severe windstorms.
- xii. Brand names or advertising associated with the system or the system's installation shall not be visible from any public place.
- xiii. Upon abandonment or termination of the system's use, the entire facility, including the system's tower, turbine, supporting structures and all equipment, shall be removed and the site shall be restored to its pre-construction condition.

(g) REVIEW OF PERMITS

Town Council shall review the impacts of issuance of permits for Small Wind Energy Systems after the issuance of 10 development permits for this specific use within the municipality. Subsequent to an initial review, Council may review and evaluate these policies at any time.

28. ALTERNATIVE/RENEWABLE ENERGY, INDIVIDUAL ACCESSORY SOURCES

The Development Authority is authorized to issue development approvals for alternative energy sources that are accessory to an approved principal use, such as, but not limited to, solar collectors, heat exchange systems, generators, turbines, etc. provided that any additional approvals or standards required at the municipal, provincial and/or federal levels are met or exceeded.

29. COMMERCIAL/INDUSTRIAL ALTERNATIVE/RENEWABLE ENERGY DEVELOPMENTS

See Schedule 12: Commercial / Industrial Alternative Renewable Energy Developments.

30. CHILD CARE FACILITIES

All child care facilities may be approved subject to the following conditions and requirements:

- (a) If determined by the Designated Officer, prior to the Municipal Planning Commission meeting, the applicant for a child care facility may be required to meet and consult with all adjacent land owners in the vicinity of where the use is proposed.
- (b) In any residential district, no exterior alterations shall be undertaken to a dwelling or former dwelling which would be inconsistent with the residential character of the building or property.
- (c) All signage must comply with Schedule 13: Sign Regulations.
- (d) Request for more than one sign or a sign greater than 0.74 m² (8 ft²) requires a separate development permit application.
- (e) The use shall not generate traffic problems within the district.
- (f) Requires a minimum of one (1) on-site parking space per employee at the use at any given time.
- (g) Requires a minimum of one (1) on-site pick-up and drop-off space for every 10 children and the location of passenger loading zones for child care facilities may be specified by a condition of a development permit.
- (h) Must have screening for any outdoor play areas to the satisfaction of the Development Authority.
- (i) All applications for child care facilities shall, as a condition of approval, obtain the necessary approvals required from regulatory agencies.

31. ADULT ENTERTAINMENT FACILITIES – SPECIAL SETBACKS

An adult entertainment facility shall not be located on a site less than 400 m from the nearest school, arena, religious assembly, day home, child care facility, community centre, residential dwelling or park.

32. GAS BARS, SERVICE STATIONS AND BULK FUEL STORAGE AND SALES

- (a) Notwithstanding the District Regulations, a use pursuant to this Section shall not be located on sites, which, in the opinion of the Development Authority, would be considered unsafe in terms of vehicle circulation, and access and egress from the site.

Site Area (Minimum)

- (b) Site Area (Minimum):
- i. Gas Bar: 1,200 m² (12,917 ft²)
 - ii. Service Station: 1,500 m² (16,146 ft²)
 - iii. Gas Bar or Service Station including Car Wash: 2,700 m² (29,063 ft²)
 - iv. Where a service station or gas bar forms part of a shopping centre, the area containing the service station or gas bar buildings and pump areas: 1,000 m² (10,764 ft²)
 - v. Where a service station or gas bar is combined with a convenience store: 1,200 m² (12,917 ft²)
 - vi. Bulk Fuel Storage and Sales: 2,700 m² (29,063 ft²)

Setback of Buildings and Structures

- (c) The Provincial Plumbing and Gas Safety Services Branch shall approve the proposed location(s) and design of all fuel storage tanks prior to application for a development permit.
- (d) Notwithstanding the specific district regulations, fuel storage tanks shall have the following minimum setbacks from any property lines, abutting masonry building walls, drainage basins and ditches:

Total Tank Capacity Setback

Up to 7,500 litres	3 m (10 ft.)
7,501 to 19,000 litres	5 m (16 ft.)
19,001 to 38,000 litres	7.6 m (25 ft.)
Over 38,000 litres	10.5 m (35 ft.)

- (e) Tanks located on property within a Flood Hazard Area shall be flood proofed to the satisfaction of the Development Authority.
- (f) The ventilation tank pipes shall have a minimum height of 3.5 m (11 ft.) from grade, and a minimum setback of 0.9 m (3 ft.) from any property line. In cases where the ventilation tank pipes are abutting to a building opening, the setback requirement shall be a minimum of 1.2 m (4 ft.).
- (g) The ventilation tank pipes shall have a minimum setback of 7.6 m (25 ft.) from any fuel-dispensing unit.
- (h) The minimum front yard requirements shall be as prescribed in the district in which the use is located but in no case shall be less than 3 m (10 ft.).
- (i) The minimum side and rear yard setbacks shall be as prescribed in the district in which the use is located.
- (j) Yard setbacks shall apply to all above ground structures, including gas pump canopies.

Site and Building Requirements

- (k) All parts of the site to which vehicles may have access shall be hard-surfaced if the property is accessed from a paved public road or lane, and drained to the satisfaction of the Development Authority.

- (l) A minimum of 10 percent of the site area of a Gas Bar and Service Station under this Section shall be landscaped to the satisfaction of the Development Authority.
- (m) The removal of tanks requires a demolition permit from the Development Authority.

33. SHIPPING CONTAINERS

- (a) Shipping containers shall only be allowed in land use districts where listed as a permitted or discretionary use in Schedule 2. Shipping containers are prohibited in all other districts (except as described in Schedule 3: Development Not Requiring A Development Permit, subsection 4(d).
- (b) Any permanent or semi-permanent (in excess of 3 months) shipping container shall be subject to the following general standards:
 - i. An application for a development permit for a proposed shipping container must be completed and submitted to the Development Officer accompanied by the applicable application fee and a minimum of two recent colour photographs of each container (one end view and one side view).
 - ii. There shall be a legal primary use on the property where the shipping container is proposed.
 - iii. Shipping containers are permitted to be used for storage only and shall not be used as a building or a construction material.
 - iv. The Development Authority may regulate the maximum number of shipping containers permitted on a lot.
 - v. The Development Authority may regulate the maximum height of shipping containers.
 - vi. Except for the temporary placement of a shipping container in compliance with Schedule 3, subsection 4(d) or subsection 33(c) below, a shipping container shall not display advertising, company logos, names or other marketing without an approved sign permit.
 - vii. The shipping container shall only be permitted in the secondary front, rear, or side yard.
 - viii. The shipping container must comply with the maximum lot coverage and setback requirements for accessory structures in the applicable land use district.
 - ix. The Development Authority may require as a condition of approval that a shipping container(s) be screened from view.
 - x. The Development Authority may require as a condition of approval that any shipping container be sandblasted and/or painted a neutral or complementary colour to match the existing building(s) on the property.
 - xi. The Development Authority may require as a condition of approval that the exterior of the shipping container be kept clean and regularly painted in a neutral or complementary colour to match the existing building(s) on the property.
 - xii. The Development Authority may regulate the time period for which a development permit for a shipping container(s) is valid through the issuance of a temporary permit.
 - xiii. Removal of the shipping container(s) at the expiration of the permit shall be at the expense of the applicant and/or landowner. The Development Authority may require as a condition of approval the posting of a bond or a security guaranteeing the removal of the container and/or compliance with the conditions of the permit.
- (c) Temporary shipping containers that are proposed to exceed the time-limit eligibility for exemption from the requirement to obtain a development permit in Schedule 3, subsection 4(d) may be issued a development permit subject to the following:
 - i. A temporary development permit may be issued for a period not exceeding three (3) months where a project timeline is in excess of the time limit specified in Schedule 3, subsection 4(d).
 - ii. Minimum yard setbacks shall be 0.9 m (3 ft.).

- (d) A development that proposes to convert a shipping container to a building or structure for a different use may be considered by the Development Authority subject to the following and the “Similar And Prohibited Uses” requirements in Administrative Section 35 of this Bylaw:
 - i. The proposed use is similar to a permitted or discretionary use in the applicable land use district;
 - ii. The shipping container conversion will be able to meet all applicable Safety Code requirements;
 - iii. The Development Authority is satisfied that the design, character and appearance of the finished building or structure is compatible with other buildings in the vicinity and consistent with the purpose of the land use district in which the building is located;
 - iv. In addition to the application requirements under subsection (b)(i), the Development Authority shall normally require a stamped engineer’s drawing showing how the shipping container will be converted and a rendering illustrating the final appearance of the converted shipping container, as part of the application package.

34. INFILL DEVELOPMENT

- (a) The requirements of this section apply to all areas of Town that are considered established in accordance with the definition of infill development. Infill development is expected to be designed in a contextually sensitive manner with a design, scale and mass complementary to existing developments.
- (b) Applications for infill development shall provide, in addition to the normal application requirements set forth in this bylaw:
 - i. Existing and proposed grades for the lot to be developed;
 - ii. Existing grades for each adjacent lot;
 - iii. A basic nuisance mitigation strategy that addresses the minimization of dust, noise and other nuisances during the development;
 - iv. Location(s) for the stockpiling of materials to be moved through stripping and grading;
 - v. The setbacks of existing developments on each adjacent lot (only necessary where a waiver is requested);
 - vi. Measures to be taken to ensure surface drainage of adjacent properties and/or public rights-of-way is not unduly affected during or after development;
 - vii. Any other information deemed necessary by the Development Authority.

35. CANNABIS PRODUCTION FACILITY

- (a) The owner or applicant must provide, as a condition of development permit, a copy of the current license for all activities associated with cannabis production as issued by Health Canada.
- (b) The owner or applicant must obtain, and maintain on a permanent basis, any other approval, permit, authorization, consent or license that may be required to ensure compliance with applicable federal, provincial or other municipal legislation.
- (c) The development must be carried out in a manner whereby all of the processes and functions are fully enclosed within a stand-alone building including all loading stalls and docks, and garbage containers and waste material.
- (d) The development shall not operate in conjunction with another approved use.
- (e) The development shall not include an outdoor area for storage of goods, materials or supplies.

- (f) The development must include equipment designed and intended to remove odours from the air where it is discharged from the building as part of a ventilation system.
- (g) The Development Authority may require, as a condition of a development permit, a public utility and waste management analysis, completed by a qualified professional, that includes detailed information on:
 - i. the incineration of waste products and airborne emissions, including smell;
 - ii. the quality and characteristics of liquid and waste material discharged by the facility; and
 - iii. the method and location of collection and disposal of liquid and waste material.

AGENDA ITEM REPORT



Title: DP 2021-041 - 2006 30A Avenue
Report Type: Request for Decision
Report Author: Melanie Messier
Meeting: Municipal Planning Commission - 14 Apr 2021
Department: Planning
Reviewed by Supervisor/Peer: Spencer Croil

TOPICS:

OBJECTIVE:

The following report is to present the Municipal Planning Commission (MPC) with an application to review the construction of a single-detached dwelling at the subject property located at Plan 1911196, Block 11, Lot 12.

The property is located within the Residential R-1A zoning district, where the applicant is requesting a waiver for minimum rear yard setback requirements. For this reason, the application requires the review of the MPC.

PREVIOUS COUNCIL DIRECTION:

First time this matter has appeared before Council.

ANALYSIS:

The dwelling, specifically the rear covered deck, requires a waiver for rear yard setback requirements. Within the Residential R-1A zoning district, rear yard setback requirements are a minimum of 25 feet and as the proposed deck is covered it is considered as part of the principal dwelling. The applicant is proposing a new rear yard setback of 17' and 11", thereby requesting a waiver of 7' and 1" or or 28%, which is in excess of the maximum 10% waiver that can be decided upon by a designated officer (Development Officer).

KEY CONSIDERATIONS:

Staff requests that the commission considers APPROVAL of Development Application (DP 2021-041) to allow for a waiver of maximum lot coverage subject to the following conditions. These conditions are in addition to standard development permit conditions associated with the development of a single detached dwelling in the Cottonwood Estates neighbourhood.

1. Setbacks shall conform to the site plan, which was attached as part of the Development Permit application and to Land Use Bylaw No. 677-P-04-13, Schedule 2, Residential R-1A.
2. Ensure lot drainage is maintained and that lot grade is maintained.

FINANCIAL IMPACT:

None

STAKEHOLDER ENGAGEMENT:

This application has been circulated to neighbouring property owners.

DECISION OPTIONS:

The MPC may:

1. Approve the development application with conditions.
2. Deny the application with reasons.
3. Table the application pending further receipt of additional information.

The Development Officer recommends approval of the permit subject to the conditions as listed in the staff report.

RECOMMENDATION:

THAT the commission approves DP 2021-041 with conditions.

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIC PLAN:☐

1. Focus on
Community Safety

☐

2. Focus on Livability

☐

3. Focus on Economic
Health

☐

4. Focus on Good
Governance and
Corporate Excellence

☐

5. Focus on
Responsible and
Responsive Growth

ATTACHMENTS:

[2021-041 - Notice Letter to Adjacent Landowners](#)

[DP 2021-041 - site plan](#)

[LUB district - Residential R-1A](#)



April 1, 2021

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2021-041

APPLICANT: GRIZZLY RIDGE DEVELOPMENTS

**ADDRESS: 2006 30A AVENUE, COALDALE, ALBERTA
PLAN 1911196, BLOCK 11, LOT 12**

ZONING: RESIDENTIAL R-1A

Dear Sir/Madam,

We are in receipt of Development Application 2021-041 regarding the construction a single detached dwelling at the above-mentioned address.

The dwelling, specifically the covered deck, requires a waiver for rear yard setback requirements. Within the Residential R-1A zoning district, rear yard setback requirements a minimum of 25' and as the proposed deck is covered it is considered as part of the principal dwelling. The applicant is proposing a new rear yard setback of 17' and 11", thereby requesting a waiver of 7' and 1" or 28%, which is in excess of the maximum 10% waiver that can be decided upon by a designated officer (Development Officer).

As such, the MPC must make the decision on the waiver that is being requested and a hearing must be held for consideration of this application.

- **This application will be heard by the MPC at the April 14th meeting, which will be held virtually at 5 pm.**
- **Options for attending the meeting are by virtual means.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by April 8th, 2021 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, April 14th, 2021, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2021-041**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 1:00pm on Friday, April 12th, 2021 or verbally at the meeting. Comments for the application can be dropped off in

person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,



Spencer Croil, RPP MCIP
Director of Planning and Community Development

cc. *Applicant*



LEGAL DESCRIPTION

LOT: 12
BLOCK: 11
PLAN: 191 1196
ADDRESS: 2006 - 30 'A' AVENUE
COALDALE, AB

SITE INFO.

TOTAL SITE AREA = 9180 SQ. FT.
TOTAL HOUSE FOOTPRINT = 1941 SQ. FT.
TOTAL DETACHED GARAGE FOOTPRINT = 900 SQ. FT.
SITE COVERAGE = 21.5%
LANDSCAPE COVERAGE = 28.0%

SQUARE FOOTAGES

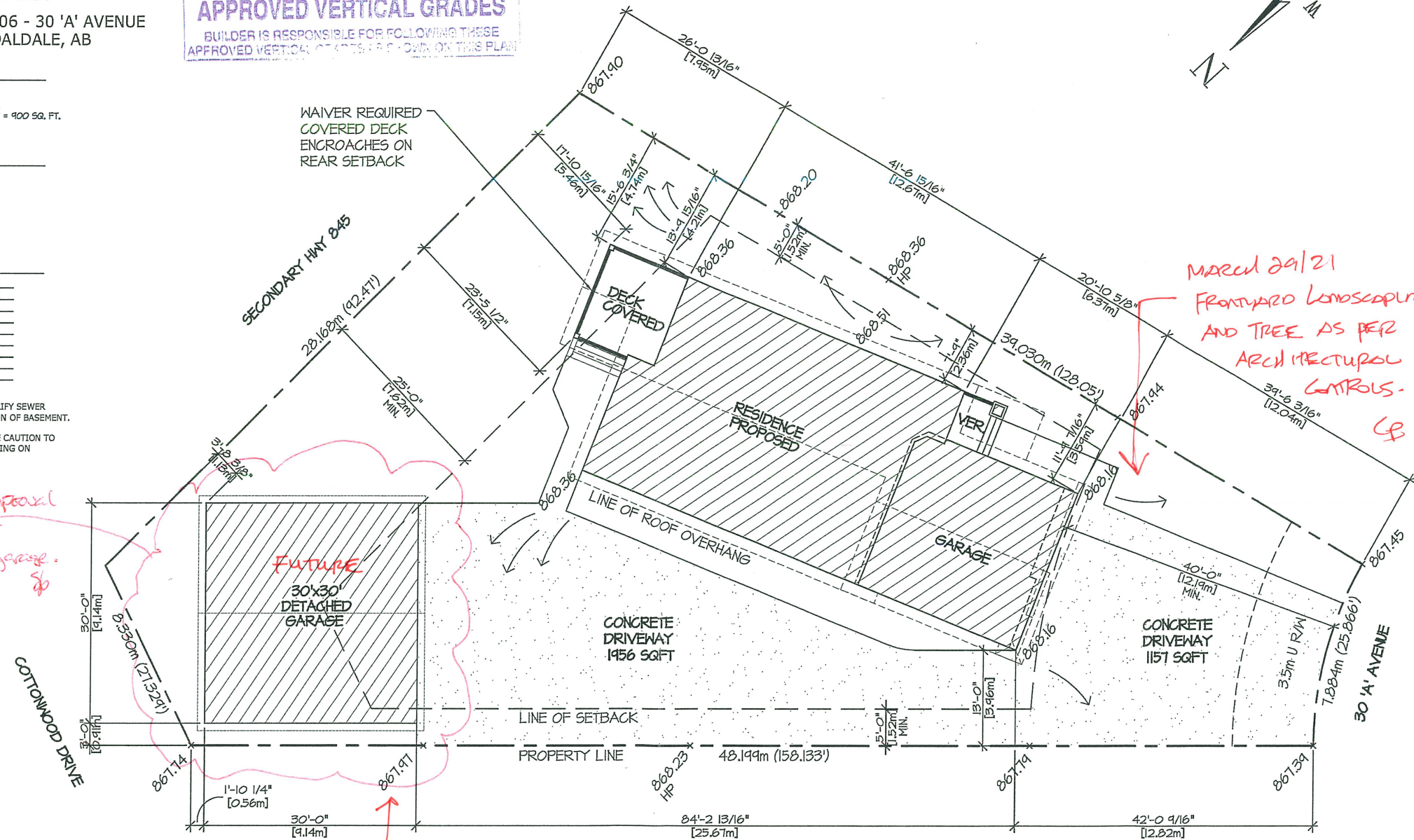
MAIN FLOOR - 1240 SQ. FT.
UPPER FLOOR - 545 SQ. FT.
BASEMENT TOTAL - 1240 SQ. FT.
BASEMENT DEVELOPED - 1027 SQ. FT.
GARAGE - 547 SQ. FT.
DECK - 162 SQ. FT.
VERANDA - 42 SQ. FT.

ELEVATIONS *

TOP OF MAIN FLOOR	870.41
TOP OF ENTRY FLOOR	868.82
TOP OF UPPER FLOOR	871.61
TOP OF BASEMENT SLAB	867.25
1/8 OF HOUSE FOOTING	866.94
TOP OF GARAGE SLAB	868.16
1/8 OF GARAGE FOOTING	866.94
SANITARY INVERT	865.44
LOWEST TOP OF FIG.	866.24

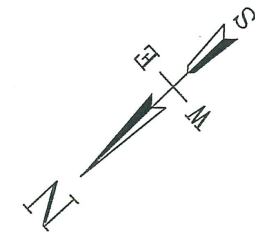
NOTES • THE CONTRACTOR SHALL VERIFY SEWER INVERT PRIOR TO EXCAVATION OF BASEMENT.
• THE CONTRACTOR SHALL USE CAUTION TO ENSURE FOOTINGS ARE BEARING ON UNDISTURBED SOIL.

MARTIN GEOMATIC CONSULTANTS LTD.
(or authorized representative)
No grade approval issued for detached garage
DATE: *March 25, 2021*
APPROVED VERTICAL GRADES
BUILDER IS RESPONSIBLE FOR FOLLOWING THESE APPROVED VERTICAL GRADES SHOWN ON THIS PLAN



1 SITE PLAN
SCALE 1/8" = 1'-0"

MARCH 29/21
ARCHITECTURAL
CONTROL APPROVAL
REQ'D FOR FUTURE
BLOCK



REVISIONS

CONSULTANTS

GRIZZLY RIDGE
DEVELOPMENTS INC.
CUSTOM-BUILT HOMES
403.894.1143
556 SIXMILE CRESENT
LETHBRIDGE, AB
T1K 5X2

VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK
ALL CONSTRUCTION IS TO COMPLY WITH THE ALBERTA BUILDING CODE AND ANY APPLICABLE LOCAL REGULATIONS.
ALL ENGINEERED BEAMS, JOISTS, AND TRUSSES SPECIFIED ARE TO BE DESIGNED BY THE SUPPLIER.
THE DESIGNER DOES NOT ASSUME LIABILITY FOR ANY ERRORS AND/OR OMISSIONS ON THESE DRAWINGS.

PROJECT TITLE
SPEC HOUSE

COALDALE, AB

CLIENT
GRIZZLY RIDGE DEVELOPMENTS

DRAWING TITLE
SITE PLAN

DATE MARCH 2021
PROJECT NO. 0220HOME
SCALE AS SHOWN
DRAWN KLH
CADD FILE 0220_OR_HDLING

SHEET NO.

AO

RESIDENTIAL – R-1A



Purpose:

To provide for a high-quality residential environment with the development of primarily single-detached dwellings on standard-sized lots or semi-detached dwellings development and other compatible uses. Development is to occur on standard-sized lots as defined in this land use district.

1. (A) PERMITTED USES

- Dwellings:
 - Secondary Suite
 - Single-Detached - Site Built
 - Single-Detached - Prefabricated
 - Semi-Detached - Pre-Planned¹
- Accessory building, structure or use to an approved permitted use
- Day Home
- Detached Garage
- Garden Shed
- Home Occupation 1
- Shipping Container (temporary)

(B) DISCRETIONARY USES

- Dwellings:
 - Moved-In
 - Semi-Detached - Isolated²
- Accessory building, structure or use to an approved discretionary use
- Bed and Breakfast
- Boarding or Lodging House
- Child Care Facility
- Home Occupation 2
- Institutional Facilities and Uses
- Parks and Playgrounds
- Public or Private Utility
- Sign Types³: 2, 4, 5⁴, 12

- Notes:**
- 1 – Semi-Detached Dwelling – Pre-Planned** means a semi-detached dwelling or a proposed semi-detached dwelling that **would** be located on a site designated for that purpose in an adopted Statutory Plan.
 - 2 – Semi-Detached Dwelling – Isolated** means a semi-detached dwelling or proposed semi-detached dwelling that would be located on a site **not** designated for that purpose in an adopted Statutory Plan.
 - 3 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.**
 - 4 – See Schedule 13, subsection 8(5)(i) for restrictions on freestanding signs in residential districts.**

(C) PROHIBITED USES

- Shipping Container (permanent)
- Single-detached manufactured dwellings
- Sign Types 1, 3, 6, 7, 8, 9, 10, 11
- *Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use*

2. MINIMUM LOT SIZE

Use	Width		Length		Area	
	m	ft.	m	ft.	m ²	ft ²
Single Detached Dwelling	15.24	50	33.53	110	511.00	5,500
Semi-Detached Dwellings (for each side)	10.67	35	33.53	110	357.76	3,850
All other uses	As required by the Designated Officer or Municipal Planning Commission					

- (a) The Designated Officer may approve a development on an existing registered lot if the minimum dimensions or area are less than those specified above in Section 2.
- (b) Despite the above requirements, all lots located on curves or cul-de-sacs shall have a minimum frontage of 6 m (19.68 ft.).

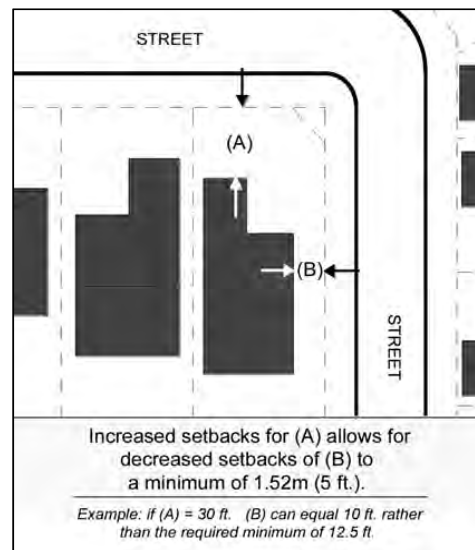
3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS AND USES

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Single-Detached Dwelling	7.62	25	3.81*	12.5*	1.52	5	7.62	25
Semi-Detached Dwellings (for each side)	7.62	25	3.81*	12.5*	1.52	5	7.62	25
All other uses	As required by the Designated Officer or Municipal Planning Commission							

Note: Measurements are from the respective property line to the nearest point of the building.

MINIMUM YARD SETBACKS FOR A CORNER LOT

*The required secondary front yard distance on a corner lot may be reduced by 0.15 m (0.5 ft.) for each 0.3 m (1 ft.) that the front yard setback is increased, providing the resulting secondary front yard setback is never less than 1.52 m (5 ft.). (see diagram)



4. MAXIMUM SITE COVERAGE

- (a) **Total allowable coverage:** 45% inclusive of all buildings
- (b) **Principal building:** 35 - 45% depending on accessory building(s)
The principal dwelling shall not occupy more than 45 percent of the surface area of a lot. Attached garages shall be considered as part of the principal building.
- (c) **Accessory buildings:** 0 - 10% depending on principal building
The combined total of all accessory buildings, including detached garages, shall be no more than 10 percent of the surface area of the lot, or less, depending on the total lot coverage of the principal building.
- (d) Other development shall be at the discretion of the Development Authority.

5. MINIMUM FLOOR AREA

Use	Minimum Floor Area*
Single-Detached Dwellings	74.32 m ² (800 ft ²)
Semi-Detached Dwellings (both units)	130.06 m ² (1,400 ft ²)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*Total floor area of all floors as measured by floors above grade or floors not more than 1.5 m (5 ft.) below grade.

6. MAXIMUM HEIGHT OF BUILDINGS

Use	Maximum Height*
Principal Dwelling	10 m (33 ft.)
Accessory Buildings	4.57 m (15 ft.)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*See definition for Building Height.

7. DRAINAGE

- (a) All dwellings and accessory structures must have eaves and downspouts, proper site grading and all surface drainage must be contained on-site and directed into approved municipal infrastructure.

8. ACCESSORY BUILDINGS (INCLUDING GARDEN SHEDS AND DETACHED GARAGES)

- (a) Minimum setbacks for accessory buildings including garden sheds and detached garages are as follows:

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Accessory Buildings – interior lots and laneless corner lots	See (f) and (g) below.				0.90	3	0.90	3
– laned corner lots	Same as principal		3.05	10	0.90	3	0.90	3

All other uses

As required by the Designated Officer or Municipal Planning Commission

Note: Measurements are from the respective property line to the nearest point of the building.

- (b) No accessory building or use shall be allowed on a lot without an approved principal building or use.
- (c) Accessory structures and uses not specifically included within a development permit require a separate development permit application.
- (d) Accessory buildings on interior lots or laneless corner lots shall not have overhanging eaves less than 0.61 m (2 ft.) from the side and rear lot line.
- (e) Accessory buildings on laned corner lots shall not have overhanging eaves less than 2.74 m (9 ft.) from the secondary front lot line and 0.61 m (2 ft.) from the rear and side lot lines.
- (f) Accessory buildings shall not be located in the front yard.
- (g) Accessory buildings shall not be located in a side yard between the property line and a principal building.
- (h) Accessory buildings shall have a minimum separation of 0.61 m (2 ft.) from the overhanging eaves of the accessory building and the eaves of any other structure or dwelling.
- (i) The exterior finish of all accessory buildings must be the same or complimentary to the principal building.
- (j) A minimum separation distance of 1.22 m (4 ft.) shall be provided between a principal building and any accessory building or structure.

9. MINIMUM LOT LINE SETBACKS FOR OVERHANGING EAVES

- (a) The overhanging eaves of a principal building shall not be less than 0.61 m (2 ft.) from the side lot line.

10. ARCHITECTURAL CONTROL APPROVAL

- (a) Development permits may require developer's Architectural Control review and approval PRIOR to a development permit being issued.

11. PREPLANNED OR COMPREHENSIVE DEVELOPMENTS

Applications for preplanned or comprehensive Developments or Subdivisions should be accompanied by:

- (a) **Development Concept** – A graphic rendering of the project together with a brief written summary of the concept and purpose of the development;
- (b) **Site Plans and Drawings** – Site plans, drawn to an appropriate scale, should be submitted in duplicate. Among other things, they should indicate: dimensions of all existing and proposed lots, existing and proposed roadways and public areas, parking stalls, the location of adjoining parcels and other details needed to describe the proposal;
- (c) **Topographic Details** – Topography of the site, including one metre or one-half metre contours should be provided either on the site plan or on a separate drawing;
- (d) **Contouring and Drainage** – Any proposed cutting and filling or other contouring of the site should be shown on a separate site plan. Proposed drainage of surface runoff should be detailed either on this plan or the main site plan;

- (e) **Roadways and Access** – All existing and proposed public roadways, such as streets, lanes and walkways should be shown and should include the proposed width of each as well as linkages to existing public roads;
- (f) **Development Specifications** – Specifications of the actual development should include such items as: minimum setbacks of all existing or proposed structures from lot boundaries, location, dimension and capacity of parking, driveway access points, approximate location of buildings on each lot, height of structures, etc.;
- (g) **Services and Utilities** – Information on all utilities that will be provided to the site including details pertaining to road construction, sidewalks, curb and gutter, water supply, storm sewer, sanitary sewage disposal and solid waste disposal;
- (h) **Staging of Development** – Proposed staging if the proposed Subdivision or Development will be completed in two (2) or more phases. This should be described together with the purpose of the proposed staging;
- (i) **Architectural Controls** – Any design standards such as type of roofing, building colours, siting of buildings, fencing, etc. to be complied with;
- (j) **Other Information** – And any other information that may be required by the Development Authority to make a recommendation.

12. STANDARDS OF DEVELOPMENT	– SCHEDULE 4
13. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS	– SCHEDULE 5
14. PREFABRICATED DWELLING REGULATIONS	– SCHEDULE 6
15. HOME OCCUPATIONS	– SCHEDULE 7
16. BED AND BREAKFAST STANDARDS	– SCHEDULE 8
17. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES	– SCHEDULE 9
18. OFF-STREET PARKING AND LOADING REQUIREMENTS	– SCHEDULE 11
19. SIGN REGULATIONS	– SCHEDULE 13