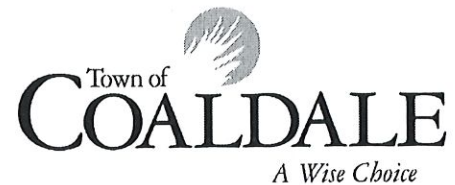


Wednesday, April 11, 2018

5:00p.m.

Town of Coaldale Council Chambers



## Municipal Planning Commission Agenda

1.0 CALL TO ORDER

2.0 ADDITIONS TO THE AGENDA

3.0 ADOPTION OF THE MINUTES

March 5, 2018 meeting

4.0 BUSINESS FROM THE MINUTES

5.0 NEW BUSINESS

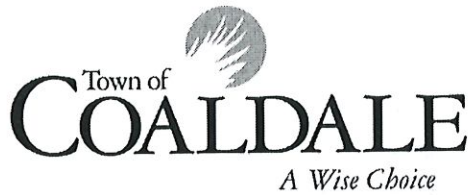
5.1 Development Application 2017-209  
Rear Yard Waiver  
2647 Elm Drive

5.2 Development Application 2018-029  
Side Yard Waiver  
91012 Range Road 203

6.0 INFORMATION ITEMS

7.0 IN-CAMERA DELIBERATIONS

8.0 ADJOURNMENT



**MUNICIPAL PLANNING COMMISSION  
WEDNESDAY, MARCH 5, 2018  
5:00 PM – COUNCIL CHAMBERS**

**PRESENT:**

|                                |                                 |
|--------------------------------|---------------------------------|
| <b>Council Members:</b>        | J, Abrey (via phone), D. Lloyd, |
| <b>Director of Planning:</b>   | S. Croil                        |
| <b>ORRSC Planning Advisor:</b> | R. Dyck                         |
| <b>Citizen Members:</b>        | J. Cortes                       |
| <b>Development Officer:</b>    | C. L'Hirondelle                 |
| <b>Gallery:</b>                |                                 |

**1.0 CALL MEETING TO ORDER:**

Chairman J. Abrey called the meeting to order at 5:04 p.m.

**2.0 ADDITIONS TO / ADOPTION OF AGENDA : No additions.**

**3.0 ADOPTION OF MINUTES:**

Municipal Planning Commission Minutes – February 14, 2018

*MOTION: J. Cortes moved to approve the February 14, 2018 minutes.*

**3-0 CARRIED**

**4.0 BUSINESS ARISING FROM MINUTES: None**

**5.0 NEW BUSINESS:**

**5.1 Subdivision Application 2018-0-023  
2701-17 Street**

R. Dyck, ORRSC Planning Advisor, outlined the subdivision application for 2701-17 Street. The purpose of the application is to take a 1.78 acre parcel out of an 11.7 acre parcel for residential use adjacent to 17 Street and within the boundaries of the South Coaldale Revised Area Structure Plan. They are taking out a mature yard site, with a dwelling and a few accessory buildings. Servicing is provided on-site, they do not have town services at this time. There is a water well and a septic field in the southeast area of the parcel. They take access to the west with the adjacent 17 Street. At 1.78 acres they meet the minimum requirements of the CR-2 Land Use District.

It was clarified that there is an existing ASP that covers the area where subject lands are situated, which was originally adopted in 1999 and updated in 2010. The details of the ASP that related to the subdivision application before the MPC were presented by R. Dyck.

It was noted that the road alignment proposed in the ASP and the proposed subdivision before the MPC were different, and that consideration should be given to the potential to lose the ability to align the road right-of-way with what the ASP shows if the MPC chose to approve the subdivision proposal as submitted. It was further clarified that a subdivision authority must align decisions with existing statutory plans as per Sec. 654 of the Municipal Government Act.

Conditions were reviewed, which included the standard condition of payment of the year's property taxes, the requirement for the applicant to provide evidence of the private septic disposal system being within the province's setback requirements, and the reduction in parcel size to allow for the road alignment as proposed in the ASP to be followed.

S. Croil indicated that with all due respect to the presentation made by R. Dyck, the road alignment as proposed in the subdivision application before the MPC should remain the same and that the condition to alter the size of the parcel to be subdivided be removed from the proposed MPC resolution. The reasons for keeping the road alignment as it was proposed in the subdivision application were discussed and included the fact that the Town is in the process of purchasing the remaining 9.92 acres of land for future consideration of uses that could include recreation or public/institutional development. It was further clarified that if such development is proposed in the future it would require an amendment to the existing ASP to ensure proposed development aligns with the statutory plan, or if the future development ended up being consistent with the residential lots proposed in the ASP, the road alignment could be adjusted by way of further subdivision and acquisition of lands.

J. Abrey questioned whether the subdivision application as proposed would meet the requirements of Sec. 654 of the MGA and R. Dyck clarified that it could be argued that way.

***MOTION: D. Lloyd moved that the Residential subdivision of Lot 2, Blk B, Plan 49FJ within SW1/4 11-9-20-W4M (Certificate of Title No. 031 206 241), to subdivide a 0.72 ha (1.78 acre) parcel from a 4.73 ha (11.7 acre) parcel for residential use; BE APPROVED subject to the following:***

***RESERVE: That the 10 per cent Municipal Reserve requirement, pursuant to Sections 666 and 669 of the Municipal Government Act, be deferred by caveat against the certificate of title for the remnant parcel, being an approximate amount of 1.17 acres, with the exact acreage to be determined at the final stage.***

**CONDITIONS:**

***1. That, pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Coaldale.***

***2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into a Development Agreement with the Town of Coaldale which shall be registered concurrently with the final plan against the title(s) being created.***

***3. That confirmation be provided, to the satisfaction of the Subdivision Authority, that the existing private sewage disposal system complies with the setback requirements in the Alberta Private Sewage Systems Standard of Practice.***

**4. That the encroaching buildings be removed, or, that an encroachment agreement is established in accordance with Section 651.2 of the Municipal Government Act.**

**REASONS:**

**1. The proposed subdivision is consistent with the South Saskatchewan Regional Plan and complies with both the Municipal Development Plan and Land Use Bylaw.**

**2. The Subdivision Authority is satisfied that the orientation of the parcel is such that a future road alignment (either as envisioned in Figure 6.0 of the South Coaldale Area Structure Plan or a slightly altered road alignment) to serve the parcel being subdivided can be provided and is not compromised by approval of the subdivision.**

**3. The Subdivision Authority is satisfied that the proposed subdivision is suitable for the purpose for which the subdivision is intended pursuant to Section 7 of the Subdivision and Development Regulation.**

**3-0 CARRIED**

**MOTION: J. Cortes moved to adjourn meeting at 5:16 p.m.**

**3-0 CARRIED**



---

CHAIR- JACEN ABREY

---

RECORDING SECRETARY- KATE BLY

## **Staff Report to the Municipal Planning Commission**

|                        |                                                       |
|------------------------|-------------------------------------------------------|
| DEVELOPMENT PERMIT #:  | 2017-209                                              |
| APPLICANT:             | Valgardson Developments                               |
| TYPE OF DEVELOPMENT:   | Single Detached Dwelling with Covered Deck            |
| CIVIC ADDRESS:         | 2647 Elm Drive                                        |
| LEGAL DESCRIPTION:     | Plan 1510170, Block 09, Lot 03                        |
| LAND USE ZONING:       | Residential – R-1A                                    |
| USE:                   | Empty Lot                                             |
| PARKING:               | 2 - 4 off-street parking                              |
| SETBACKS:              | <b>Rear Yard – 8' waiver requested (25' required)</b> |
| SIGNS:                 | N/A                                                   |
| ARCHITECTURAL CONTROLS | Approved                                              |
| OTHER                  | N/A                                                   |

### **BACKGROUND/DESCRIPTION OF APPLICATION:**

The above mentioned property currently empty. The applicant would like to construct a Single Detached Dwelling with a covered rear deck. Once a deck is covered it becomes part of the principal building and must adhere to the same setbacks.

Notice of the application was sent to adjacent properties and no concerns have been brought forward to date.

### **OPTIONS:**

The board may consider APPROVAL of Development Application (#2017-209) subject to the following recommended conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1<sup>st</sup> Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential - R-1A.
4. A person to whom a Development Permit has been issued shall notify the Designated Officer following the Stakeout of the site but prior to the commencement of construction.
5. A person to whom a Development Permit for a Single-Detached Dwelling has been issued shall provide the Designated Officer prior to construction a letter from a qualified Alberta Land Surveyor confirming

that a qualified Alberta Land Surveyor conducted the Stakeout of the site for construction.

All elevations and grades shall comply with the Lot Grading Site Plan prepared by Martin Geomatics.

6. The applicant/owner shall submit to the Town of Coaldale a soil bearing report.
7. Must obtain a competent Alberta Land Surveyor to establish the vertical grades and cuts prior to the excavation of the foundation. *(Should the building be constructed lower than design finish grade due to a failure to survey the vertical grades for the foundation as per the lot grading design it may be at risk for flooding.)*
8. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
9. Developer/builder/applicant/owner shall comply with the Architectural Control Guidelines in COTTONWOOD ESTATES
10. All homes in are required to drain their weeping tiles to the storm sewer system via a sump pump.
11. The connection of weeping tile foundation drainage systems to the sanitary sewer services in this development is **STRICTLY PROHIBITED**.
12. Ensure water does not drain into neighbouring properties.
13. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.
14. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighborhood.

**The board may consider REFUSAL of Development Application (#2017-209).**

---

Respectfully Submitted:

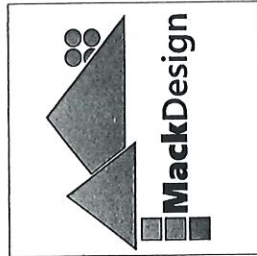


Cindy L'Hirondelle  
Manager of Development & Environmental Services

**ATTACHED FILES:**

- Site Plan
- Notice to Neighbouring Property Owners
- Building Plans

PRIME  
CONSULTANT



Specializing In:

- Custom Residential Plans
- Additions & Renovations

Contact:

Rich 403-315-5068  
richjamesmack@gmail.com

See Us @  
**mackdesign.ca**  
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DWG. Reference #: **026-17**

DWG. Status: CONSTRUCTION DRAWING

Paper Size: 11" x 17" PAPER

Client: VALGARDSON DEVELOPMENTS

Address: 2647 ELM DRIVE  
COALDALE, AB.

Project Description: SINGLE FAMILY DWELLING

Classification: GROUP C - RESIDENTIAL OCCUPANCIES

Number of Stories: MODIFIED BI-LEVEL

Access: FACING 1 ACCESS ROUTE

Construction: COMBUSTIBLE & NONCOMBUSTIBLE

Sprinklers: UNSPRINKLERED

Page Index: ARCHITECTURAL DRAWINGS

|    |                                     |
|----|-------------------------------------|
| 1  | COVER PAGE                          |
| 2  | SITE PLAN                           |
| 3  | FOUNDATION PLAN                     |
| 4  | LOWER FLOOR PLAN                    |
| 5  | MAIN FLOOR LEVEL                    |
| 6  | UPPER FLOOR LEVEL                   |
| 7  | EXTERIOR ELEVATIONS                 |
| 8  | EXTERIOR ELEVATIONS                 |
| 9  | CROSS SECTIONS                      |
| 10 | CROSS SECTIONS                      |
| 11 | CROSS SECTION WALL DETAILS          |
| 12 | ENERGY EFFICIENCY, FLASHING & NOTES |
| 13 | SPECIFICATIONS                      |
| 14 | OPENINGS, WINDOWS, STAIRS, DOORS    |
| 15 | TALL WALLS                          |
| 16 | LOWER FLOOR LEVEL ELECTRICAL LAYOUT |
| 17 | MAIN FLOOR LEVEL ELECTRICAL LAYOUT  |
| 18 | UPPER FLOOR LEVEL ELECTRICAL LAYOUT |

DATE REVISIONS / NOTES

DWG. Status Log: NOV. 23, 2017 ISSUED FOR PERMITS

GENERAL  
CONTRACTOR



General and Sub Contracting

Joe 403-635-0155

Scott 403-634-3042

Fax 403-331-3211

Any Duplication in Whole or Part  
is Strictly Prohibited.

DWG. Status: CONSTRUCTION DRAWING

Paper Size: 11" x 17" PAPER

Model: MODIFIED BI-LEVEL

Project Address: 2647 ELM DRIVE  
COALDALE, AB.

Date: NOV. 23, 2017  
Page No: 026-17  
Sheet Title: COVER SHEET  
Sheet No: 1

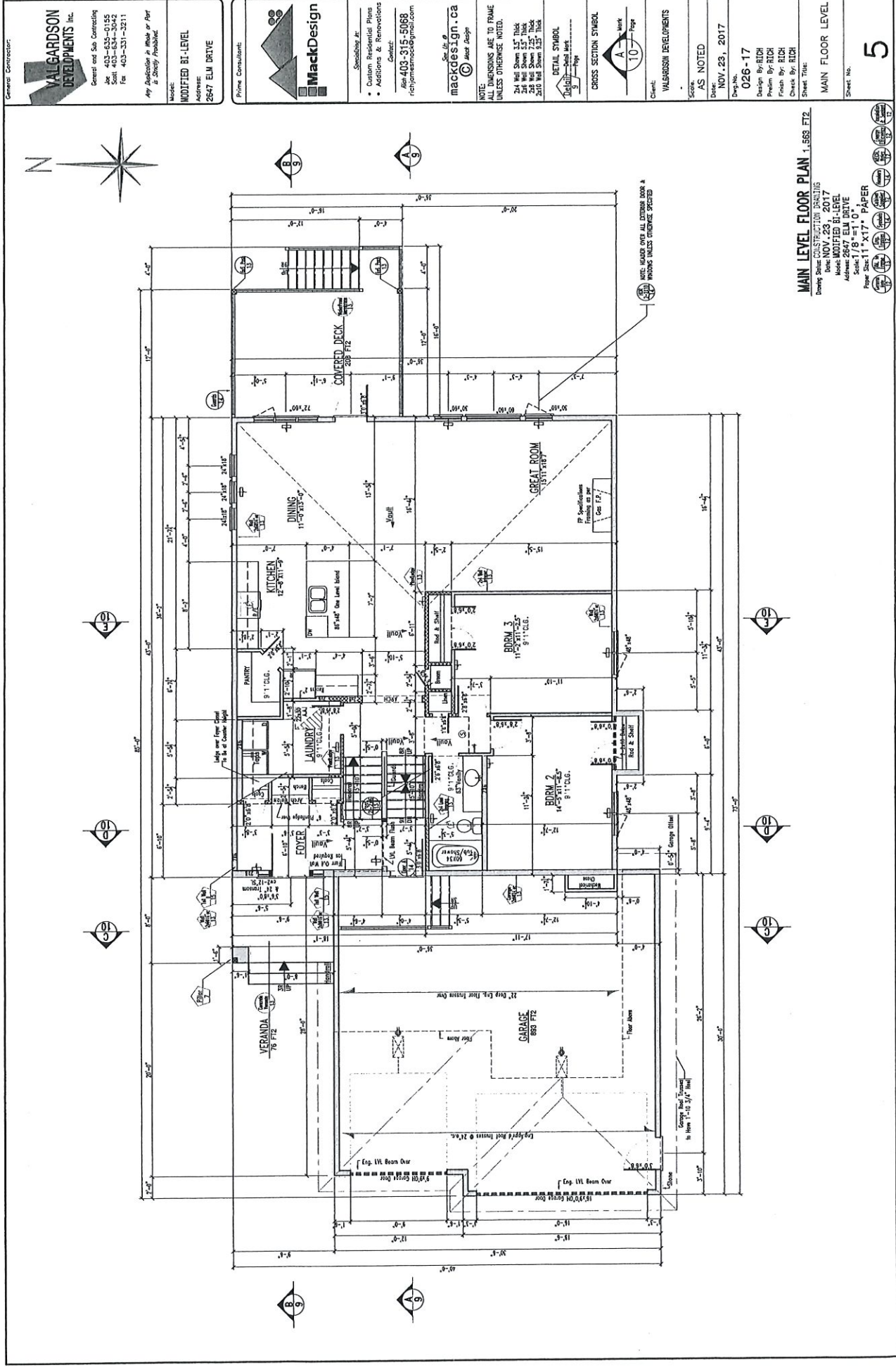


The drawing is a detailed ICF Foundation Plan for a building. It shows a rectangular layout with various dimensions and structural details. Key features include:

- Dimensions:** Overall dimensions are 30'-0" by 45'-0". Internal dimensions for walls and openings are provided throughout the plan.
- Wall Types:** Different wall types are indicated by hatching and labels: "8\" ICF Wall", "12\" ICF Wall", "16\" ICF Wall", and "24\" ICF Wall".
- Structural Details:** The plan shows the placement of reinforcement bars (rebar) and the layout of the foundation walls. Notes specify the use of "1/2\" rebar" and "1/4\" rebar" for certain walls.
- Notes:** Several notes are present, including:
  - "1/2\" rebar shall be placed at 1/4\" of concrete floor for exterior door frames and garage door frames unless otherwise specified."
  - "Exterior door frames shall be placed at 1/4\" of concrete floor for exterior door frames unless otherwise specified."
  - "Exterior door frames shall be placed at 1/4\" of concrete floor for exterior door frames unless otherwise specified."
- Orientation:** A north arrow is located in the top right corner, pointing towards the top of the page.
- Scale:** The scale is indicated as "1/4\" = 1'-0\"".

The drawing is a technical drawing of a foundation plan, showing the layout of the foundation walls and the placement of reinforcement bars. It includes dimensions, wall types, and structural notes.





General Contractor:  
**VALGARDSON DEVELOPMENTS Inc.**  
General and Sub Contracting  
Tel: 403-635-0155  
Fax: 403-635-0155  
Fax: 403-331-3211  
Any Application in Whole or Part is Strictly Prohibited.

Model:  
**MODIFIED BI-LEVEL**  
Address:  
**2547 ELM DRIVE**

Prime Consultant:  
**MackDesign**  
Specializing in:  
• Custom Residential Plans  
• Additions & Renovations  
Contact:  
Arlene 403-315-5068  
rich@macdesign.ca

Scale: 1/8" = 1'-0"  
**macdesign.ca**  
Architect  
NOTE:  
ALL DIMENSIONS ARE TO FRAME UNLESS OTHERWISE NOTED.  
2x4 Wall Sawn 1.5" Thick  
2x6 Wall Sawn 1.5" Thick  
2x8 Wall Sawn 1.5" Thick  
2x10 Wall Sawn 1.5" Thick  
2x12 Wall Sawn 1.5" Thick

DETAIL SYMBOL  
1/8" = 1'-0"  
1/4" = 1'-0"  
1/2" = 1'-0"  
3/4" = 1'-0"  
1" = 1'-0"  
1 1/2" = 1'-0"  
2" = 1'-0"  
3" = 1'-0"  
4" = 1'-0"  
6" = 1'-0"  
8" = 1'-0"  
12" = 1'-0"  
18" = 1'-0"  
24" = 1'-0"  
36" = 1'-0"  
48" = 1'-0"  
60" = 1'-0"  
72" = 1'-0"  
84" = 1'-0"  
96" = 1'-0"  
108" = 1'-0"  
120" = 1'-0"

CROSS SECTION SYMBOL  
A-A  
B-B  
1/8" = 1'-0"  
1/4" = 1'-0"  
1/2" = 1'-0"  
3/4" = 1'-0"  
1" = 1'-0"  
1 1/2" = 1'-0"  
2" = 1'-0"  
3" = 1'-0"  
4" = 1'-0"  
6" = 1'-0"  
8" = 1'-0"  
12" = 1'-0"  
18" = 1'-0"  
24" = 1'-0"  
36" = 1'-0"  
48" = 1'-0"  
60" = 1'-0"  
72" = 1'-0"  
84" = 1'-0"  
96" = 1'-0"  
108" = 1'-0"  
120" = 1'-0"

Client:  
VALGARDSON DEVELOPMENTS

Scale:  
AS NOTED

Date:  
NOV. 23, 2017

Drawn By:  
026-17

Design By:  
RICH

Prime By:  
RICH

Check By:  
RICH

Sheet Title:  
**MAIN FLOOR PLAN 1,565 FT<sup>2</sup>**

MAIN FLOOR LEVEL

Sheet No.  
**5**

**MAIN LEVEL FLOOR PLAN 1,565 FT<sup>2</sup>**  
Drawing Since Construction Drawing  
Date: NOV. 23, 2017  
Model: MODIFIED BI-LEVEL  
Address: 2547 ELM DRIVE  
Scale: 1/8" = 1'-0"  
Paper Size: 11" x 17" PAPER

General Contractor:

**VAL GARDSON DEVELOPMENTS INC.**

General and Sub Contracting  
 Job: 403-635-0155  
 Cell: 403-635-0155  
 Fax: 403-331-3212

Any Discrepancy in Words or Print  
 at Drawing Prevalent

Model:  
**MODIFIED B1-LEVEL**  
 ADDRESS:  
**2647 ELM DRIVE**

Prime Consultant:

**MackDesign**

Specializing in:  
 • Custom Residential Plans  
 • Additions & Renovations

Contact:  
 Ann 403-315-5068  
 rich@mackdesign.com

See Us @  
**mackdesign.ca**  
 Mack Design

NOTE:  
 ALL DIMENSIONS ARE TO FRAME  
 UNLESS OTHERWISE NOTED.

2x4 Wall Shown 1.5" Thick  
 2x6 Wall Shown 1.5" Thick  
 2x8 Wall Shown 1.5" Thick  
 2x10 Wall Shown 1.5" Thick

DETAIL SYMBOL  
 1/8" = 1'-0"

CROSS SECTION SYMBOL  
 A-A  
 1/8" = 1'-0"

Client:  
 VAL GARDSON DEVELOPMENTS

Scale:  
 AS NOTED

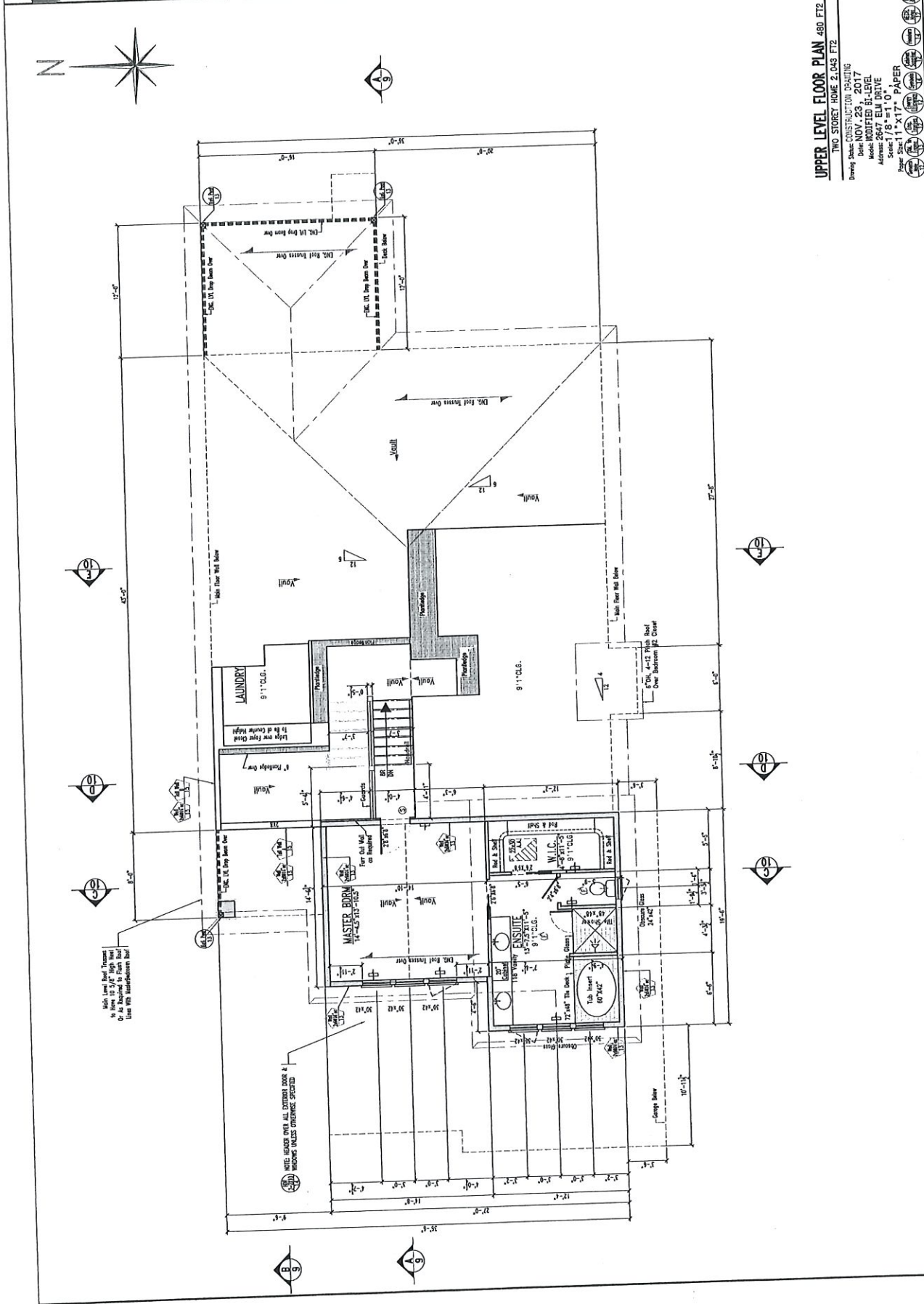
Date:  
 NOV. 23, 2017

Drawing:  
**026-17**

Design By: RICH  
 Project By: RICH  
 Check By: RICH

Sheet Title:  
**UPPER FLOOR LEVEL**

Sheet No.  
**6**



**UPPER LEVEL FLOOR PLAN 480 FT2**

TWO STORE HOME 2,043 FT2

Drawing Date: CONSTRUCTION SETTING  
 Date: NOV. 23, 2017  
 Model: MODIFIED B1-LEVEL  
 Address: 2647 ELM DRIVE  
 Scale: 1/8" = 1'-0"

Paper Size: 11" x 17" PAPER



General Contractor:

**VAL GARDSON DEVELOPMENTS INC.**

General and Sub Contracting

Joe 403-635-0155

Scott 403-635-0152

Fax 403-331-3211

*Any Addition is Made or Part is Being Removed*

Model:

**MODIFIED 81-LEVEL**

Address:

**2547 ELM DRIVE**

Prime Consultant:

**MackDesign**

Specialty: FR

• Custom Residential Plans

• Additions & Renovations

Contact:

Joe 403-915-5068

relg@mackdesign.ca

See: *1/2" @ 1/8"*

**mackdesign.ca**

*Mack Design*

NOTE:

ALL DIMENSIONS ARE TO FRAME UNLESS OTHERWISE NOTED.

2x4 Wall Studs 15" Thick

2x6 Wall Studs 15" Thick

2x8 Wall Studs 15" Thick

2x10 Wall Studs 15" Thick

DETAIL SYMBOL

1/2" Wall Stud 15" Thick

1/2" Wall Stud 15" Thick

1/2" Wall Stud 15" Thick

1/2" Wall Stud 15" Thick

CROSS SECTION SYMBOL

1/2" Wall Stud 15" Thick

1/2" Wall Stud 15" Thick

1/2" Wall Stud 15" Thick

1/2" Wall Stud 15" Thick

Client:

VAL GARDSON DEVELOPMENTS

Scale:

AS NOTED

Date:

NOV. 23, 2017

Drawn By:

026-17

Design By:

RELIG

Finish By:

RELIG

Check By:

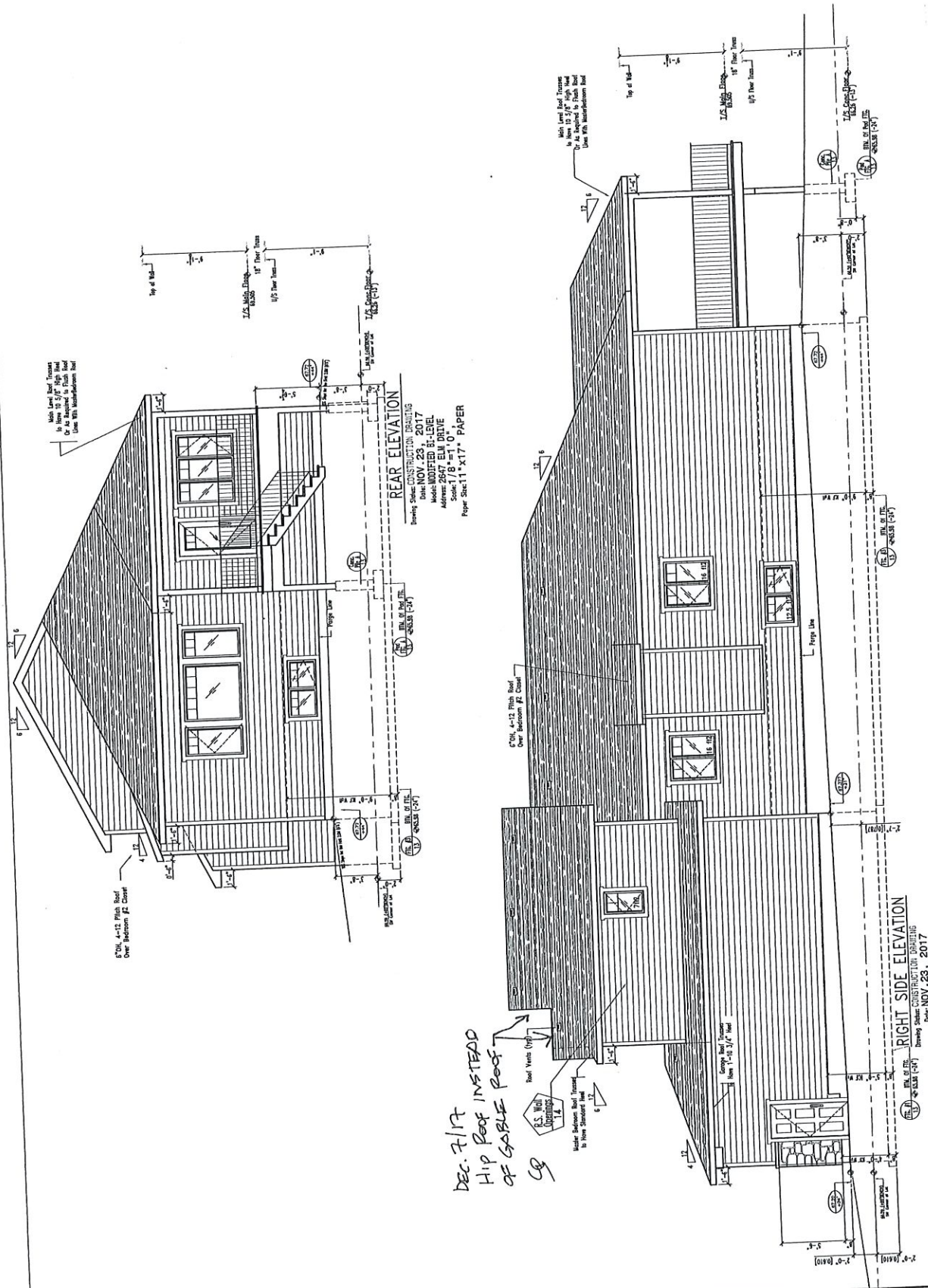
RELIG

Sheet Title:

EXTERIOR ELEVATIONS

Sheet No.

8



DEC. 7/17  
HIP ROOF INSTEAD  
OF GABLE ROOF  
SG

**RIGHT SIDE ELEVATION**

Drawing: Exterior Construction Drawings

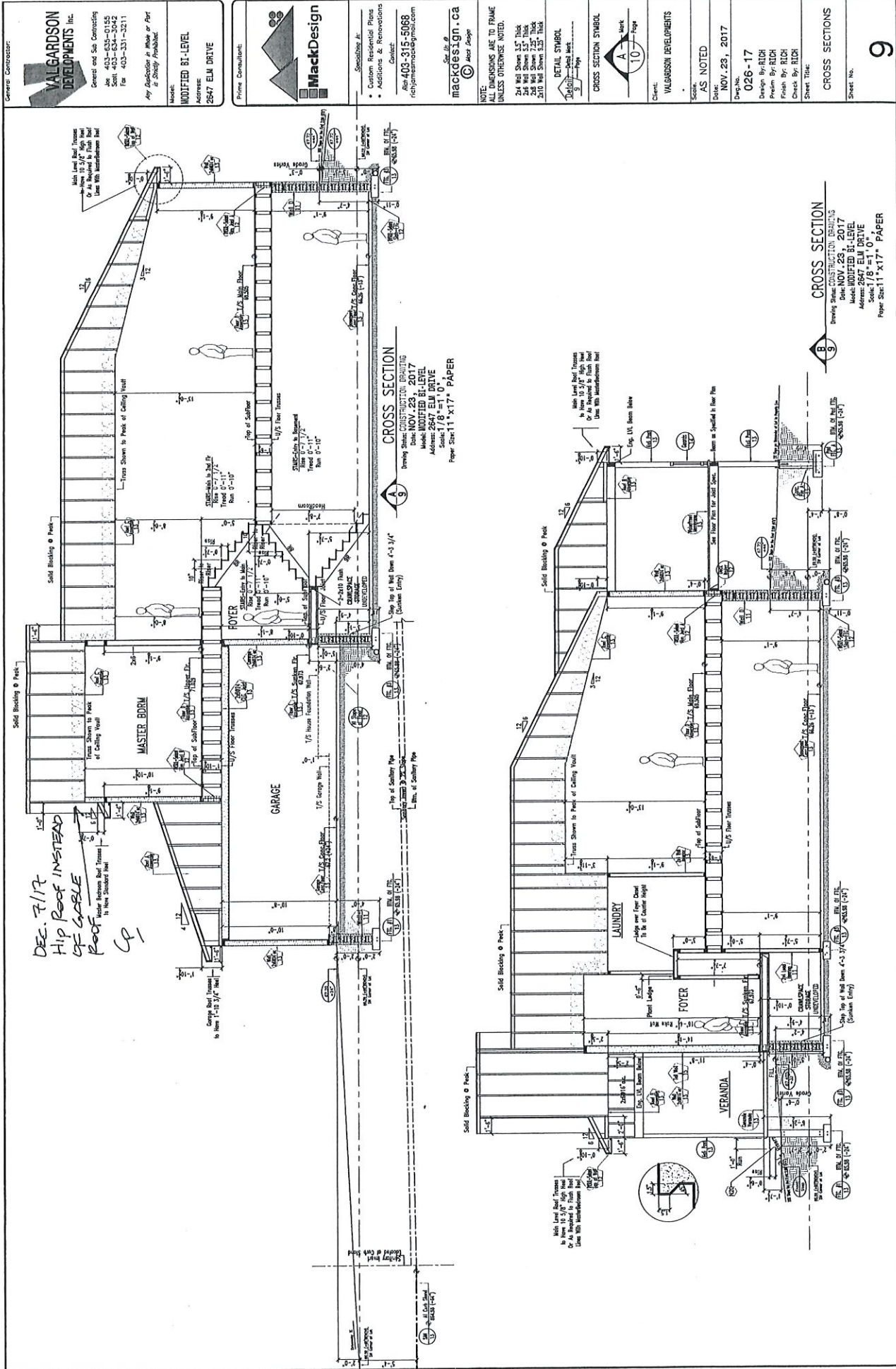
Date: NOV. 23, 2017

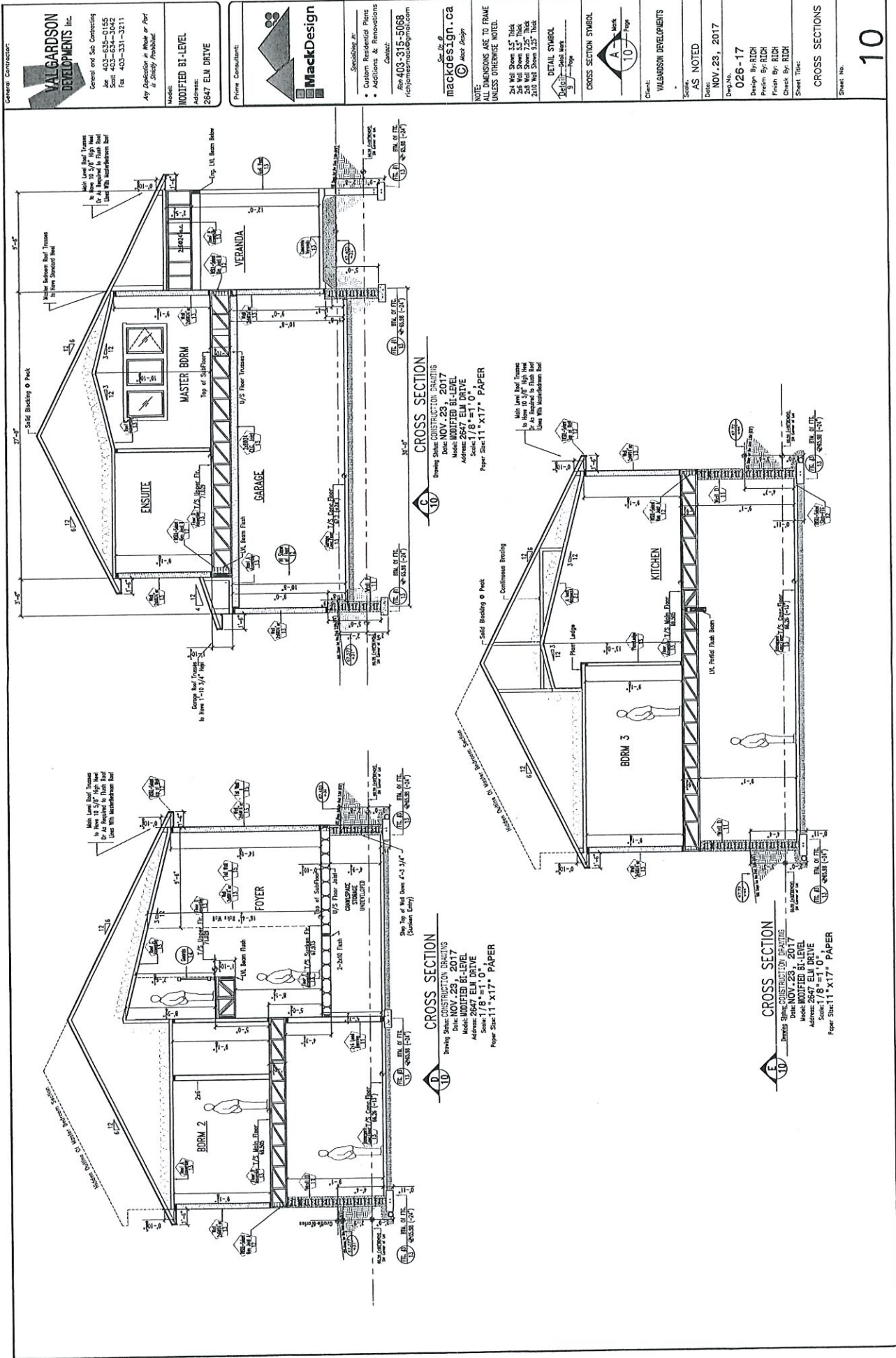
Model: MODIFIED 81-LEVEL

Address: 2547 ELM DRIVE

Scale: 1/8" = 1'-0"

Sheet: 11 of 17













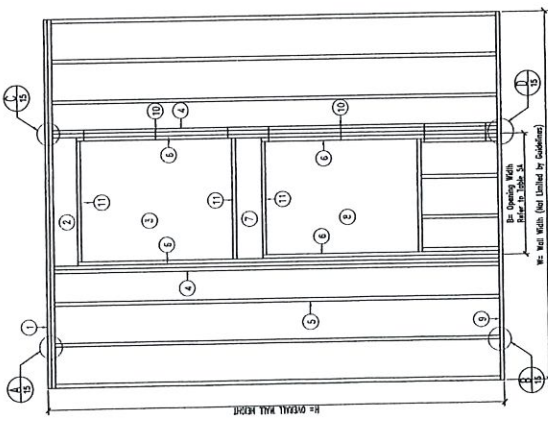


Figure X-FULL HEIGHT STUDS WALL FRAMING  
NOTE: WALL FRAMING EXAMPLE FIGURE X IS FOR ILLUSTRATION PURPOSES ONLY.  
REFER TO ARCHITECTURAL DRAWINGS FOR NUMBER & LOCATION OF STACKED WINDOWS (WHERE APPLICABLE)

### KEY NOTES FOR FIGURE X

- Double Wall Top Plates in Match Stud Size
- Upper Lintel Supporting Roof Load Size as Per Part 8 of Lateral ASD
- Upper Wall Opening (If Any), Maximum Stack Opening Width is Limited to 10'-0" (Typical) (From 5A) Size of All Openings in Wall Studs and Lateral 75% of the Wall Width, Maximum Height of Opening is 10'-0" Per Window
- Full Height Joints Members Each Side of Opening, Refer to Table 5A for Requirements
- Full Height Studs, Refer to Tables 5A and 5B for Size and Spacing
- Cripple Studs in 1/2 Lintel (If Any), For Stacked Walls Match Through in Bottom Plate
- Lower Lintel for Upper Window Support
- Lower Opening (If Any), Maximum Height of Opening is 10'-0"
- Single Wall Bottom Plate to Match Stud Size
- (2) -1/2" Square Studs 3" Above or Below Each Horizontal Plate Location, 6" From Top and Bottom and at Maximum 48" o/c (Typical)
- Plates for Openings, Refer to Tables 5B, 5C and 5D for Requirements. Maximum Vertical Height is 5'-0" (Typical), Maximum 10'-0" High Studs or Openings

### AHIC GUIDELINES FOR THE CONSTRUCTION OF RESIDENTIAL TALL WALLS REVISED JANUARY 2016

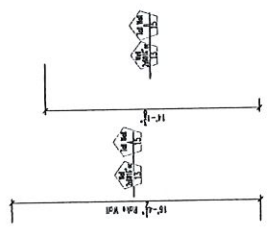
| TABLE 1- CLIMATE DATA |                              |
|-----------------------|------------------------------|
| LOCATION              | WIND (GSD MPH) SNOW (GSD IN) |
| Lethbridge            | 0.66 1.2                     |

| TABLE 2- WIND EXPOSURE COEFFICIENT (Ce)                                                                  |     |
|----------------------------------------------------------------------------------------------------------|-----|
| OPEN TERRAIN - Rural Areas with Scattered Buildings, Trees, or Other Obstructions, Shorter than 100 Feet | 0.9 |
| ROUGH TERRAIN - Urban Areas with Buildings, Trees, or Other Obstructions, taller than 100 Feet           | 0.7 |

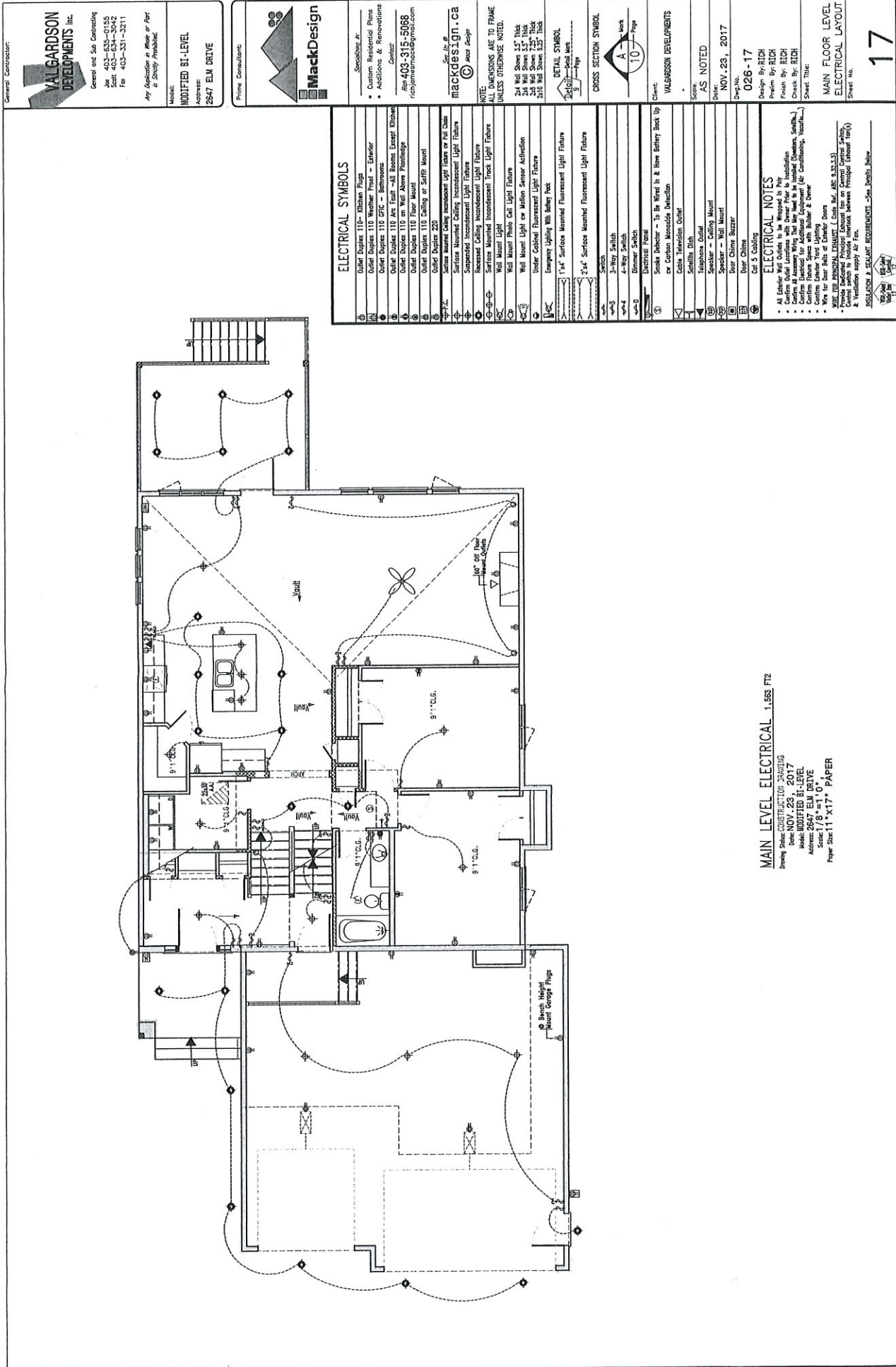
  

| TABLE 3 - CONNECTION TYPES                                                                                 |  |
|------------------------------------------------------------------------------------------------------------|--|
| TYPE A - End Nailing                                                                                       |  |
| TYPE B - Framing Clip Required                                                                             |  |
| Note: For Wall Height Greater than 20'-0", Use Structural Composite Lumber (LVL) State of Some Dimensions. |  |



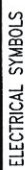
| TABLE 3B- MAXIMUM WALL HEIGHT FOR FULL HEIGHT STUDS                                   |           |         |                                                                    |        |        |
|---------------------------------------------------------------------------------------|-----------|---------|--------------------------------------------------------------------|--------|--------|
| TALL WALL MARK                                                                        | STUD SIZE | SPACING | ROUGH TERRAIN (UGRA) = CA 7 <sup>2</sup><br>CA WIND PRESSURE (psf) |        |        |
|                                                                                       |           |         | 15.5                                                               | 17.0   | 18.5   |
|  | 2x6       | 16"     |                                                                    | 14'-6" |        |
|                                                                                       | 2x8       | 16"     |                                                                    |        | 10'-2" |

[illegible]



MAIN LEVEL ELECTRICAL 1.553 FT2  
Drawing Status: CONSTRUCTION DRAWING  
Date: NOV. 23, 2017  
Model: MODIFIED B1-LEVEL  
Address: 2547 ELM DRIVE  
Scale: 1/8" = 1'-0"  
Paper Size: 11 X 17" PAPER

| ELECTRICAL SYMBOLS |                                                            |
|--------------------|------------------------------------------------------------|
| 1                  | Outlet Duplex 110 - Kitchen Plug                           |
| 2                  | Outlet Duplex 110 Weather Proof - Exterior                 |
| 3                  | Outlet Duplex 110 GFC - Bathrooms                          |
| 4                  | Outlet Duplex 110 Arc Fault - All Rooms Except Bathrooms   |
| 5                  | Outlet Duplex 110 on Wall Above Porchledge                 |
| 6                  | Outlet Duplex 110 Floor Mount                              |
| 7                  | Outlet Duplex 110 Ceiling or Soffit Mount                  |
| 8                  | Outlet Duplex 220                                          |
| 9                  | Surface Mount Ceiling Mounting Light Fixture or Wall Mount |
| 10                 | Surface Mount Ceiling Mounting Light Fixture               |
| 11                 | Surface Mount Ceiling Mounting Light Fixture               |
| 12                 | Surface Mount Ceiling Mounting Light Fixture               |
| 13                 | Surface Mount Ceiling Mounting Light Fixture               |
| 14                 | Surface Mount Ceiling Mounting Light Fixture               |
| 15                 | Surface Mount Ceiling Mounting Light Fixture               |
| 16                 | Surface Mount Ceiling Mounting Light Fixture               |
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**INSULATION & SEALANT REQUIREMENTS - See Detail Below**

100% - 100%  
Output Line

18

UPPER LEVEL ELECTRICAL 480 ET2



March 27, 2018

**TO:** NEIGHBOURING PROPERTY OWNERS

**RE:** DEVELOPMENT APPLICATION 2017-201

**APPLICANT:** VALGARDSON DEVELOPMENTS

**ADDRESS:** 2647 ELM DRIVE, COALDALE, ALBERTA  
PLAN 1510170, BLOCK 9, LOT 3

**ZONING:** RESIDENTIAL - R-1A

---

Dear Sir/Madam,

We are in receipt of Development Application #2017-201, for an Single-Detached Dwelling with a covered deck. The requested rear yard waiver is 8' (2.44m), the Single Detached Dwelling would be located 17' (5.18m) from the rear property line. The required setback is 25' (7.62m).

The Town of Coaldale Land-Use Bylaw states that any waiver greater than 10% shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

The full agenda will be posted on our website by April 4, 2018 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>

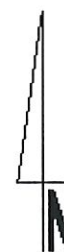
Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, April 11, 2018, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2017-201) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 - 17 Street Coaldale, Alberta.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Friday, April 6, 2018 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to [buildingcoaldale@coaldale.ca](mailto:buildingcoaldale@coaldale.ca). Please note that all submissions will be made public.

Sincerely,

Cindy L'Hirondelle  
Manager of Development & Environmental Services

cc. Applicant



## Staff Report to the Municipal Planning Commission

|                        |                                                                 |
|------------------------|-----------------------------------------------------------------|
| DEVELOPMENT PERMIT #:  | 2018-029                                                        |
| APPLICANT:             | Bev & Fred Thomson                                              |
| TYPE OF DEVELOPMENT:   | Addition to existing Single Detached Dwelling & Attached Garage |
| CIVIC ADDRESS:         | 91012 Range Road 203                                            |
| LEGAL DESCRIPTION:     | Plan 9310200, Block 1, Lot 4                                    |
| LAND USE ZONING:       | Urban Reserve - UR                                              |
| USE:                   | Single Detached Dwelling & Accessory Structures                 |
| PARKING:               | N/A                                                             |
| SETBACKS:              | <b>Side Yard – 43' waiver requested (100' required)</b>         |
| SIGNS:                 | N/A                                                             |
| ARCHITECTURAL CONTROLS | N/A                                                             |
| OTHER                  | N/A                                                             |

### BACKGROUND/DESCRIPTION OF APPLICATION:

The above mentioned property currently has a Single Detached Dwelling and Accessory Structures located on it. The applicant is requesting that the addition on the south east side of the residence be located 57' (17 meters) away from the canal Right of Way edge. The setback requirement is for any development to be located 100' (30.5 meters) from the Right of Way of any irrigation canal that serves any downstream users. These requirements are set out in Lethbridge County's Land Use Bylaw which is used for this parcel of land due to the town just acquiring it in the annexation process.

Notice of the application was sent to adjacent properties and no concerns have been brought forward to date.

### OPTIONS:

The board may consider APPROVAL of Development Application (#2018-029) subject to the following recommended conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1<sup>st</sup> Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Urban Reserve - UR
4. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
5. For safe work-site purposes, it is recommended that the properties address be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.

6. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighbourhood. Any damage that may occur to the laneway during construction MUST be fixed by the applicant at their cost.

**The board may consider REFUSAL of Development Application (#2018-029).**

---

Respectfully Submitted:

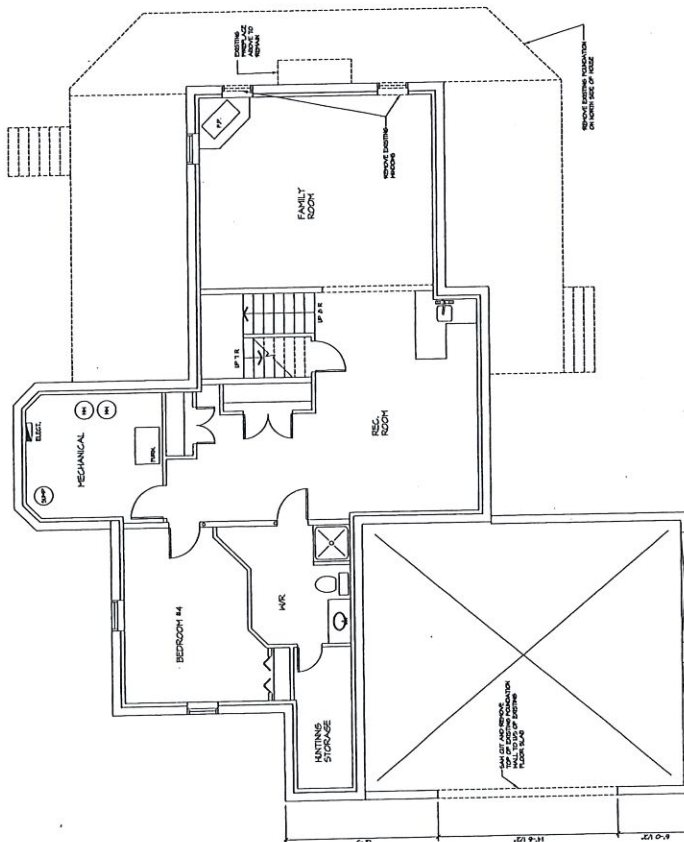
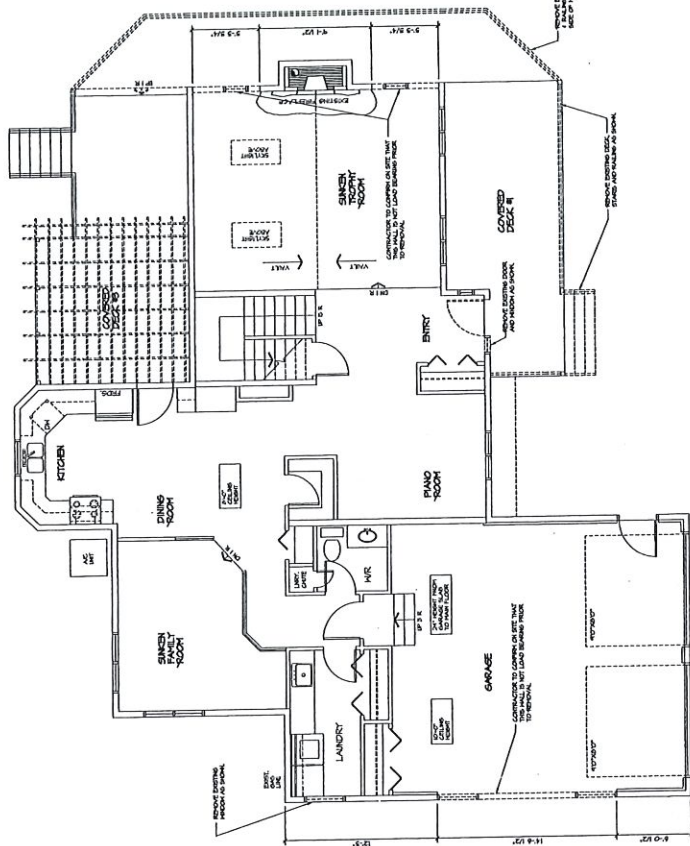


Cindy L'Hirondelle  
Manager of Development & Environmental Services

**ATTACHED FILES:**

- Site Plan
- Notice to Neighbouring Property Owners
- Building Plans



REVISIONS  
CONSULTANT

## CONSULTANTS



**DOUGLAS J. BERGEN  
& ASSOCIATES LTD.**  
ARCHITECTURAL TECHNOLOGY

THE CONSTRUCTION SHALL VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE OFFICE OF ANY DISCREPANCY OR DISCREPANCY BEFORE ANY WORK IS DONE. THE OFFICE OF ANY DISCREPANCY OR DISCREPANCY BEFORE ANY WORK IS DONE. THE OFFICE OF ANY DISCREPANCY OR DISCREPANCY BEFORE ANY WORK IS DONE.

LEITHORP COUNTY, AS

CLIENT

**DRAWING TITLE**  
**DEMOLITION PLANS**

**NOTES**

1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND STRUCTURE OF EXISTING WALLS PRIOR TO CONSTRUCTION / REPAIR.
2. CONTRACTOR TO PATCH AND MAKE GOOD ALL SURFACES TO REMAIN READY FOR PAINT.

**LEGEND**

===== EXISTING WALLS TO BE REMOVED  
===== EXISTING WALLS TO REMAIN

DATE JANUARY 2003  
PROJECT NO. 4881  
SCALE AS SHOWN  
DRAWN BY  
PLOTTED -  
CADD FILE 4881.J2003  
SHEET NO. AI

**NOTES**

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**LEGEND**

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**LEGEND**

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**NOTES**

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**LEGEND**

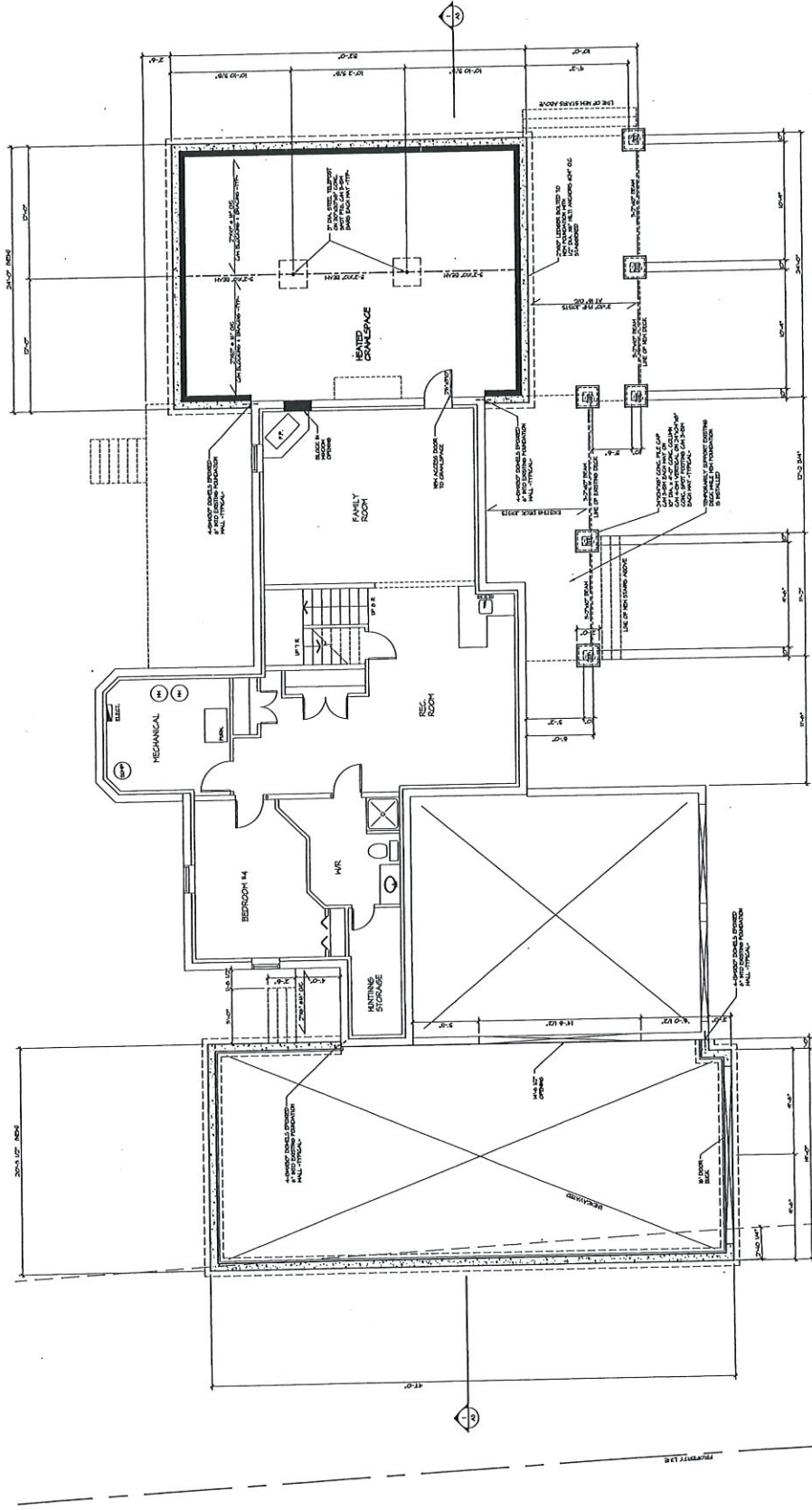
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**NOTES**

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**LEGEND**

===== EXISTING WALLS TO BE REMOVED  
===== EXISTING WALLS TO REMAIN



1. FOUNDATION / BASEMENT PLAN  
 SCALE 1/4" = 1'-0"

**NOTES**

1. FOUNDATION / BASEMENT PLAN
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**LEGEND**

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**REVISIONS**

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**FOUNDATION PLAN**

**CLIENT**

1. FOUNDATION / BASEMENT PLAN

**PROJECT TITLE**

1. FOUNDATION / BASEMENT PLAN

**LEGEND**

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**DATE**

1. FOUNDATION / BASEMENT PLAN

**SCALE**

1. FOUNDATION / BASEMENT PLAN

**CONSULTANTS**

**REVISIONS**



**DOUGLAS BROWN & ASSOCIATES LTD.**

| REVISIONS | CONSULTANTS |
|-----------|-------------|
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**DOUGLAS J. BIRGEN & ASSOCIATES LTD.**  
ARCHITECTURAL TECHNOLOGY  
1000 WEST 10TH AVENUE, SUITE 100  
EDMONTON, ALBERTA T6P 0K6  
TEL: (780) 443-1111  
FAX: (780) 443-1112

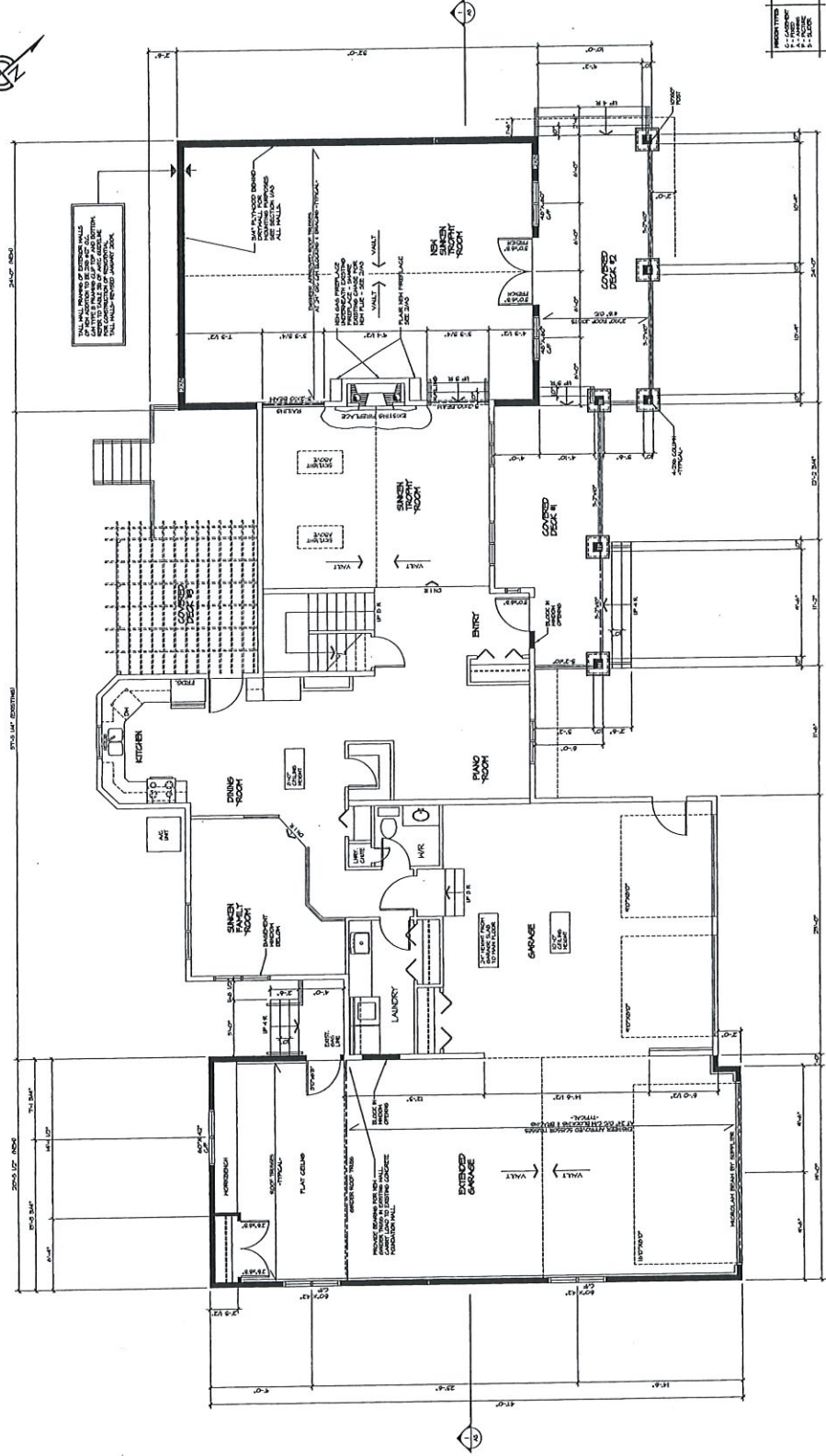
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- \* FINISHES TO BE DETERMINED BY THE CLIENT
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- \* THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES
- \* THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF ANY INFORMATION PROVIDED BY THE CLIENT
- \* THE ARCHITECT IS NOT RESPONSIBLE FOR THE CONSTRUCTION OF ANY STRUCTURE OR FOR THE SAFETY OF ANY PERSON OR PROPERTY
- \* THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY MECHANICAL, ELECTRICAL, OR PLUMBING SYSTEMS
- \* THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY LANDSCAPE OR EXTERIOR LIGHTING SYSTEMS
- \* THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY FURNITURE OR FIXTURES
- \* THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY SPECIALTY GLASS OR GLAZING SYSTEMS
- \* THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY SPECIALTY PAINTS OR FINISHES
- \* THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY SPECIALTY FABRICS OR MATERIALS
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- \* THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY SPECIALTY INFRASTRUCTURE OR UTILITIES

**PROJECT TITLE**  
THORSON RESIDENCE

**CLIENT**  
THORSON, JAMES & JILL

**DRAWING TITLE**  
MAIN FLOOR PLAN

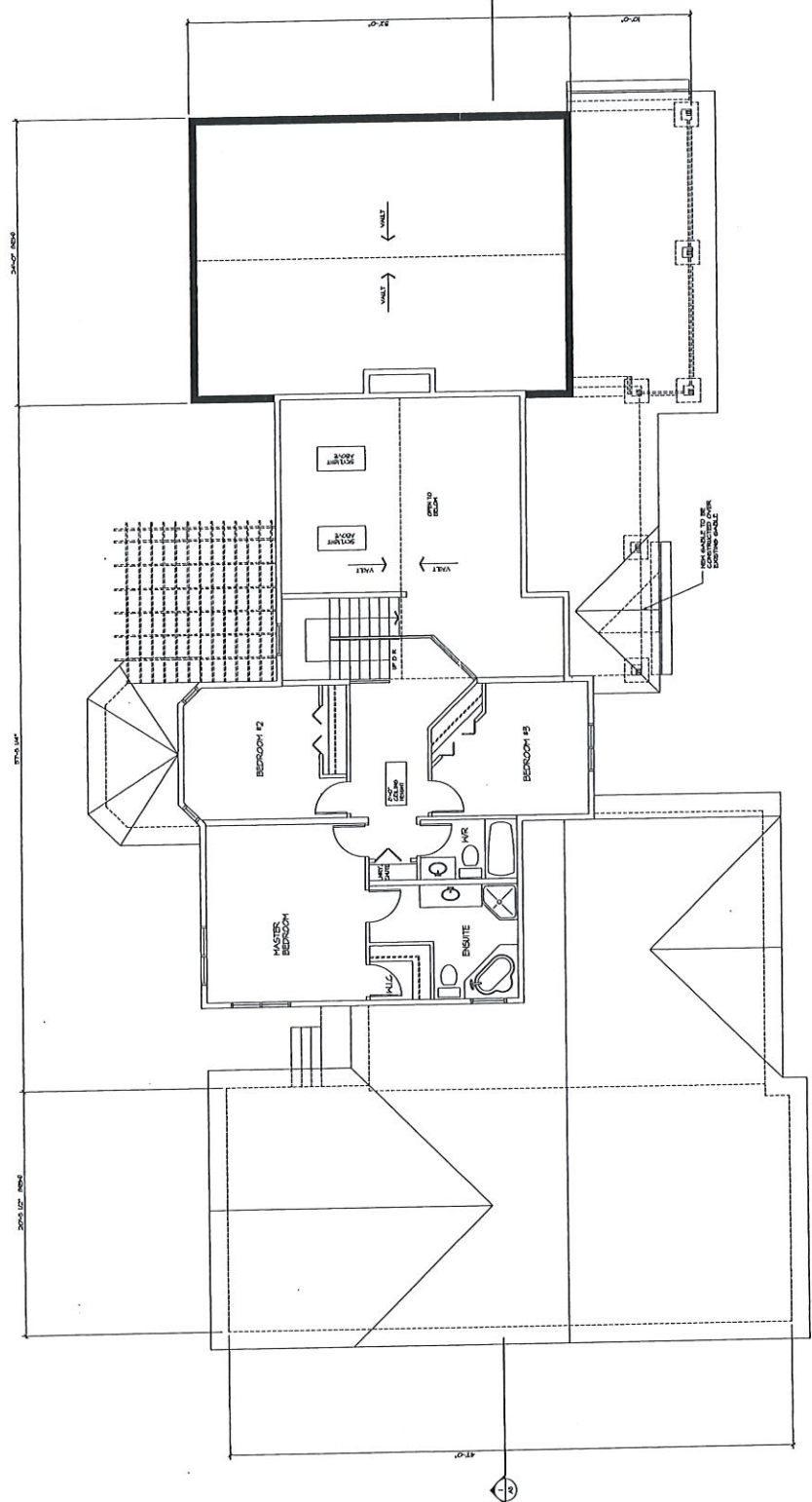
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**PROJECT NO.** 1001  
**CLIENT NO.** 1001  
**DRAWN** J.B.  
**CHECKED** J.B.  
**PLOTTED** J.B.  
**DATE FILED** 01/20/08  
**SHEET NO.** A3



- NOTES**
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL EXISTING UTILITIES AND STRUCTURES.
  2. CONTRACTOR TO PROVIDE AND MAINTAIN EOOD ALL EXISTING UTILITIES AND STRUCTURES.
- LEGEND**
- 1. EXISTING WALLS TO BE DEMOLISHED
  - 2. EXISTING WALLS TO BE REPAIR
  - 3. NEW WALLS

1. MAIN FLOOR PLAN  
SCALE 1/4" = 1'-0"

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| EXISTING WALLS   | 10'-0" |
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| DEMOLISHED WALLS | 10'-0" |
| TOTAL            | 30'-0" |



UPPER FLOOR PLAN  
SCALE 1/8" = 1'-0"

NOTES  
1. CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURAL ELEMENTS.  
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LEGEND  
1. FLOORING  
2. WALLS  
3. DOORS  
4. WINDOWS  
5. STAIRS  
6. ROOF

REVISIONS  
DATE: JANUARY 2000  
PROJECT NO.: 001  
DRAWN BY: J. B. BROWN  
CHECKED BY: J. B. BROWN  
DESIGNED BY: J. B. BROWN  
SHEET NO.: 001

A4



DOUGLAS J. BURGHEN & ASSOCIATES LTD.  
ARCHITECTURAL TECHNOLOGISTS  
1000 WEST 10TH AVENUE, SUITE 100  
EDMONTON, ALBERTA T6P 0K6  
TEL: (780) 442-1111  
FAX: (780) 442-1112  
WWW.DJBURGHEN.COM

PROJECT TITLE  
THORSON RESIDENCE  
PROJECT NO.  
001  
DATE  
JANUARY 2000  
DRAWN BY  
J. B. BROWN  
CHECKED BY  
J. B. BROWN  
DESIGNED BY  
J. B. BROWN  
SHEET NO.  
001

CLIENT  
MR. & MRS. THORSON

REVISIONS  
DATE  
PROJECT NO.  
DRAWN BY  
CHECKED BY  
DESIGNED BY  
SHEET NO.





WEST ELEVATION



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| REVISIONS   |  |
| CONSULTANTS |  |
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DOUGLAS J. BERG  
& ASSOCIATES LTD.  
ARCHITECTURAL TECHNOLOGY

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE OFFICE OF ANY DISCREPANCIES OR OMISSIONS.

THE DRAWING AND DESIGN REMAINS AT ALL TIMES THE EXCLUSIVE PROPERTY OF HANCOCK & ASSOCIATES LTD. NO PART THEREOF IS TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT WRITTEN CONSENT.

FOUNDED

HANDMAKING AND MARKETING TO THE DESIGN ARE NOT PERMITTED WITHOUT WRITTEN CONSENT.

ALL CONSTRUCTION IS TO COMPLY WITH THE AUSTRIA BUILDING CODE AND ANY APPLICABLE LOCAL REGULATIONS.

PROJECT TITLE  
THOMSON RESIDENCE

RESIDENT

DRAWING TITLE  
FRONT ELEVATION

DATE 08-20-08 207  
PROJECT NO. 687  
SCALE AS SHOWN  
DRAWN BY  
PLOTTED -  
CADD FILE 687JUL08  
SHEET NO.

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| ELECTRICAL                                        |  |
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| 4 <input type="checkbox"/> BATTERY                |  |
| 5 <input type="checkbox"/> SWITCH                 |  |
| 6 <input type="checkbox"/> FUSE                   |  |
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| 8 <input type="checkbox"/> HGT. LAMP              |  |
| 9 <input type="checkbox"/> HEADLIGHTS             |  |
| 10 <input type="checkbox"/> HORN                  |  |
| 11 <input type="checkbox"/> HORN-ACCIDENT LIGHT   |  |
| 12 <input type="checkbox"/> HORN-STOP LIGHT       |  |
| 13 <input type="checkbox"/> TURN SIGNALS          |  |
| 14 <input type="checkbox"/> TAIL LIGHTS           |  |
| 15 <input type="checkbox"/> TELEPHONE             |  |
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TOP OF FND. WALL TO  
FLOOR ASSEMBLY DETAIL  
SCALE 1"=4'



SHEET NO. A9



March 27, 2018

**TO: NEIGHBOURING PROPERTY OWNERS**

**RE: DEVELOPMENT APPLICATION 2018-029**

**APPLICANT: BEV & FRED THOMSON**

**ADDRESS: 91012 Range Road 203, COALDALE, ALBERTA**  
**PLAN 9310200, BLOCK 1, LOT 4**

**ZONING: URBAN RESERVE - UR**

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Dear Sir/Madam,

We are in receipt of Development Application #2018-029, for an addition to the Single Detached Dwelling that is located at the above mentioned address. The applicant is requesting that the addition on the south east side of the residence be located 57' (17 meters) away from the canal Right of Way edge. The setback requirement is for any development to be located 100' (30.5 meters) from the Right of Way of an irrigation canal that serves any downstream users.

The full agenda will be posted on our website by April 4, 2018 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, April 11, 2018, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2018-029) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 - 17 Street Coaldale, Alberta.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Friday, April 6, 2018 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to [buildingcoaldale@coaldale.ca](mailto:buildingcoaldale@coaldale.ca). Please note that all submissions will be made public.

Sincerely,

Cindy L'Hirondelle  
Manager of Development & Environmental Services

cc. Applicant

