



AGENDA

Municipal Planning Commission Meeting

5:00 PM - Wednesday, May 11, 2022

Virtual (Zoom)

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	1.0	CALL TO ORDER
	2.0	ACCEPTANCE OF THE AGENDA
	3.0	ADOPTION OF PREVIOUS MINUTES
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	4.0	BUSINESS ARISING FROM THE MINUTES
	5.0	NEW BUSINESS
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MINUTES

Municipal Planning Commission Meeting

5:00 PM - Wednesday, April 13, 2022
Zoom

The Municipal Planning Commission of the Town of Coaldale was called to order on Wednesday, April 13, 2022, at 5:00 PM, in the Zoom, with the following members present:

PRESENT: Roger Hohm, Chair
Dale Pickering, Commission Member
Jacen Abrey, Commission Member
Jack Van Rijn, Commission Member
Rene Van de Vendel, Commission Member

EXCUSED: N/A

STAFF PRESENT: Melanie Messier, Planner
Jason Siemens, Manager of Infrastructure

GALLERY: Chase Russell, Conrad Vanessen, Jake Koster, Matt Sherwood, Tim Janzen, Dylan Bilcik

1.0 CALL TO ORDER

R. Hohm called the meeting to order at 5:00 pm.

2.0 ACCEPTANCE OF THE AGENDA

- J. Van Rijn indicated he would be abstaining from the discussion and decision of Item 5.4 due to a pecuniary interest stating a family member owned the building.

17-2022

MOTION: D. Pickering moved to approve the April 13, 2022, MPC Meeting Agenda.

3.0 ADOPTION OF PREVIOUS MINUTES

- 3.1 R. Hohm posed the question whether there were any errors or omissions in the March 19, 2022 MPC Minutes.

18-2022

MOTION: J. Van Rijn to adopt the March 19, 2022, MPC Minutes as circulated.

4.0 BUSINESS ARISING FROM THE MINUTES

- 4.1 Information Item - Meeting Format Discussion - Melanie Messier, Planner

- R. Hohm indicated Item 4.1 would be discussed as an information item in closed session.

5.0 NEW BUSINESS

- 5.1 SUB 2021-014 - Spruce Woods Country Estates

M. Messier presented Item SUB 2021-014 where an applicant requested a lot line adjustment between two (2) parcels with both being 1.03 ac (0.41 ha) in size.

On August 21, 2008, SUB 2008-0-164 a final decision was processed by the Oldman River Regional Services Commission for the Spruce Woods Estates subject area, amounting to a total of 18.32 acres (7.41 ha).

At the September 27, 2021, regular council meeting, Council passed Bylaw 821-06-21 for a Road Closure Bylaw closing a road right-of-way in the subject area.

The proposed subdivision is located in the southernmost section of the Town in the area known as Spruce Woods Country Estates. The proposed lot line adjustment is to accommodate future Country Residential style dwellings to allow for a lot configuration more suitable to the applicant for future residential development.

Should the Municipal Planning Commission wish to consider approval of the application, the following suggested conditions and consideration were proposed:

1. Any outstanding property taxes shall be paid to the Town of Coaldale.
2. The applicant or owner or both enter into a Development Agreement with the Town of Coaldale to address any municipal servicing requirements.
3. That any easement(s) as required by utility companies and/or the municipality shall be established.
4. That any conditions of Alberta Transportation be met.
5. Consideration of adjacent landowner and referral agency comments.

Municipal Reserve

In accordance with the provision of Sec. 666, 667 and 669 of the Municipal Government Act, Municipal Reserve was collected as cash-in-lieu for the initial subdivision (2008-0-164) on the land of 18.32 acres at the market value of \$25,000 per acre for the 18.32 acres (7.41 ha).

Commentary received from circulation to external agencies is as follows:

Alberta Transportation

The parcel to be created will gain indirect access to the highway solely by way of the local road system. As such, strictly from Alberta Transportation's point of view, we do not anticipate that the creation of the boundary-adjusted residential parcel as proposed would have any appreciable impact on the provincial highway network. Therefore, pursuant to Section 16 of the regulation, in this instance, Alberta Transportation grants a waiver of said Sections 14 and 15(2).

Notwithstanding the foregoing, the applicant would be advised that any development within the right of way or within 300 metres beyond the limit of the highway or within 800 metres from the center point of the intersection of the highway and another highway would require the benefit of a permit from Alberta Transportation. This requirement is outlined in the

Highways Development and Protection Regulation, being Alberta Regulation 326/2009.

The subject property is within the noted control lines however given that development setbacks will be maintained by default and in this instance, a permit from Alberta Transportation will not be required and development of the boundary adjusted parcel for residential use could proceed under the direction, control and management of the town. The applicant could contact the undersigned, at Lethbridge at 403-388-3105, in this regard. Alberta Transportation accepts no responsibility for the noise impact of highway traffic upon any development or occupants thereof. Noise impact and the need for attenuation should be thoroughly assessed. The applicant is advised that provisions for noise attenuation are the sole responsibility of the developer and should be incorporated as required into the subdivision/development design.

Any peripheral lighting (yard lights/area lighting) that may be considered a distraction to the motoring public or deemed to create a traffic hazard will not be permitted.

ATCO Pipelines

No objections

Alberta Health Services

No objection to the proposed subdivision of land provided that: All pertinent regulations, bylaws and standards are complied with, and - No nuisance conditions exist or are created.

Canada Post

No comments at this time. However, to keep Canada Post informed at the time a lot plan has been devised.

Fortis Alberta

Has indicated they are okay with the new proposed URW being registered given the Town maintains some conditions pending the registration of the new easement and the discharge of the existing URW. As well the Town creates a condition that Fortis'

powerlines be only released upon the successful registration of the new URW.

SMRID

No objection to the proposed lot line adjustment between the two (2) parcels.

TELUS

TELUS stated, that as long as TELUS is in the General URW, it has no concerns with the proposed activities.

Lethbridge County

No concerns.

19-2022

MOTION: J. Van Rijn made the Motion to APPROVE subdivision application (2021-014) with the suggested conditions.

Carried 5-0

5.2 DP 2022-019 - 1506 22 Avenue - Melanie Messier, Planner

M. Messier presented Item 5.2 DP 2022-019 for a waiver of parking requirements to allow for a secondary suite.

Within the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential R-1A, a "Secondary Suite" is considered a permitted use. However, within Schedule 11: Off-Street Parking and Loading Requirements, it states that two (2) parking spaces are required for a Single Detached Dwelling and two (2) additional parking spaces are required for a Secondary Suite.

The applicant is proposing three (3) off-street parking stalls be available for the approved residence and secondary suite, which amounts to a twenty-five percent (25%) waiver of off-street parking requirements.

- Two (2) parking stalls are proposed for the parking pad in the rear yard; and

- One (1) parking stall is available in the pre-existing one (1) car detached garage

Should the Commission wish to consider approval of the Development Application (DP 2022-015) for a Secondary Suite and a waiver of minimum parking requirements, the following conditions are recommended:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0732 prior to commencement. Applicant/owner shall contact the fire department at (403) 345-1330 and arrange for a fire inspection once construction is completed.
 2. The secondary suite shall comply and be developed in accordance with the current Land Use Bylaw No. 677-P-04-13, Schedule 4: Standards of Development, Section 25, Secondary Suites.
 3. The development shall comply with the current Land Use Bylaw No. 677-P-04-13, Schedule 11: Off-Street Parking and Loading Requirements, except for the waiver of one (1) parking space granted as per the Municipal Planning Commission (MPC).
 4. The secondary suite shall not be separated from the principal dwelling through a condominium conversion or subdivision.
 5. No variances or waivers of setbacks of the secondary suite have been approved.
 6. The development, once completed, shall meet or exceed Alberta Building Code and Alberta Fire Code.
- R. Hohm posed a question to the applicant as to whether he currently lives in the property, where the applicant responded they live in the property adjacent to the subject parcel.
 - R. Hohm posed an additional question as to whether the area currently experiences parking issues.
 - The applicant responded there are no issues with parking in the area.

20-2022

MOTION: R. Van de Vendel made a motion to APPROVE development permit (2022-019) with the suggested conditions.

Carried 5-0

5.3 DP 2022-028 - 2507 21 Avenue - Melanie Messier, Planner

M. Messier presented Item 5.3 for a waiver of rear yard setback and landscaping requirements to allow for a commercial building development at the property legally described as Lot 72, Block 2, Plan 091 3811.

Within the current Land Use Bylaw 677-P-04-13, Schedule 2, Highway Commercial C-2, a "Drive-in/Drive-through Restaurant" is considered a permitted use. However, within the Land Use Bylaw, Schedule 9: Landscaping and Amenity Areas Standards and Guidelines, a minimum 6m (20 ft.) landscape buffer is required for all commercial developments located adjacent to municipal roadways.

Due to the lot layout, the applicant is proposing that 10% of the lot be landscaped as opposed to providing a 6m (20 ft.) landscape buffer. Currently, the site plan shows landscaping at several locations of the subject property and includes varieties of trees and shrubs.

In addition, the current Land Use Bylaw, states the minimum rear yard setback shall be a minimum of 7.62 m (25 ft.). The applicant is proposing a rear yard setback of 5.09m (16 ft. 8 3/8 inches), which amounts to a 33% waiver request.

Should the Commission wish to consider approval of Development Permit application (DP 2022-028) for a waiver of rear yard setback and landscaping requirements to allow for a commercial development, the following conditions are recommended:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Applicant/owner shall contact the fire department at 403-345-1330 and arrange for a fire inspection prior to commencement.

4. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Highway Commercial C-2, except for the rear yard setback of 5.09m (16 ft. 8 3/8 inches) as approved by the Municipal Planning Commission (MPC).
5. A drawing set prepared and stamped by a professional engineer registered to practice in Alberta, showing storm water, sanitary sewer and potable water design and connections from the site to the municipal infrastructure shall be submitted to, reviewed and approved by the Town prior to commencement of construction.
6. A person to whom a Development Permit for the Commercial Development has been issued shall provide the Designated Officer prior to construction a letter from a qualified Alberta Land Surveyor confirming that a qualified ALS conducted the Stakeout of the site for construction.
7. Development to conform to architectural and civil drawings provided as part of the Development Permit application as per Town approved drawing. Noted exceptions/conditions are as follows:
 - a. Access via 21 Avenue shall be two-way and utilize the existing approach/driveway location and geometrics. Approval is dependent upon the applicant providing a Town approved site design and agreement for shared access with Lot 71, Block 2, Plan 071 2984.
 - b. Access via the lane shall be a one-way exit only, with enhancements provided to the existing lane approach to create a one-way exit separated from the two-way lane traffic (spacing shall meet TAC guidelines). Approval is dependent upon the applicant providing a Town-approved site design for the drive-through egress in the north section of the lot, and an agreement requiring the applicant to construct and maintain lane enhancements in consideration for use of the lane.
 - c. Approval is dependent on the applicant demonstrating adequate space is available in the lane for proposed delivery and waste collection locations. Provide proposed turn path for garbage pickup, and any other large vehicles proposed to access the site.

8. Refuse and garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
 9. Any outstanding fees and deposits associated with the development application must be paid prior to the release of the permit.
 10. As per Policy ARG-033-1121, the applicant/owner shall provide a landscaping security fee of 50% of the estimated cost of landscaping prior to commencement of construction.
 11. The applicant/owner shall conform to the landscaping plan(s) submitted as part of the Development Permit application and with Land Use Bylaw No. 677-P-04-13, Schedule 9: Landscaping and Amenity Areas Standards and Guidelines.
 12. The applicant/owner is required to install an underground watering/irrigation system to ensure the continued care of lawns and other vegetation.
 13. The applicant/owner is required to maintain landscaping within the public Right-of-Way adjacent to 18th Avenue.
 14. The applicant/owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 11, Off Street Parking and Loading Requirements.
 15. Approval is for the commercial development only. A separate permit must be applied for and approved for any future signage.
 16. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.
 17. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly so as to not impact the neighbourhood.
- R. Hohm posed the question as to whether staff was aware of which businesses would occupy the commercial spaces of the development.
 - The applicant responded that an offer of lease from a salon/barber shop has been received and there are no plans for the corner unit at this time.

- R. Hohm posed an additional question as to whether the garbage enclosure could be relocated to the front of the building.
- The applicant indicated the issue with the commercial style garbage bins is they occupy quite a bit of space and its current placement is to utilize the lane for standard garbage pick up.
- A resident indicated he lives directly behind the proposed garbage pick up and addressed his concerns of its proposed location.
- A secondary resident indicated that the Tim Horton's development has their garbage located in the front of the development and concerns of blowing garbage and lingering smells and would like the same concept to be applied in this case.
- A third resident indicated concerns of grease smells and the impact on his home.
- The applicant posed a question as to whether garbage pick up for residents takes place in the back lane. It was clarified that it does not.
- The applicant reiterated the request is for the rear yard setback and the furthest point is the proposed pick-up window and to minimize the impact of the encroachment is to install fencing and landscaping.
- The applicant went onto describe that the intention is that the enhanced fencing will act as a buffer for any potential noise, smells, or blowing garbage.
- A resident posed the question as to what will be done for the potential noise of the vehicles and fumes from idling vehicles.

21-2022

MOTION: J. Abrey made a motion to APPROVE development permit (2022-028) with the suggested conditions and an additional condition THAT the applicant/owner is required to provide adequate screening between the commercial development and residential uses by providing additional landscaping in the form of trees at the rear setback and installing a 0.3 m (1 ft.) retaining wall at the base of the 1.8 m (6 ft.) Town-approved fence for a total fence height of 2.1 m (7 ft.) as approved by the Municipal Planning Commission.

Carried 5-0

5.4 DP 2022-030 - 1205 18 Avenue - Melanie Messier, Planner

M. Messier presented on Item 5.4 DP 2022-030 for an application requesting a waiver of side yard setbacks to allow for a shed at the property legally described as Lot 3, Block 5, Plan 771 0468.

Within the current Land Use Bylaw 677-P-04-13, Schedule 2, Commercial C-1, an "Accessory Structure" is considered a permitted use. However, the zoning district states a side yard setback requirement as a minimum of 1.52 m (5 ft.) and a minimum rear yard setback of 4.57m (15 ft.).

The applicant is proposing side and rear yard setbacks of 0.6m (2 ft.). It is worth noting that the applicant has submitted a land use bylaw amendment to rezone the property from Commercial C-1 to Industry-I to align the subject property with the surrounding zoning in the area. Within the Industry-I zoning district, there is no minimum setback requirements for Accessory Structures.

Should the Commission wish to consider approval of Development Permit (2022-030) for a waiver of setback requirements for Shed, the following conditions are recommended:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc. (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to the site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Industry-I.
4. The shed must be of a colour and design complementary to the exterior of the principal building as determined by the Development Authority.
5. The shed is not to be further enlarged unless the necessary permits have been applied for and approved.
6. Refuse and garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.

7. The building, when completed, shall meet or exceed provincial building requirements and comply with all provincial and municipal health and fire regulations.

- No comments or questions.

22-2022

MOTION: D. Pickering made a motion to APPROVE development permit (2022-030), with the suggested conditions.

Carried 4-0

5.5 DP 2022-033 - 453 Westgate Crescent - Melanie Messier, Planner

M. Messier presented on Item 5.5 where an applicant was proposing a waiver of rear yard setback requirements to allow for a Covered Deck (Sunroom) at the property legally described as Plan 131 2937, Block 6, Lot 16.

Within the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential R-1A, an "Accessory Structure to an Approved Permitted Use", meaning approval for the Covered Deck addition to the permitted Single Detached Dwelling. However, within this zoning district, it states the rear yard setback requirement is to be a minimum of 7.62m (25 ft.).

The applicant is proposing a rear yard setback of 6.35m (20 ft.10 inches), which amounts to a 17% waiver request. It is worth noting, that within the Land Use Bylaw, covered decks are considered to be part of the principal building and must meet the stipulated setbacks for the single-detached dwelling.

Should the Commission wish to consider approval of Development Permit (2022-033) for a waiver of rear yard setback requirements to allow for a Covered Deck, the following conditions are recommended:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc. (403) 320-0734 prior to commencement.

2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
 3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to current Land Use Bylaw 677-P-04-13, Schedule 2, Residential R-1A, with the exception of the rear yard setback of 6.35 m (20 ft. 10 inches).
 4. The covered deck is not to be enlarged, unless the necessary permits have been applied for an approved.
 5. Ensure lot drainage is maintained.
 6. The development must be of a colour and style that is complementary to the exterior of the home in the opinion of the Development Officer.
 7. The development, when completed, shall meet or exceed provincial building requirements.
- R. Van de Vendel posed a question to staff if lot coverage had been considered for the application.
 - M. Messier indicated she was unsure and would find out the total lot coverage. Following the meeting it was determined the lot did meet minimum lot coverage requirements.
 - J. Van Rijn posed the question as to whether the property would be 17% closer to adjacent neighbours and whether this would cause a privacy concern.
 - M. Messier confirmed the waiver would result in a 17% waiver of a 25' setback and that she could not speak to the privacy concern.
 - R. Hohm wanted to clarify whether the proposal was to enclose the existing deck and whether it required a waiver given it above 2 feet in height.
 - M. Messier clarified that as per the Land Use Bylaw, Schedule 4: Standards of Development, decks may project into the minimum rear yard setback to a maximum of 3 m (9.8 feet).

23-2022

MOTION: R. Van de Vendel made a motion to REFUSE development permit (2022-033) with reasons including that the proposed structure does not conform with the Land Use Bylaw and is not consistent in maintaining the character of the Westgate subdivision.

Carried 4-1

5.6 DP 2022-032 - 3118 12 Street - Melanie Messier, Planner

M. Messier presented on Item 5.6 for an application requesting a waiver of secondary frontage setback requirements to allow for Single Detached Dwelling (SDD) at the property legally described as Plan 161 1387, Block 3, Lot 10.

Within the current Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential CR-1, a "Single Detached Dwelling" is considered a permitted use. However, within this zoning district, it states the secondary frontage is to be a minimum of 12.19m (40 ft.).

The applicant is proposing a secondary frontage of 8.9 m (29 ft. 4 3/4 inches), which amounts to a 37% waiver request.

Should the Commission wish to consider approval of the Development Application (2022-015) for a secondary frontage waiver to allow for a Single Detached Dwelling, the following conditions are recommended:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to the site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential CR-1, except for the secondary frontage waiver of 8.9 m (29 ft. 4 3/4 inches).
4. A person to whom a Development Permit has been issued shall notify the Designated Officer following the Stakeout of the site but prior to the commencement of construction.
5. A person to whom a Development Permit for a Single-Detached Dwelling has been issued shall provide the Designated Officer prior to construction a letter from a qualified Surveyor confirming that a qualified Alberta Land Surveyor conducted the Stakeout of the site for

- construction. All elevations and grades shall comply with the Lot Grading Site Plan.
6. The applicant/owner shall submit to the Town of Coaldale a soil bearing report.
 7. Must obtain a competent Alberta Land Surveyor to establish the vertical grades and cuts prior to the excavation of the foundation. (Should the building be constructed lower than the design finish grade due to a failure to survey the vertical grades for the foundation as per the lot grading design it may be at risk for flooding).
 8. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
 9. Developer/builder/applicant/owner shall comply with the Architectural Control Guidelines in FIELDSTONE MEADOWS.
 10. The connection of weeping tile foundation drainage systems to the sanitary sewer services in this development is STRICTLY PROHIBITED.
 11. Ensure water does not drain into neighbouring properties.
 12. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.
 13. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly so as to not impact the neighbourhood.
- The applicant indicated they had no additional comments.

24-2022

MOTION: R. Van de Vendel moved to APPROVE development permit (2022-032) with the suggested conditions.

Carried 5-0

6.0 INFORMATION ITEMS

- M. Messier presented Item 4.1 – Meeting Format Discussion on whether the MPC will continue being facilitated online or return to in-person meetings.

- R. Van de Vendel expressed the online virtual meetings are more accessible.
- J. Van Rijn commented that the online delivery can be considered more convenient for applicants and that any application requiring in-person attendance can be facilitated.

25-2022

MOTION: D. Pickering made a motion to approve that the MPC continue to facilitate virtual Commission meeting and direct Administration to hold in-person meetings on a case-by-case basis.

Carried 5-0

7.0 CLOSED MEETING

Closed session began at 5:50 pm and ended at 6:13 pm.

8.0 ADJOURNMENT

26-2022

MOTION: R. Van de Vendel made a motion to adjourn the meeting at 6:13 pm.

R. Hohm – Chair

M. Messier – Recording Secretary

AGENDA ITEM REPORT



Title: Development Permit 2022-041 - 2124 16 Avenue - Melanie Messier, Planner
Report Type: Request for Decision
Report Author: Melanie Messier
Meeting: Municipal Planning Commission - 11 May 2022
Department: Planning
Reviewed by Cameron Mills, Kalen Hastings
Supervisor/Peer:

TOPICS:

Planning and Community Development:
Municipal Planning

COMMITTEES & BOARDS:

Municipal Planning Commission

OBJECTIVE:

The following report is to present the Municipal Planning Commission (MPC) with an application requesting to construct an addition to an existing building to include Aviaries and Bird Barns at the property legally described as Lot 8, Block 8, Plan 901 2294 with the Civic Address 2124 16 Avenue.

PREVIOUS COUNCIL DIRECTION:

The Municipal Planning Commission approved a similar development permit (2020-063) at the June 10, 2020, Commission meeting.

ANALYSIS:

Within the current Land Use Bylaw 677-P-04-13, Schedule 2, Institutional/Recreational I/R, an "Accessory Structure to an Approved Discretionary Use" is considered discretionary and requires the review of the Municipal Planning Commission (MPC).

The subject parcel is home to the Alberta Birds of Prey Foundation and the proposed structures are essential for the continued care of animal wildlife. The applicant is proposing additional Aviaries and Bird Barns with the following considerations:

- An addition with a total area of 754.56 m² (8122 ft²)
- A building height of 4.5 m (15 ft. 1 inch)

KEY CONSIDERATIONS:

Should the Commission wish to consider approval of development permit (2022-041) to allow for an addition, the following conditions are recommended:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.

2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Institutional/Recreational (I/R).
4. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
5. When completed, shall meet or exceed provincial building requirements and comply with all provincial and municipal health and fire regulations.
6. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.
7. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighborhood.

FINANCIAL IMPACT:

N/A

STAKEHOLDER ENGAGEMENT:

As per the Municipal Government Act (MGA) and the Town's Land Use Bylaw (LUB), notification of the application was circulated to neighbouring property owners within a 60-metre distance of the property 12 days prior to the scheduled meeting.

At the time of this report, no response to the circulation of the application was received.

DECISION OPTIONS:

The Commission may wish to consider the following options:

1. THAT the MPC approves development permit (2022-041) with the suggested conditions.
2. THAT the MPC tables development permit (2022-041) pending the receipt of further information.
3. THAT the MPC refuses development permit (2022-041) with reasons.
4. THAT the MPC provides alternative direction to Administration.

RECOMMENDATION:

N/A

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIC PLAN:



1. Public Safety



2. Recreation



3. Service Excellence



4. Community Growth & Economic Prosperity



5. Relationships



6. Community Experience

ATTACHMENTS:

[DP 2022-041 - Notice to Neighbouring Landowners - I-R Addition](#)

[DP 2022-041 - building plans](#)

[LUB Excerpt - I-R Zoning](#)



April 27, 2022

TO: NEIGHBOURING PROPERTY OWNERS
RE: DEVELOPMENT APPLICATION 2022-041
APPLICANT: ALVIN REINHARD FRITZ ARCHITECT INC
ADDRESS: 2124 16 AVENUE, COALDALE, ALBERTA
PLAN 901 2294; BLOCK 8; LOT 8
ZONING: INSTITUTIONAL/RECREATIONAL - I/R

Dear Sir/Madam,

We are in receipt of Development Application #2022-041 to review an application requesting to construct an addition to an existing building to include additional Aviaries and Bird Barns at the above-mentioned property (Alberta Birds of Prey Foundation).

Within the current Land Use Bylaw 677-P-04-13, Schedule 2, Institutional/Recreational I/R, an “Accessory Structure to an Approved Discretionary Use” is considered discretionary and requires the review of the Municipal Planning Commission (MPC).

The applicant is proposing the following:

- An addition with a total area of 754.56 m² (8122 ft²)
- A building height of 4.5 m (15 ft. 1 inch)

The application will be considered and decided upon by the Municipal Planning commission (MPC) at the **May MPC meeting**.

- **This application will be heard by the MPC at the May 11, 2022 meeting, which will be held virtually at 5 pm.**
- **Options for attending the meeting are by virtual means.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by May 5, 2022 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at melanie.messier@coaldale.ca or 403 345-1313 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, May 11, 2022, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2022-041.**

Any comments you wish to make concerning the application can be made in writing or by email to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 4:00pm on **Wednesday, May 11, 2022** or verbally and by virtual means at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to melanie.messier@coaldale.ca. **Please note that all submissions will be made public.**

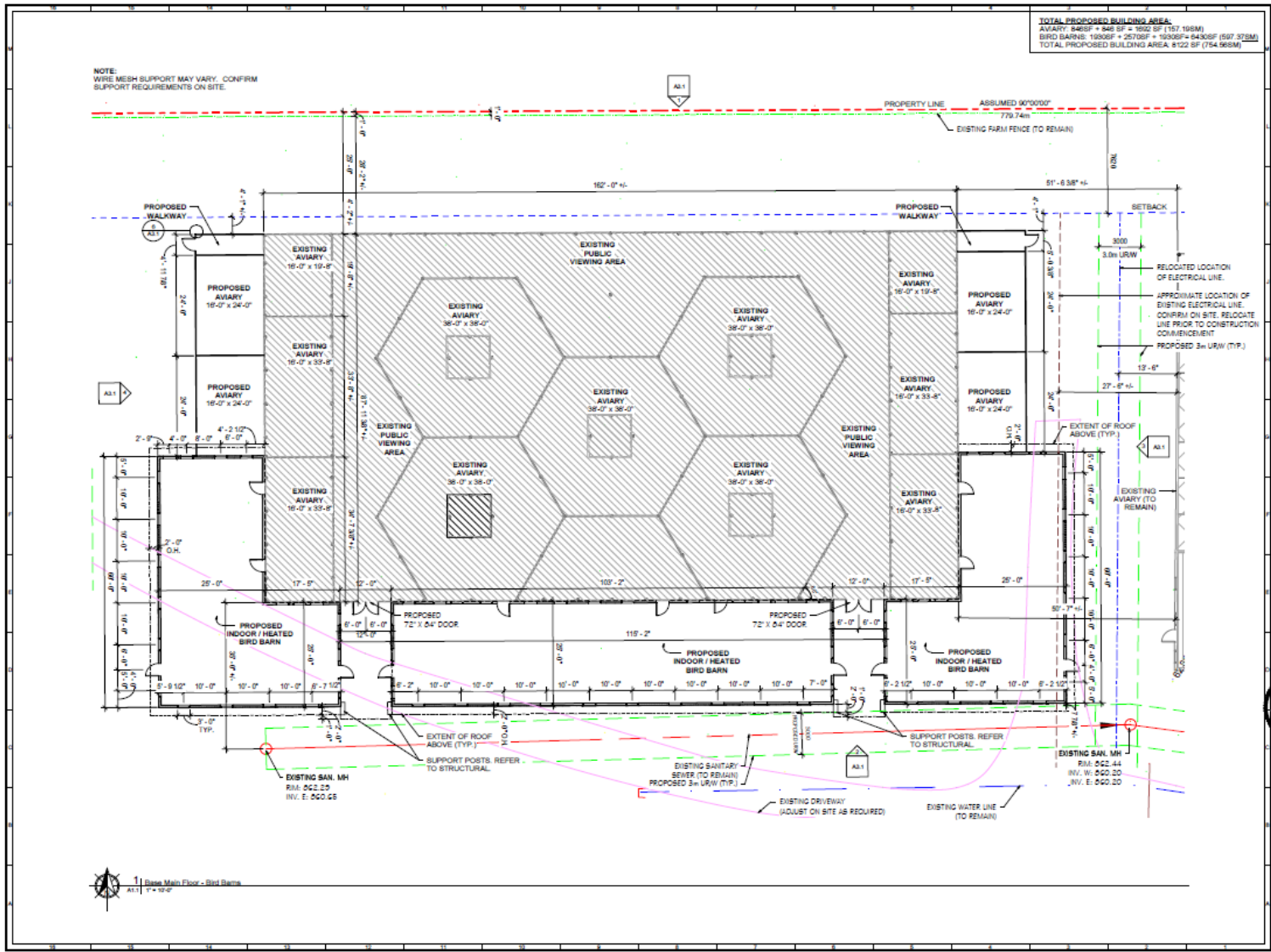
Sincerely,

Melanie Messier

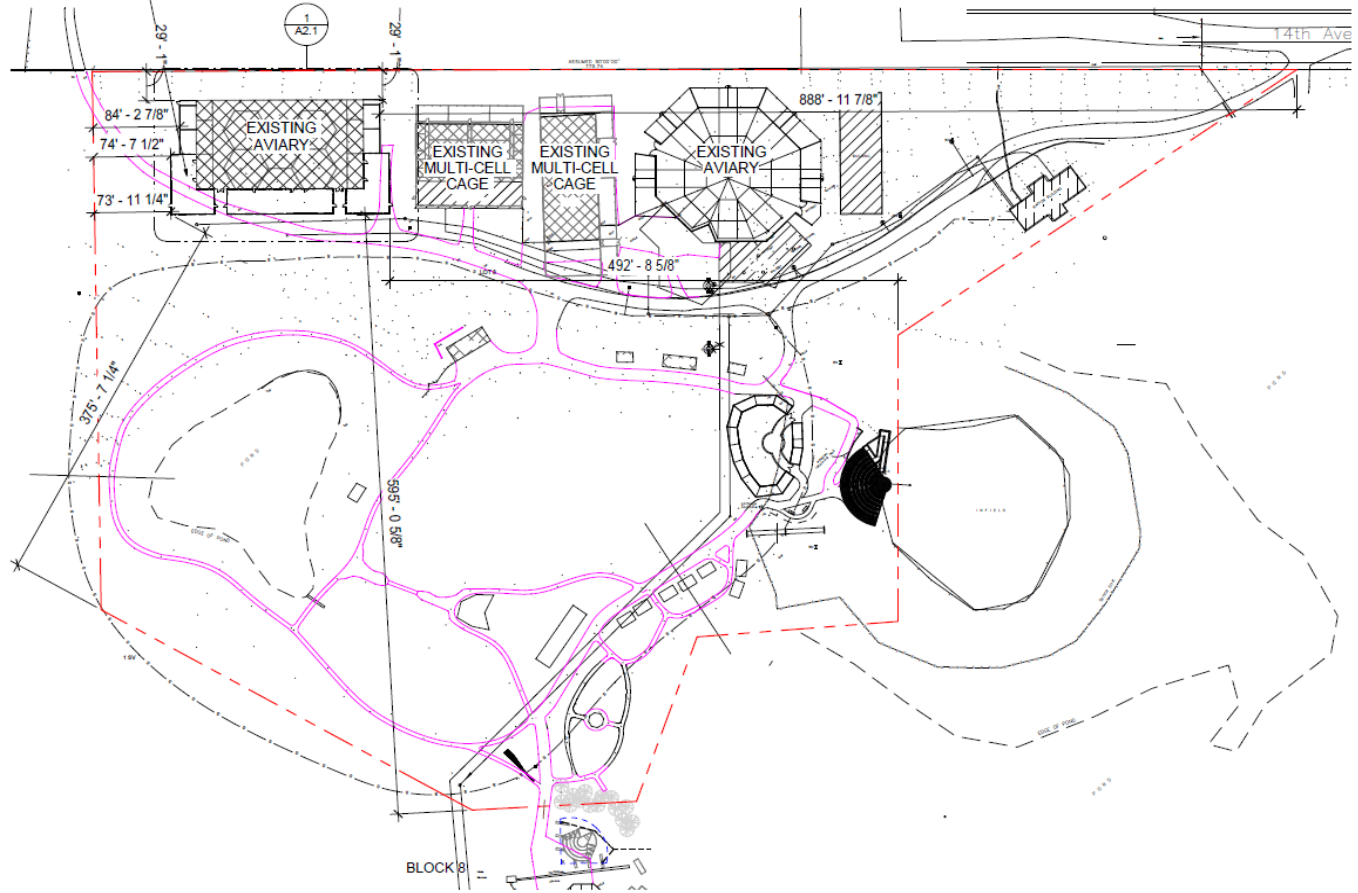
Melanie Messier, MCP
Planner

cc. Applicant





PROPOSED HEATED BIRD
BARN (3) & AVIARY
ENCLOSURES (4)



PROJECT DESCRIPTION

NEW STRUCTURE THAT CONTAINS 4 SEPERATE AVIARY SECTIONS, ACCESS / SERVICE PASSAGEWAYS & 3 SEPERATE HEATED BIRD BARN.

**Alberta Birds of Prey
Outdoor Multi-Aviary Structure
& Bird Barns**

COALDALE, ALBERTA

LEGAL ADDRESS:
LOT 8
BLOCK 8
PLAN 9012294
SE 1/4 15-9-20 W4M

MUNICIPAL ADDRESS:
2124-16TH AVE.
COALDALE, AB
T1M 1N7

LEGAL DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294
SE 1/4 15-9-20 W4M

MUNICIPAL ADDRESS:
2124-16TH AVE.
COALDALE, AB
T1M 1N7

PROJECT DIRECTORY

OWNER:
ALBERTA BIRDS OF PREY
FOUNDATION
CO COLIN WEIR
E-MAIL: colin.weir@abpbc.ca
PHONE: (403) 345-4562

PLANNING DEPARTMENT:
TOWN OF COALDALE
1920-17 ST.
COALDALE, ALBERTA T1M 1M1
E-MAIL: building@coaldales.ca
PHONE: (403) 345-1337

BUILDING SAFETY DEPARTMENT:
SUPERIOR SAFETY CODES INC.
422 MAYOR MAGRATH DR. N.
LETHBRIDGE, ALBERTA T1H 6E7
E-MAIL: info@superiorsafetycodes.com
PHONE: (403) 320-0734

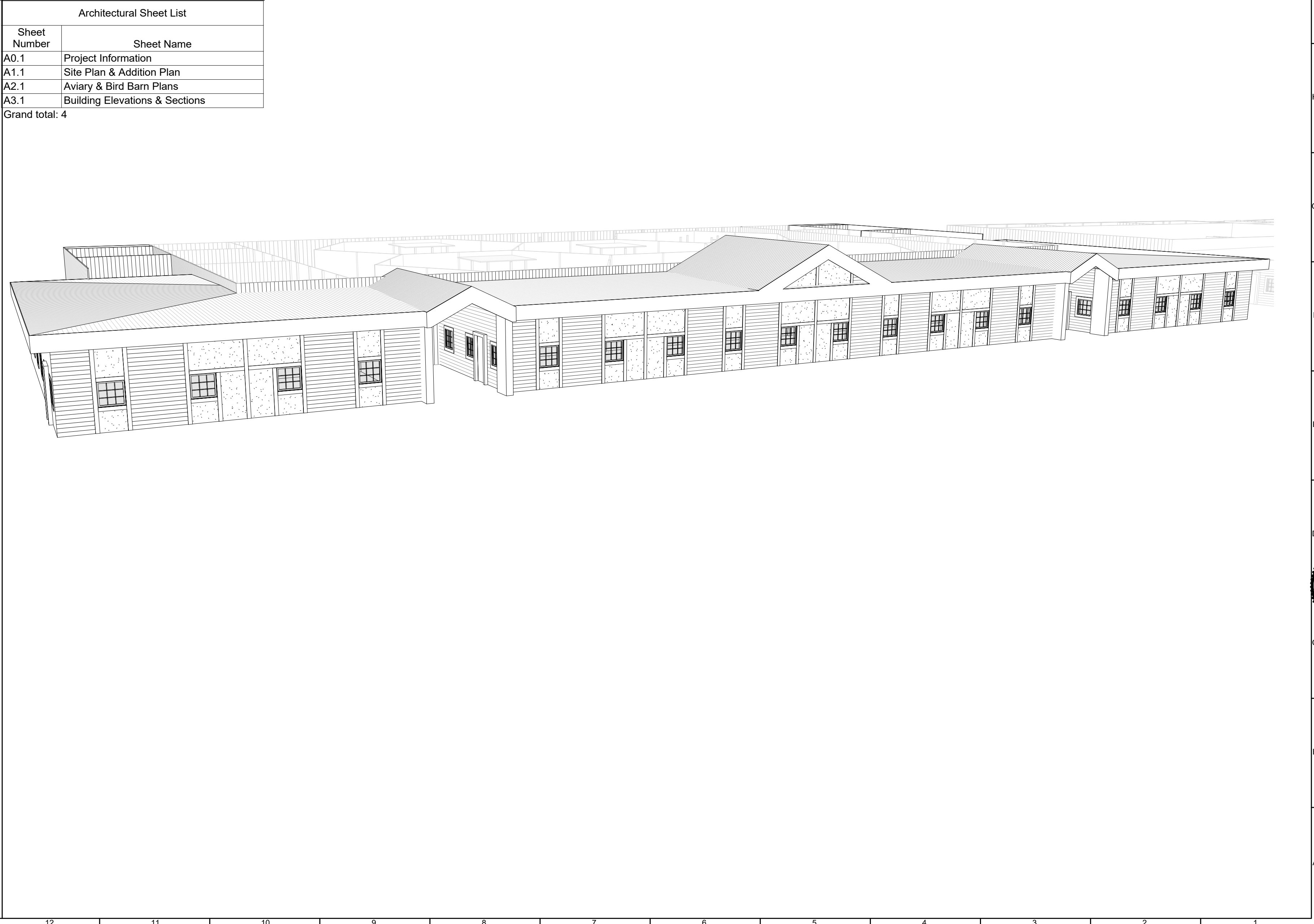
ARCHITECT:
ALVIN REINHARD FRITZ ARCHITECT INC.
ALVIN FRITZ/ CARLOS ROMAN
#10 90001 Range Road 212,
Lethbridge County, Alberta T1J 5N9
E-MAIL: croman@alvinfritzarchitect.com
PHONE: (403) 320-8100
FAX: (403) 327-3373

Architectural Sheet List

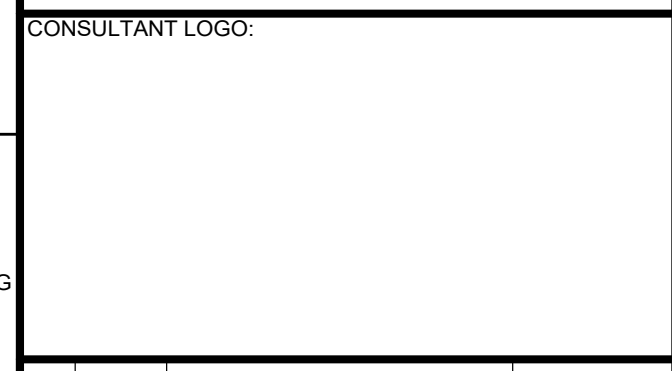
Sheet Number	Sheet Name
A0.1	Project Information
A1.1	Site Plan & Addition Plan
A2.1	Aviary & Bird Barn Plans
A3.1	Building Elevations & Sections
Grand total: 4	

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CERTIFICATE OF OCCUPANCY.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE **NBC-2019-AE** LAWS, RULES, & REGULATIONS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS AS REQUIRED UNTIL NEW STRUCTURAL MEMBERS ARE PERMANENTLY INSTALLED. WHETHER INDICATED ON THE DRAWINGS OR NOT. IF THE CONTRACTOR IS UNSURE WHETHER OR NOT TO PROVIDE TEMPORARY SHORING AND BRACING HE SHALL ASK THE ARCHITECT OR STRUCTURAL ENGINEER, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND CRITICAL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK, AND SHALL NOTIFY OWNER & ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. THIS VERIFICATION SHALL INCLUDE BUT NOT LIMITED TO LOCATION OF NEW FRAMING MEMBERS, LINES OF SUPPORT, LOCATIONS OF ANCHOR BOLTS, HOLD DOWNS, EXISTING SITE CONDITIONS, AND UTILITIES PRIOR TO ORDERING MATERIALS.
- CONTRACTOR TO VERIFY FIT & FINISH REQUIREMENTS FOR ALL PROJECT COMPONENTS, WITH OWNER, PRIOR TO ORDERING MATERIALS. REPORT CONFLICTING INFORMATION TO OWNER PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION & CONSTRUCTION DEBRIS AS REQUIRED BY PROVINCIAL & MUNICIPAL REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AUTHORITIES, OWNER, AND THE PROJECT CONSULTANTS IF REQUESTED.
- BY THE USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY. THE OWNER AND HIS CONSULTANTS SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED. SAFETY AND NEGLIGENT ACTS OR OMISSIONS BY THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS ON THE JOB.
- CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING ARCHITECTURAL, MECHANICAL, AND ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT PRIOR TO ANY WORK.
- CONTRACTOR SHALL NEVER SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILING, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS. ANY SUCH DIMENSIONS MISSING FROM THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL ADHERE TO THE DRAWINGS AND SPECIFICATIONS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE TRUE MEANING AND/OR INTENT OF THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE ARCHITECT WHO WILL MAKE ANY NECESSARY CLARIFICATION, INTERPRETATION, OR REVISION AS REQUIRED.
- IF THE CONTRACTOR DISCOVERS AN ERROR OR INCONSISTENCY AND PROCEEDS WITH WORK WITHOUT NOTIFYING THE OWNER & ARCHITECT OF ANY SUCH DISCREPANCIES, HE SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS WORK MADE NECESSARY BY HIS FAILURE TO OBSERVE AND/OR REPORT THE CONDITION.
- IF THE INTENT OF THE DRAWINGS & SPECIFICATIONS ARE UNCLEAR, THE CONTRACTOR SHALL ASK THE ARCHITECT FOR CLARIFICATION, PRIOR TO PROCEEDING WITH WORK, IN THE FORM OF A WRITTEN R.F.I. (REQUEST FOR INFORMATION). THE ARCHITECT SHALL THEN RESPOND IN WRITING TO ALL APPROPRIATE PARTIES.
- CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS, DAMAGE, FIRE, THEFT, ETC.
- WHEREVER THE TERM "OR EQUAL" IS USED, IT SHALL MEAN EQUAL PRODUCT AS APPROVED IN WRITING BY ARCHITECT.
- IF THE CONTRACTOR PROPOSES A MATERIAL OR EQUIPMENT SUBSTITUTION HE SHALL PROVIDE ALL APPROPRIATE DOCUMENTATION AND INFORMATION REQUIRED FOR THE ARCHITECT TO DETERMINE WHETHER OR NOT THE SUBSTITUTION IS EQUAL TO THE SPECIFICATION. ANY CHANGES TO THE DESIGN, AFTER ISSUANCE OF A BUILDING PERMIT, SHALL BE SUBMITTED TO THE PRESSING BUILDING AGENCY FOR APPROVAL BY THE GENERAL CONTRACTOR.
- PROJECT SHALL BE LEFT CLEANED AND POLISHED AFTER COMPLETION OF WORK.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SLOPES/SLAB DEPRESSIONS AND RAISED CURBS, ELECTRICAL AND PLUMBING STUB OUTS, AND ALL OTHER WORK UNDER THIS SCOPE OF RESPONSIBILITY RELATED TO THIS PROJECT.
- CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, UNCRATING, INSTALLATION AND HOOK-UP OF ALL OWNER FURNISHED ITEMS UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THESE DOCUMENTS, AS WELL AS SPECIFICATIONS, FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY. ALL ITEMS NOT MARKED AS OWNER SUPPLIED ARE TO BE SUPPLIED BY THE CONTRACTOR. UNLESS NOTED OTHERWISE ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.
- MINIMUM FLAME SPREAD CLASSIFICATION OF FINISHES SHALL CONFORM TO THE **NBC-2019-AE** AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.
- FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS/DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR, AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND/OR SURFACES AS REQD. UPON COMPLETION OF CONSTRUCTION, ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.
- DOCUMENTS MARKED "BID DOCUMENTS" SHALL NOT BE USED FOR CONSTRUCTION.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT WHO SHALL REVIEW THEM AND PROVIDE A NOTATION INDICATING THAT DEFERRED.
- SUBMITTAL DOCUMENTS ARE TO BE REVIEWED REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THESE SUBMITTAL ITEMS MUST THEN BE SUBMITTED TO THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTALS ARE AS FOLLOWS:
A: TRUSS DRAWINGS AND CALCULATIONS
B: EXHAUST HOOD AUTOMATIC FIRE EXTINGUISHING SYSTEM (AS REQUIRED)
C: ALARM MONITORING SYSTEM (AS REQUIRED)



#	Description	Date
Revision Schedule		



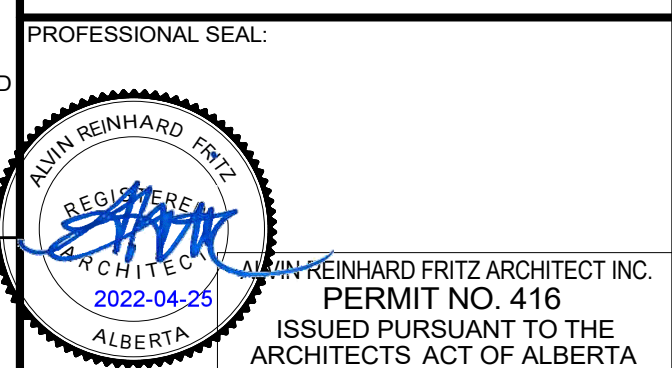
NO.	BY	DESCRIPTION	DATE
1	CAR	ISSUE FOR DEVELOPMENT PERMIT	2022 04 15

ALVIN REINHARD FRITZ ARCHITECT INC.

Norland Coach House
#10 90001 Range Road 212,
Lethbridge County, Alberta
T1J 5N9
alvinfritzarchitect.com

ph (403) 320-8100
Fax (403) 327-3373
general@alvinfritzarchitect.com

ARCHITECT



ALVIN REINHARD FRITZ ARCHITECT INC.
PERMIT NO. 416
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

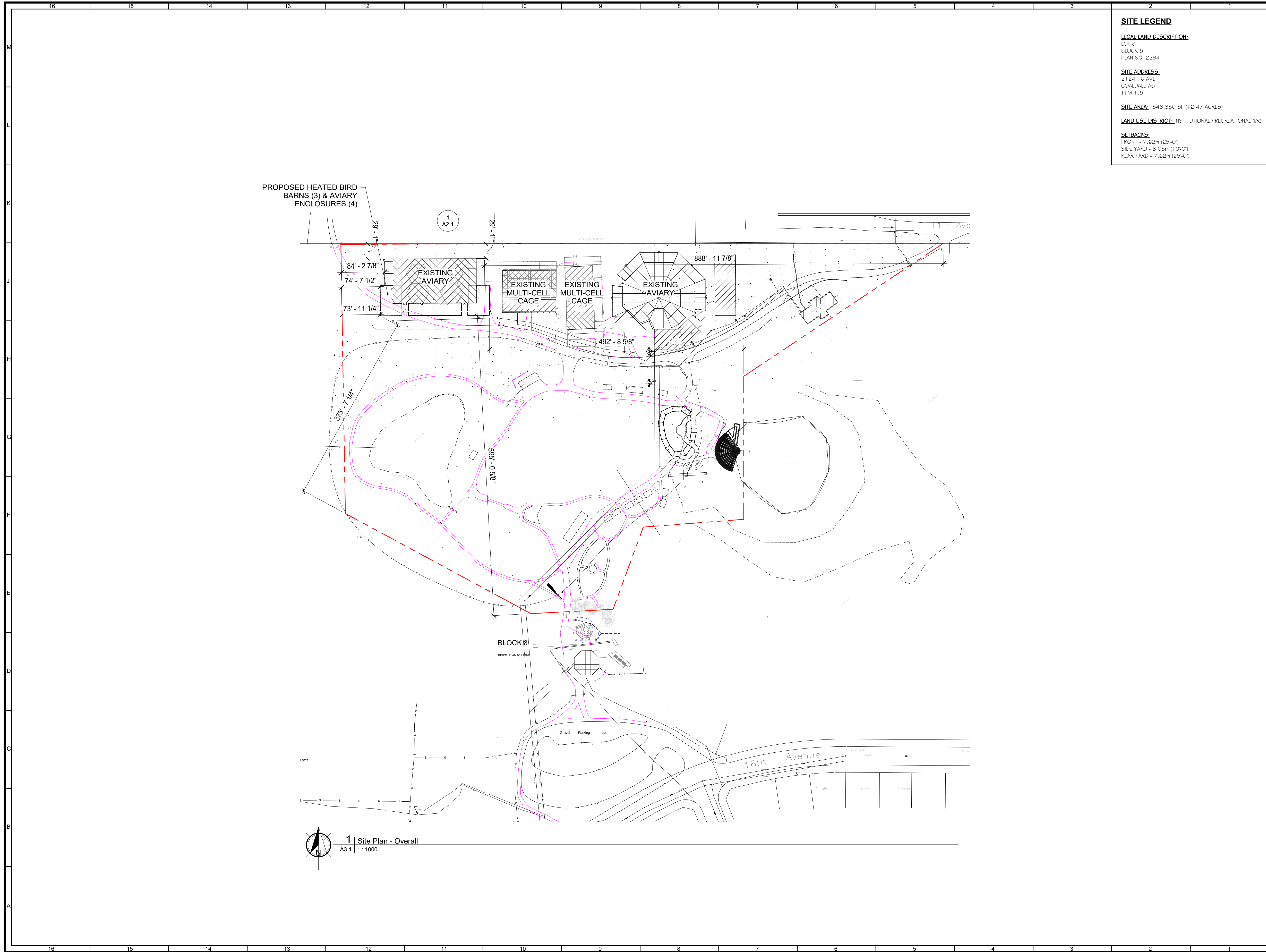
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Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately.

DRAWING TITLE:
Project Information

DRAWN BY: EVD	CHECKED BY: CAR AF
SCALE: 12" = 1'-0"	
PROJECT: 11147 CBMB	
ISSUE FOR:	DEVELOPMENT PERMIT
ISSUE DATE:	2022 04 15
REV. NO.	SHEET NO.
	A0.1

PROJECT: Aviary & Heated Bird Barn Dev.
LOCATION: Coaldales, Alberta



SITE LEGEND

LEGAL LAND DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294

SITE ADDRESS:
2124-16th AVE
COALDALE AB
T1M 1J8

SITE AREA: 543,350 SF (12.47 ACRES)

LAND USE DISTRICT: INSTITUTIONAL / RECREATIONAL (IR)

SETBACKS:
FRONT - 7.62m (25'-0")
SIDE YARD - 3.05m (10'-0")
REAR YARD - 7.62m (25'-0")

LEGAL DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294
SE 1/4 15-9-20 W4M

MUNICIPAL ADDRESS:
2124-16TH AVE
COALDALE AB
T1M 1N7



CLIENT INFORMATION:

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

NO.	BY	DESCRIPTION	DATE
1	CAR	ISSUE FOR DEVELOPMENT PERMIT	2022 04 15

Norland Coach House
#10 90001 Range Road 212,
Lothbridge County, Alberta
T1J 5N9
alvinfritzarchitect.com

ph (403) 320-8100
Fax (403) 327-3373
general@alvinfritzarchitect.com

ALVIN REINHARD FRITZ ARCHITECT INC.

PROFESSIONAL SEAL:

ALVIN REINHARD FRITZ ARCHITECT INC.
PERMIT NO. 416
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

PROJECT: Aviary & Heated Bird Barn Dev.
LOCATION: Coaldale, Alberta

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DRAWING TITLE:
Site Plan & Addition Plan

DRAWN BY: EVD
CHECKED BY: CAR AF

SCALE: As indicated

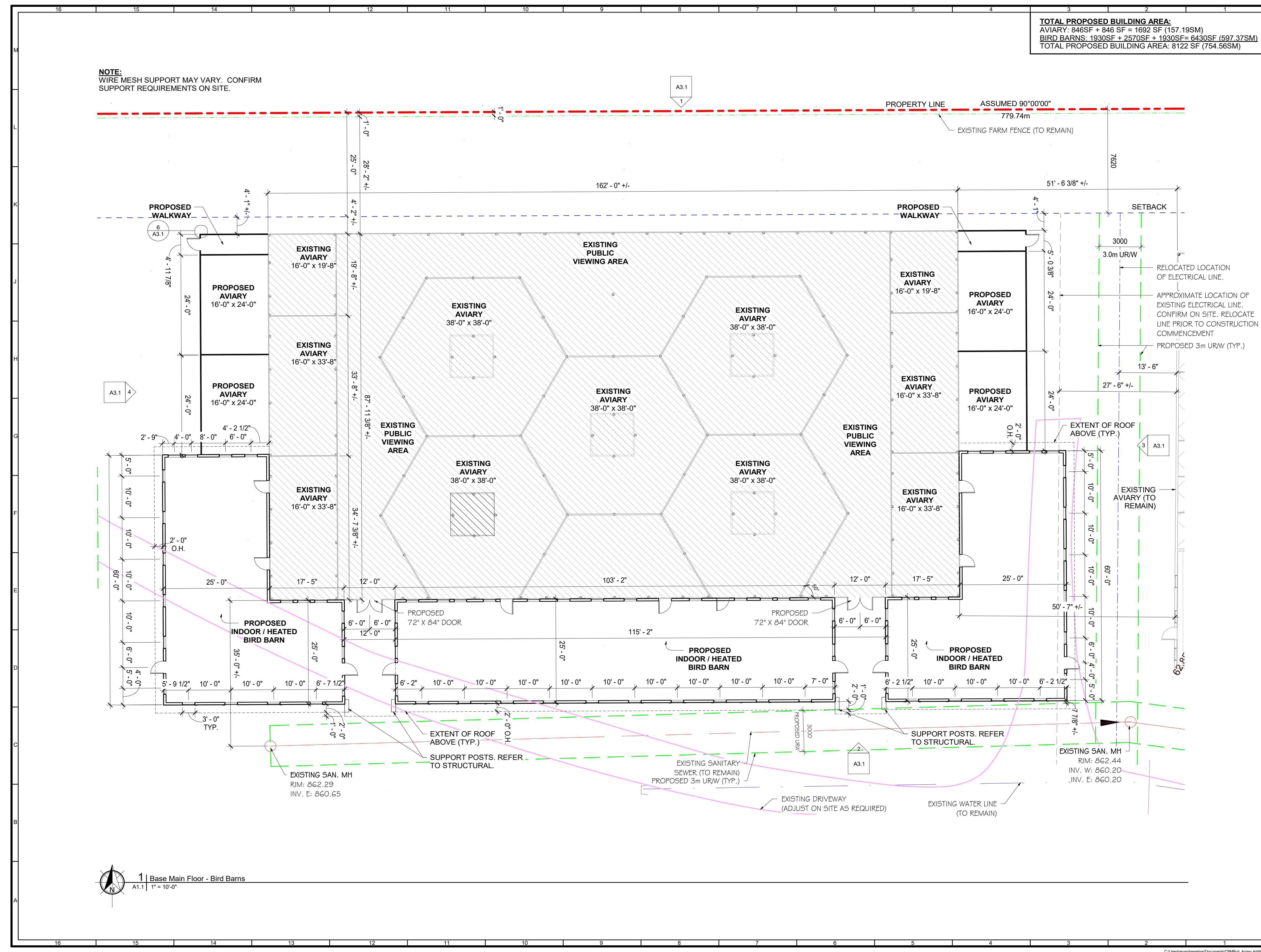
PROJECT: 11147 CBMB

ISSUE FOR: DEVELOPMENT PERMIT

ISSUE DATE: 2022 04 15

REV. NO. 1 **SHEET NO. A1.1**

C:\Users\alvin\Documents\2022\04_Aviary Addition_V01_Bird Barns_alvinfritzarchitect.com.rvt 2022-04-12 8:46:45 PM

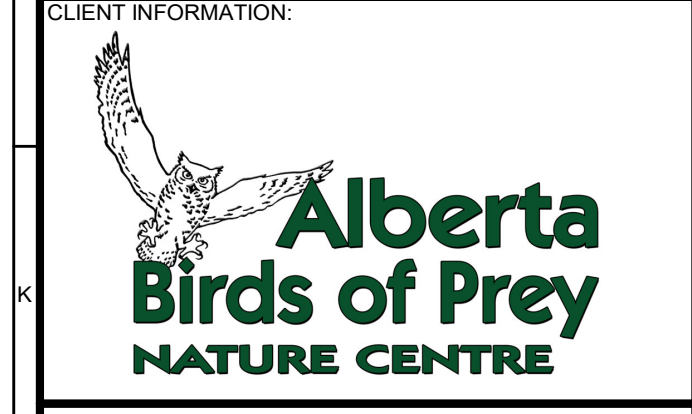


NOTE:
WIRE MESH SUPPORT MAY VARY. CONFIRM SUPPORT REQUIREMENTS ON SITE.

TOTAL PROPOSED BUILDING AREA:
AVIARY: 846SF + 846 SF = 1692 SF (157.19SM)
BIRD BARN: 1930SF + 2570SF + 1930SF = 6430SF (597.37SM)
TOTAL PROPOSED BUILDING AREA: 8122 SF (754.56SM)

LEGAL DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294
SE 1/4 15-9-20 W4M

MUNICIPAL ADDRESS:
2124-16TH AVE.
COALDALE, AB
T1M 1N7



CLIENT INFORMATION:

#	Description	Date
Revision Schedule		

CONSULTANT LOG:

NO.	BY	DESCRIPTION	DATE
1	CAR	ISSUE FOR DEVELOPMENT PERMIT	2022 04 15

ARCHITECT
ALVIN REINHARD FRITZ ARCHITECT INC.
Norland Coach House
#10 90001 Range Road 212,
Lethbridge County, Alberta
T1J 5N9
alvinfrizarchitect.com
ph (403) 320-8100
Fax (403) 327-3373
general@alvinfrizarchitect.com

PROFESSIONAL SEAL:
ALVIN REINHARD FRITZ
REGISTERED ARCHITECT
ALBERTA
ALVIN REINHARD FRITZ ARCHITECT INC.
PERMIT NO. 416
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

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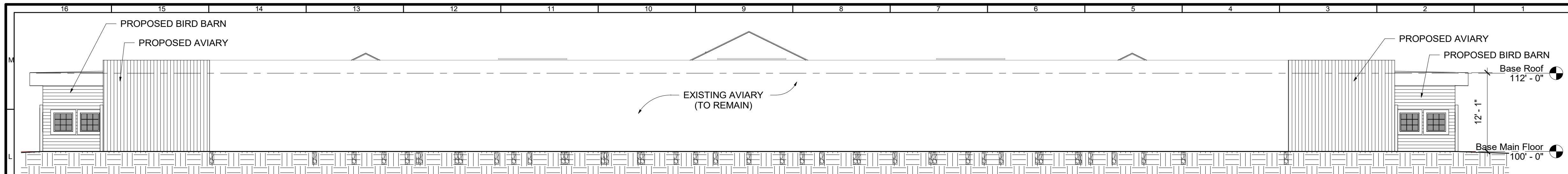
Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately.

DRAWING TITLE:
Aviary & Bird Barn Plans

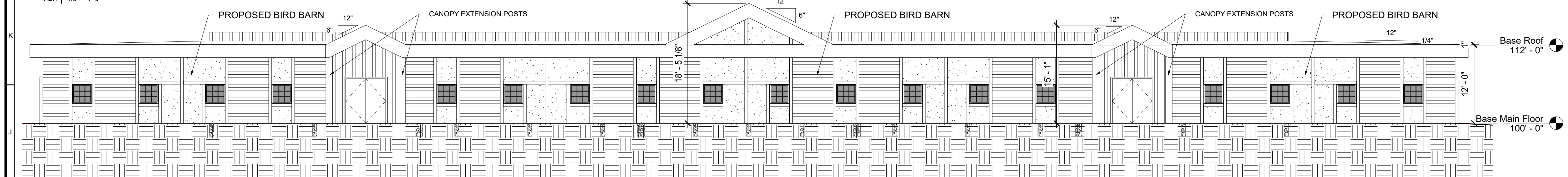
PROJECT: Aviary & Heated Bird Barn Dev.
LOCATION: Coaldale, Alberta

DRAWN BY:	CHECKED BY:
EVD	CAR AF
SCALE:	1" = 10'-0"
PROJECT:	11147 CBMB
ISSUE FOR:	DEVELOPMENT PERMIT
ISSUE DATE:	2022 04 15
REV. NO.	SHEET NO.
	A2.1

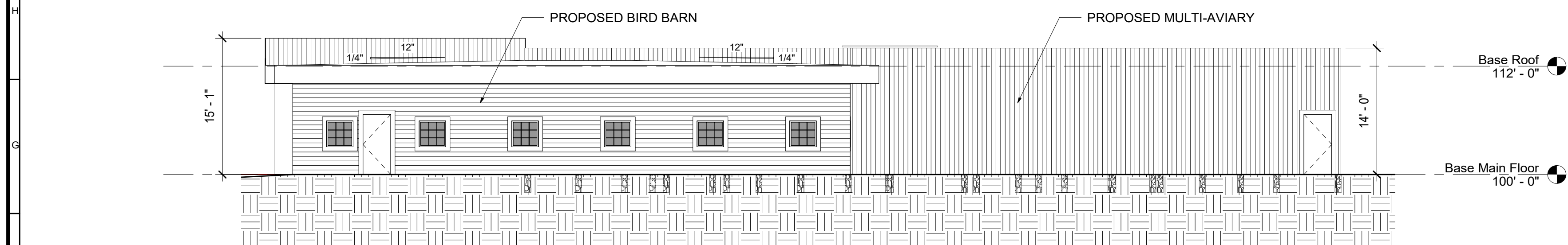
1 Base Main Floor - Bird Barns
A1.1 1" = 10'-0"



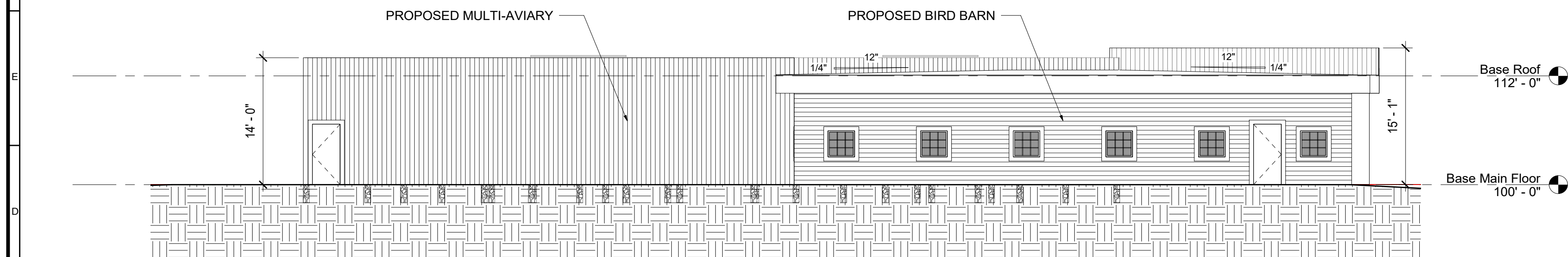
1 | North Elevation
A2.1 | 1/8" = 1'-0"



2 | South Elevation
A2.1 | 1/8" = 1'-0"



3 | East Elevation
A2.1 | 1/8" = 1'-0"



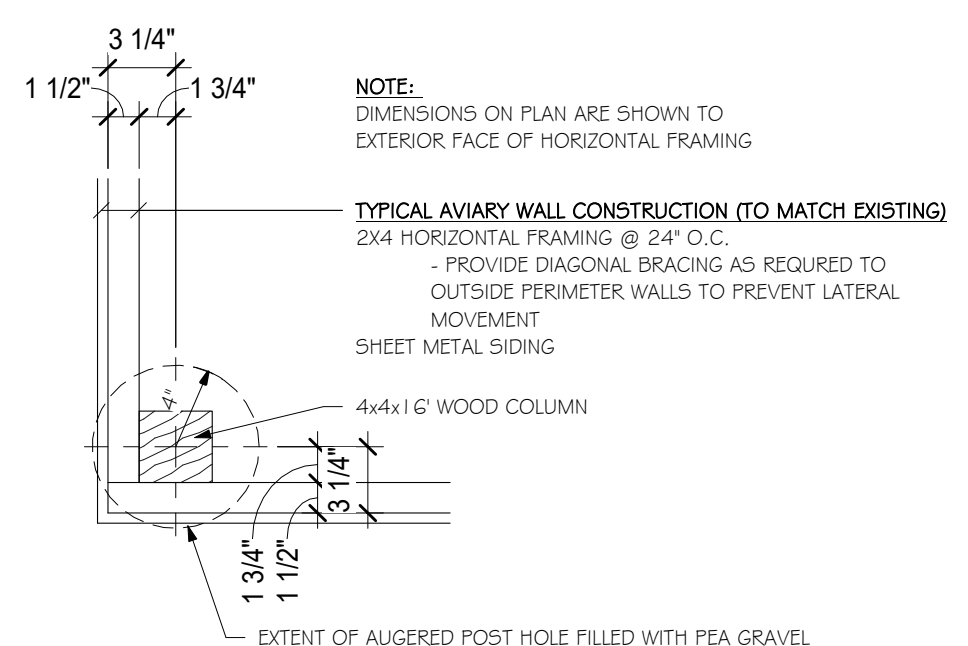
4 | West Elevation
A2.1 | 1/8" = 1'-0"

EXTERIOR FINISH LEGEND:

- METAL CLADDING - COLOR TO BE CONFIRMED BY CLIENT
- HARDIE FIBER CEMENT HORIZONTAL SIDING - COLOR TO BE CONFIRMED BY CLIENT
- HARDIE FIBER CEMENT PANEL - COLOR TO BE CONFIRMED BY CLIENT
- HARDIE FIBER CEMENT TRIM - COLOR TO BE CONFIRMED BY CLIENT

NOTE:

1. PRE-FINISHED METAL EAVESTROUGHS TO MATCH FASCIA COLOR
2. PRE-FINISHED METAL DOWNSPOUTS & FLASHINGS TO MATCH ADJACENT FINISH COLOR
3. PRE-FINISHED METAL SOFFIT TO MATCH FASCIA COLOR
4. WINDOWS - PVC - COLOR TO BE CONFIRMED BY CLIENT
5. DOORS - EXTERIOR GRADE INSULATED HOLLOW METAL - COLOR TO BE CONFIRMED BY CLIENT



6 | Aviary Enclosure Column Detail
A2.1 | 1 1/2" = 1'-0"

LEGAL DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294
SE 1/4 15-9-20 W4M

MUNICIPAL ADDRESS:
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COALDALE, AB
T1M 1N7

CLIENT INFORMATION:

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

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Norland Coach House
#10 90001 Range Road 212,
Lethbridge County, Alberta
T1J 5N9
alvinfrizarchitect.com

ph (403) 320-8100
Fax (403) 327-3373
general@alvinfrizarchitect.com

ALVIN REINHARD FRITZ ARCHITECT INC.

PROFESSIONAL SEAL:

ALVIN REINHARD FRITZ ARCHITECT INC.
PERMIT NO. 416
ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA

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DRAWING TITLE:
Building Elevations & Sections

DRAWN BY: EVD	CHECKED BY: CAR AF
SCALE: As indicated	
PROJECT: 11147 CBMB	
ISSUE FOR: DEVELOPMENT PERMIT	
ISSUE DATE: 2022 04 15	
REV. NO.	SHEET NO.
	A3.1

PROJECT: Aviary & Heated Bird Barn Dev.
LOCATION: Coaldale, Alberta

INSTITUTIONAL / RECREATIONAL – I/R



Purpose:

To provide for institutional, public and semi-public uses which are compatible with each other and with adjoining uses.

1. (A) PERMITTED USES

- Accessory building, structure or use to an approved permitted use
- Government Services
- Hospital
- Outdoor Recreation and Sports fields
- Parks and Playgrounds
- Recreation, Public
- School
- Shipping Container (temporary)
- Sign Types¹: 1A, 2, 4
- Utility, Public

(B) DISCRETIONARY USES

- Accessory building, structure or use to an approved discretionary use
- Child Care Facility
- Cemetery
- Dwellings
 - Moved-in
 - Prefabricated
- Educational Institution
- Golf Course
- Institutional Facilities or Uses
- Medical/Health Facility
- Moved-In Building
- Museum
- Recreation, Private
- Public or Religious Assembly
- Sign Types¹: 1B, 3, 5, 6, 8, 9, 10, 11, 12
- Small Wind Energy System – Type A and B²
- Utility, Private

- Notes:**
- 1 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.
 - 2 – See Schedule 4, Section 27 for definition of small wind energy system types.

(C) PROHIBITED USES

- Shipping Container (permanent)
- Sign Type 7
- *Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use*

2. MINIMUM LOT SIZE

All Uses – As required by the Designated Officer or Municipal Planning Commission.

3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
All Uses	7.62	25	3.05	10	3.05	10	7.62	25
Accessory Buildings	As required by the Designated Officer or Municipal Planning Commission							

4. MAXIMUM SITE COVERAGE

(a) **All Buildings – 50%**

Principal buildings and accessory buildings shall not occupy more than 50 percent of the surface area of any lot within this land use district.

- 5. STANDARDS OF DEVELOPMENT** – SCHEDULE 4
- 6. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS** – SCHEDULE 5
- 7. PREFABRICATED DWELLING REGULATIONS** – SCHEDULE 6
- 8. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES** – SCHEDULE 9
- 9. OFF-STREET PARKING AND LOADING REQUIREMENTS** – SCHEDULE 11
- 10. SIGN REGULATIONS** – SCHEDULE 13