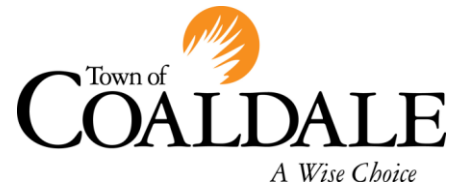


Wednesday, June 10, 2020

5:00 p.m.

Town of Coaldale HUB (2107 13 Street)



Municipal Planning Commission Agenda

1.0 CALL TO ORDER

2.0 ADDITIONS TO THE AGENDA

3.0 ADOPTION OF THE MINUTES

May 13, 2020 meeting

4.0 BUSINESS FROM THE MINUTES

5.0 NEW BUSINESS

5.1 Development Application 2020-052
138 Fairway Drive
Golf ball safety netting – accessory structure

5.2 Development Application 2020-0-063
2124 16 Avenue
Aviaries – additions to existing buildings

5.3 Development Application 2020-0-064

260 Fairway Drive
Deck and pool – rear yard waiver

5.4 Development Application 2020-0-065
3101 13 Street
Single detached dwelling – secondary front yard waiver

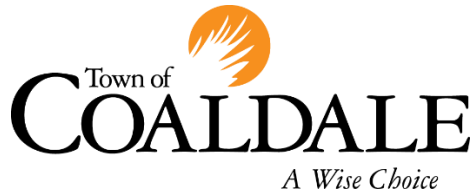
6.0 INFORMATION ITEMS

- COVID-19 meeting requirements notification
- R-1A land use district excerpt
- I/R land use district excerpt
- CR-2 land use district excerpt

7.0 IN-CAMERA DELIBERATIONS

8.0 ADJOURNMENT

Please contact Spencer Croil if you are unable to attend this meeting.



**MUNICIPAL PLANNING COMMISSION
WEDNESDAY, May 13, 2020
5:00 PM – COUNCIL CHAMBERS**

PRESENT:	Council Members:	R. Hohm (Chair), D. Lloyd
	Citizen Members:	T. Stone, R.Pitsol
	Director of Planning:	S. Croil
	Recording Secretary:	K. Boehmer
	Gallery:	C. Oberkirsch; D. Gauthier

1.0 CALL MEETING TO ORDER:

R. Hohm called the meeting to order at 5:00 p.m.

2.0 ADDITIONS TO / ADOPTION OF AGENDA:

Motion: D. Lloyd moved to approve the addition and adoption of the agenda.

4-0 CARRIED

3.0 ADOPTION OF MINUTES:

Municipal Planning Commission Minutes – April 8, 2020

MOTION: T. Stone moved to approve the April 8, 2020 minutes.

4-0 CARRIED

4.0 BUSINESS ARISING FROM MINUTES:

**4.1 Development Application 2020-027
 1209 33 Avenue
 Side yard setback waiver**

BACKGROUND/DESCRIPTION OF APPLICATION:

S. Croil provided background on the application noting that it is a permitted use application with side yard setback waivers in excess of 10%. The original application was approved with a 9-foot waiver on the west and 10-foot waiver on the east, however, the foundation was poured incorrectly. As such, the applicant is asking for an 8.5-foot waiver on the west side yard and 9.5-foot waiver on the east side yard.

It was noted that Brown Okamura & Associates Ltd. provided a letter indicating that they did do the stake out according to the original approved permitted site plan, which was approved by the Development Officer in November of 2019.

Since the April 8, 2020 Municipal Planning Commission meeting, no additional information has been brought forward that would change the intent of the application.

- The Commission questioned when the applicant was aware of the incorrect foundation.
- C. Oberkirsch explained that when the application was submitted, the designer thought there was a 10% allowance on each side yard. However, the Development Officer advised that she was only allowed to grant one 10% waiver, so the designer changed the plans and resubmitted them in November 2019. After the property was staked out, winter set in and the construction was put on pause. In March of 2020 the foundation company poured the foundation. After poured, the framer alerted C. Oberkirsch that foundation was out. The foundation was poured based on the original plans and not the revised set, so C. Oberkirsch stopped the construction and notified the town.

With respect to the turn of the turning of the house, they made an error and went by the drawings and not the survey.

- The Commission inquired if there have been any changes to the stages of construction since the date of the last MPC meeting.
- C. Oberkirsch advised that he was able to put a hold on plumbers, electricians, HVAC, etc., but he did need to get to a certain stage to prevent wind damage.
- When asked if he had any additional comments, C. Oberkirsch reiterated that as soon as he was made aware of this mishap, has advised the town. He confirmed that none of this was intentional and truly was an error.

MOTION: T. Stone moved to approve Development Application 2020-027 subject to conditions:

1. All conditions of Development Permit No. 2019-169 must be met.
2. Front and Rear Yard Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential CR2, excepting out the westerly and easterly yard setbacks which shall instead be as outlined in condition number 2.
3. The westerly side yard setback to be 2.44 m (8') and the easterly side yard setback to be 2.74 m (9').

3-1 CARRIED

5.0 NEW BUSINESS:

- 5.1 **Development Application 2020-039
3016 23 Avenue
Side yard setback waiver – accessory building**

BACKGROUND/DESCRIPTION OF APPLICATION:

S. Croil presented Development Application 2020-039 to construct an accessory building (an 8' wide by 16' long by 10' high shed) at 3016 23 Avenue. The size and height of the shed falls within what is permitted for the property. However, the location of the shed, entirely in the side yard, between the principal building (the dwelling) and the property line, is noted in the R-1A zoning regulation as not being permitted.

The Town of Coaldale Land Use Bylaw states that the designated officer may only make a decision on permitted use applications that include variances for one measurable standard, to a maximum of 10% of the standard that is required to be met. In this particular instance there is not a setback issue, if the 3' side yard setback is to be applied, as the shed is shown on the site plan to be 4' from the property line. The shed also meets the minimum separation requirement for any accessory structure from the dwelling, in that it is shown to be 5' from the dwelling that is on the lot (with the minimum being 4'). However, the zoning regulation states that accessory buildings shall not be located in a side yard between the property line and a principal building.

It was noted that the shed has already been constructed on the property.

Notice of the application was sent to the neighbouring property owners and no written or verbal concerns have been submitted as of the date of the preparation of this report.

- The Commission questioned what would be stored in the tool shed.
- D. Gauthier advised that there is potential to use the shed to store a golf cart, but nothing at this time.
- S. Croil asked if there was hardie plank siding on the shed.
- D. Gauthier confirmed.

MOTION: T. Stone moved to approve Development Application 2020-039 subject to conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential – R-1A, excepting the requirement that no accessory structure be placed in a side yard.
4. A minimum separation distance of 4' shall be provided between a principal building and any accessory building.
5. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.

6. Ensure lot drainage is maintained.

7. The building, when completed, shall meet or exceed provincial building requirements and comply with all provincial and municipal health and fire regulations.

3-1 CARRIED

**5.2 Development Application 2020-044
2127 21 Avenue
Home Occupation 2 – massage therapy**

S. Croil outlined Development Application 2020-044 to allow for a home occupation 2 – massage therapy and reflexology business to be run out of the home at 2127 21st Avenue.

The applicant has noted that they expect the following for operation of the business:

- Hours of operation would be 9:00am – 6:00pm, Monday - Friday
- There are expected to be between 1 to 5 clients each day
- There are 3 (three) off-street parking stalls available for client visits.
- No additional employees other than the business owner

It was noted that the applicant has run the same business at another location in Coaldale previously and the Town received no complaints regarding the business when it was operating previously.

Notice of the application was sent to the neighbouring property owners and no written or verbal concerns have been submitted as of the date of the preparation of this report.

- The Commission discussed possible health measures being taken with respect to COVID-19.

MOTION: R. Pitsol moved to approve Development Application 2020-044 subject to conditions:

1. Applicant complies with the Land Use Bylaw No 677-P-04-13, Schedule 7, Home Occupations District;
2. Development Permit No. 2020-044 may be revoked at any time if, in the opinion of the Development Authority, the use is or has become detrimental to the amenities of the neighborhood.
3. Applicant applies to the Town of Coaldale for a Business License.
4. Hours of operation will be: 9:00 am – 6:00 pm, Monday - Friday.
5. Appointments would be one at a time, by appointment.

6. At no time shall there be a surplus of vehicles parked on or in front of the subject property to ensure there will be no traffic or parking problems within the neighbourhood.
7. No signage shall be permitted. Should the applicant wish to place signage on the property a separate sign application must be submitted to the Town of Coaldale.

4-0 CARRIED

The public portion of the meeting was closed at 5:17 p.m.

MOTION: D. Lloyd moved to adjourn meeting at 6:05 p.m.

4-0 CARRIED

CHAIR- R. HOHM

RECORDING SECRETARY- KYLEY BOEHMER

Staff Report to the Municipal Development Authority Board

Development Application #	2020-052
Applicant	Derek Tonin
Civic Address	138 Fairway Drive
Legal Description	Lot 50, Block 2, Plan 8510701
Zoning	Residential R-1A
Description of Application	Accessory structure – golf ball safety netting along side yard

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of Development Application 2020-039 regarding the construction of 16' high by 50' wide net structure (for the abatement of golf balls entering the back yard) along a portion of the north property boundary (side yard) at the above address. Within the Residential – R-1A zoning, an accessory structure is a permitted use, however in this particular instance, the height and length of the structure warrants consideration and ultimately a decision on the application by the Municipal Planning Commission (MPC).

Although an accessory structure is considered a permitted use, as per Section 32(a)(ii) of the Town's Land Use Bylaw, the Designated Officer (Development Officer) may, at their discretion, refer any application to the Municipal Planning Commission (MPC) for a decision. In this particular instance, the application has been referred to the MPC for a decision due to the height and length of the structure being proposed.

Notice of the application was sent to the neighbouring property owners and no written or verbal concerns have been submitted as of the date of the preparation of this report.

APPLICABLE SECTIONS OF THE LAND USE BYLAW:

- Land Use Bylaw, Schedule 2, Residential (R-1A) land use district

RECOMMENDATION

The board considers APPROVAL of Development Application (2020-052) to allow for the continued development of a single detached dwelling, subject to the following conditions:

1. Must meet any applicable requirements of the Safety Codes Act.

The development must be completed in its entirety, in accordance with approved plans and conditions. Any revisions to the approved plans must be submitted for reapproval.



April 29, 2020

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2020-052

APPLICANT: DEREK TONIN

**ADDRESS: 138 FAIRWAY DRIVE
PLAN 8510701, BLOCK 2, LOT 50**

ZONING: RESIDENTIAL – R-1A

Dear Sir/Madam,

We are in receipt of Development Application 2020-052 regarding the construction of 16' high by 50' wide net structure (for the abatement of golf balls entering the back yard) along a portion of the north property boundary (side yard) at the above address. Within the Residential – R-1A zoning, an accessory structure is a permitted use, however in this particular instance, the height and length of the structure warrants consideration and ultimately a decision on the application by the Municipal Planning Commission (MPC).

Although an accessory structure is considered a permitted use, as per Section 32(a)(ii) of the Town's Land Use Bylaw, the Designated Officer (Development Officer) may, at their discretion, refer any application to the Municipal Planning Commission (MPC) for a decision. In this particular instance, the application has been referred to the MPC for a decision due to the height and length of the structure being proposed.

- **This application will be heard by the MPC at the June 10th meeting, which is to be held at 5 pm at the HUB building (2107 13th Street).**
- **Options for attending the meeting include in-person, or by virtual means.**
- **For individuals wishing to attend in-person, please review the attached guidance regarding public health measures that remain in place for the covid-19 event.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by June 4th, 2020 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, June 10th, 2020, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2020-052.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 1:00pm on Friday, June 5th, 2020 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,



Spencer Croil, RPP MCIP
Director of Planning and Community Development

cc. Applicant



Respectfully Submitted:

Spencer Croil, RPP MCIP
Director of Planning and Community Development

ATTACHED FILES:

- Site Plan
- Notice to Neighbouring Property Owners
- Supplement regarding temporary meeting requirements as a result of covid-19
- R-1A LUB excerpt

LOT: 50
BLOCK: 2
PLAN: 851 0701
ADDRESS: 138 FAIRWAY DRIVE
COALDALE, ALBERTA

TOTAL SITE AREA - 10017.13 SQ. FT.
TOTAL HOUSE FOOTPRINT - 4222.93 SQ. FT.
(THIS INCLUDES COVERED VERANDA AND
REAR DECK)
PERCENTAGE COVERED (HOUSE) - 42.16%
TOTAL ACCESSORY BUILDING FOOTPRINT - 0 SQ. FT.
PERCENTAGE COVERED (ACCESSORY BUILDINGS) - 0%

BASEMENT - 2411 SQ.FT.
BASEMENT (DEVELOPED) - 2252 SQ.FT.
MAIN FLOOR - 2411 SQ.FT.
ATTACHED GARAGE - 1096 SQ.FT.
COVERED REAR DECK - 511 SQ.FT.
COVERED FRONT ENTRY - 205 SQ.FT.

- 16' x 50' golf ball netting that is transparent
- Installed on 2 7/8 galv. steel pipes set in concrete
- Hope Border
- 2.5' - 3.0' distance away from golf course and north neighbor fences
- 5 galv. steel posts are being used

[illegible]

StoneGate
DESIGN • BUILD INC.

P. 345-5103
F. 345-5123

2227 28 Avenue
Coldie, Alberta, Canada
T1M 0A3

www.stonegateinc.ca

- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND LOCATIONS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE OFFICE OF ANY DISCREPANCIES.
- ANCHOR BOLTS.
- THE EXISTING AND DESIGN REQUIREMENTS AT ALL LOCATIONS SHALL BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.
- THE DRAINAGE PROPERTIES OF STAINLESS STEEL SHALL BE IN LINE WITH WITHOUT WEATHERING CONDITIONS.
- SCALING OF THE DIMENSIONS IS NOT PERMITTED.
- REINFORCEMENTS AND WELDMENTS TO THE STRUCTURE ARE NOT PERMITTED WITHOUT WRITTEN CONSENT.
- ALL CONSTRUCTION IS TO BE COMPLETED WITHIN THE ALLOCATED BUILDING CODE AND ANY APPLICABLE LOCAL REGULATIONS.
- ALL FINISHED FLOOR, DOORS, AND MIRRORS SPECIFIED ARE TO BE DELIVERED BY THE SUPPLIER.

• PROJECT TITLE
TONIN RESIDENCE
138 FAIRWAY DRIVE
CONDOLE, ALBERTA, CANADA

• CLIENT
DALLAS TEXAS

- DRAWING TITLE
- SITE PLAN

* DATE	SEPTEMBER 25, 2011
* PLOTTED	"
* DRAWN BY	MM
* CADD FILE	"
* PROJECT NO.	0118

- SHEET NUMBER
A1.1

Staff Report to the Municipal Development Authority Board

Development Application #	2020-063
Applicant	Alberta Birds of Prey Centre
Civic Address	2124 16 Avenue
Legal Description	Lot 8, Block 8, Plan 9012294
Zoning	Institutional/Recreational (I/R)
Description of Application	Addition to existing buildings

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of Development Application 2020-063 regarding the construction of two additions to existing buildings.

Addition 1

The existing building is one of the Alberta Birds of Prey Centre's aviary and the addition is 13' in height, 16' in width, and 103' in length. The addition would be within the required yard setbacks.

Addition 2

The existing building is another aviary and the addition is 13' in height, 16' in width and 70' in length along the north side of the existing building and 162' in length along the east side of the existing building.

As per the Town's current Land Use Bylaw (LUB), the use would be considered either an Institutional Facility or Use, or Private Recreation, both of which are considered discretionary uses within the Institutional/Recreational (I/R) land use district. Therefore, this application must be considered and decided upon by the Town's Municipal Planning Commission (MPC).

Please note that the shed has already been constructed on the property in the location shown on the sketch that is included as a part of this report.

Notice of the application was sent to the neighbouring property owners and no written or verbal concerns have been submitted as of the date of the preparation of this report.

APPLICABLE SECTIONS OF THE LAND USE BYLAW:

- Land Use Bylaw, Schedule 2, Institutional/Recreational (I/R) land use district

RECOMMENDATION

The board considers APPROVAL of Development Application (2020-063) to allow for the placement of the shed in the side yard of the property, subject to the following conditions:

1. Must obtain **approval** of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 **prior** to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines **prior** to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Institutional/Recreational (I/R).
4. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
5. Ensure lot drainage is maintained.
6. The building, when completed, shall meet or exceed provincial building requirements and comply with all provincial and municipal health and fire regulations.

The development must be completed in its entirety, in accordance with approved plans and conditions. Any revisions to the approved plans must be submitted for reapproval.

Respectfully Submitted:

Spencer Croil, RPP MCIP
Director of Planning and Community Development

ATTACHED FILES:

- Site Plan
- Notice to neighbouring properties
- I/R LUB excerpt

May 28, 2020

**UPDATED NOTIFICATION: AN ADDITIONAL
BUILDING HAS BEEN PROPOSED AND BOTH
PROPOSED ADDITIONS ARE 16' IN WIDTH NOW
(the first proposal was for a building 14' wide)**

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2020-063

APPLICANT: ALBERTA BIRDS OF PREY FOUNDATION

**ADDRESS: 2124 16th Avenue
PLAN 9012294, BLOCK 8, LOT 8**

ZONING: INSTITUTIONAL/RECREATIONAL (I/R)

Dear Sir/Madam,

We are in receipt of Development Application 2020-063 regarding the construction of two additions to existing buildings.

Addition 1

The existing building is one of the Alberta Birds of Prey Centre's aviary and the addition is 13' in height, 16' in width, and 103' in length. The addition would be within the required yard setbacks.

Addition 2

The existing building is another aviary and the addition is 13' in height, 16' in width and 70' in length along the north side of the existing building and 162' in length along the east side of the existing building.

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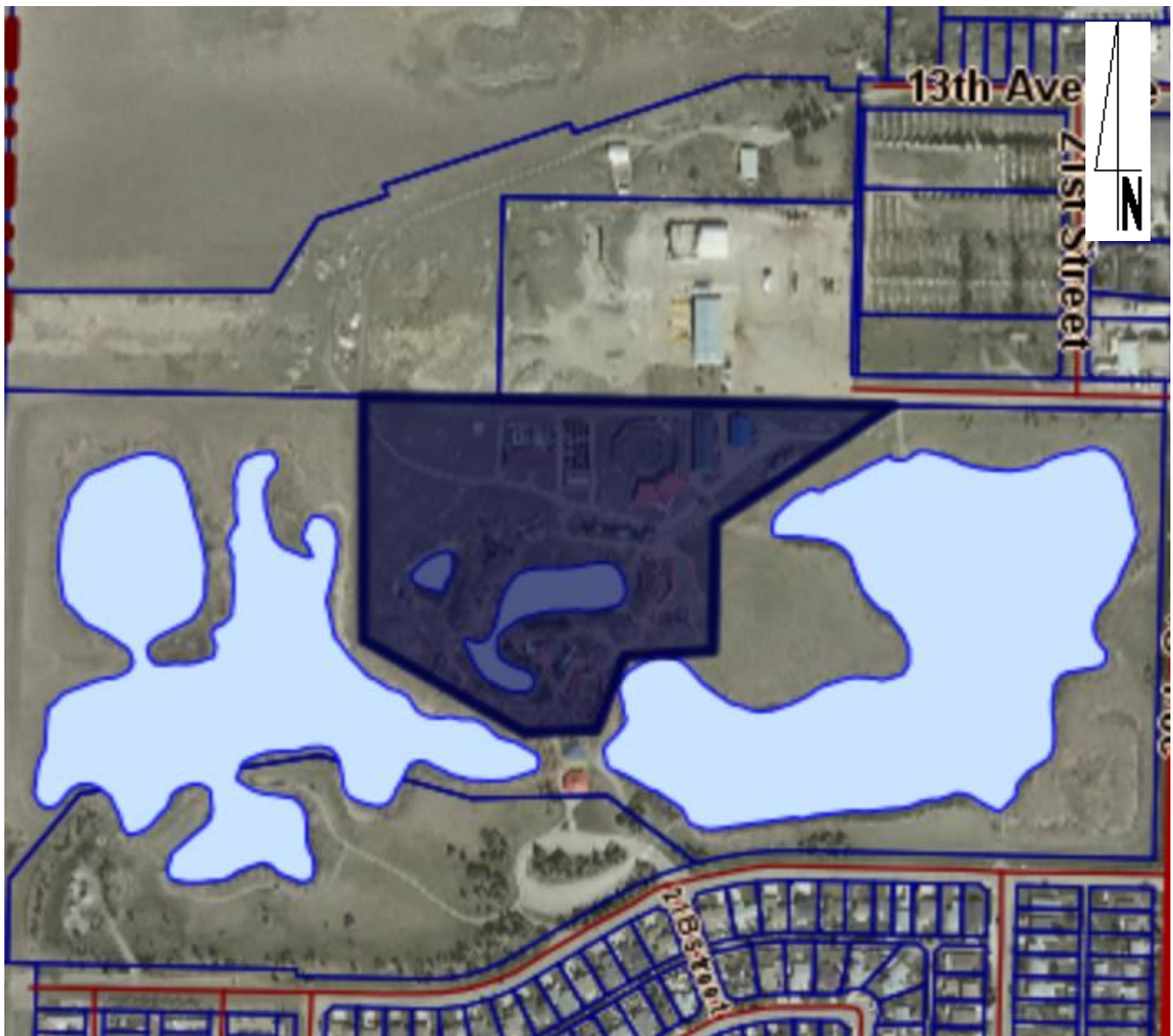
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Sincerely,



Spencer Croil, RPP MCIP
Director of Planning and Community Development

cc. Applicant



PROJECT DESCRIPTION

NEW 16'-0" WIDE ADDITION TO THE NORTH OF THE EXISTING OUTDOOR MULTI-AVIARY BUILDING. ALSO, A NEW 16'-0" WIDE ADDITION ADDED TO THE NORTH AND EAST SIDE OF EXISTING MULTI-CELL CAGE.

LEGAL ADDRESS:
LOT 8
BLOCK 8
PLAN 9012294

SE 1/4 15-9-20 W4M

PROJECT DIRECTORY

OWNER:
ALBERTA BIRDS OF PREY FOUNDATION
GO COLIN WEIR
E-MAIL: colin.weir@shaw.ca
PHONE: (403) 345-4562

PLANNING DEPARTMENT:
TOWN OF COALDALE
1920-17 ST.
COALDALE, ALBERTA T1M 1M1
E-MAIL: buildingcoaldale@coaldale.ca
PHONE: (403) 345-1337

BUILDING SAFETY DEPARTMENT:
SUPERIOR SAFETY CODES INC.
422 MAYOR MAGRATH DR. N.
LETHBRIDGE, ALBERTA T1H 5E7
E-MAIL: info@superiorsafetycodes.com
PHONE: (403) 320-0734

ARCHITECT:
ALVIN REINHARD FRITZ ARCHITECT INC.
ALVIN FRITZ/ LESHIA PARKER
#10 90001 Range Road 212,
Lethbridge County, Alberta T1J 5N9
E-MAIL: lparker@alvinfritzarchitect.com
PHONE: (403) 320-8100
FAX: (403) 327-3373

GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CERTIFICATE OF OCCUPANCY.

2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NBC-2019-AE, LAWS, RULES, & REGULATIONS OF ALL LEGALLY CONSTITUTED PUBLIC AUTHORITIES HAVING JURISDICTION. IN CASE OF CONFLICT BETWEEN REQUIREMENTS, THE MOST RESTRICTIVE SHALL APPLY.

3. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE TEMPORARY SHORING AND BRACING FOR ALL STRUCTURAL ELEMENTS AS REQUIRED UNTIL NEW STRUCTURAL MEMBERS ARE PERMANENTLY INSTALLED, WHETHER INDICATED ON THE DRAWINGS OR NOT. IF THE CONTRACTOR IS UNSURE WHETHER OR NOT TO PROVIDE TEMPORARY SHORING AND BRACING HE SHALL ASK THE ARCHITECT OR STRUCTURAL ENGINEER, IN WRITING, PRIOR TO COMMENCEMENT OF WORK.

4. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND CRITICAL DIMENSIONS PRIOR TO COMMENCEMENT OF WORK, AND SHALL NOTIFY OWNER & ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK. THIS VERIFICATION SHALL INCLUDE BUT NOT LIMITED TO LOCATION OF NEW FRAMING MEMBERS, LINES OF SUPPORT, LOCATIONS OF ANCHOR BOLTS, HOLD DOWNS, EXISTING SITE CONDITIONS, AND UTILITIES PRIOR TO ORDERING MATERIALS.

5. CONTRACTOR TO VERIFY FIT & FINISH REQUIREMENTS FOR ALL PROJECT COMPONENTS, WITH OWNER, PRIOR TO ORDERING MATERIALS. REPORT CONFLICTING INFORMATION TO OWNER PRIOR TO PROCEEDING WITH WORK.

6. CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION & CONSTRUCTION DEBRIS AS REQUIRED BY PROVINCIAL & MUNICIPAL REQUIREMENTS.

7. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, AS REQUIRED BY CODE, ARE TESTED BY INDEPENDENT LABORATORIES AND THAT RESULTS ARE FURNISHED TO LOCAL BUILDING AUTHORITIES, OWNER, AND THE PROJECT CONSULTANTS IF REQUESTED.

8. BY THE USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS, AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE.

9. CONTRACTOR SHALL COORDINATE HIS WORK WITH ALL OTHER CONTRACTORS FURNISHING THE LABOR, MATERIALS, AND ALL WORK, SO THAT THE WORK AS A WHOLE SHALL BE EXECUTED AND COMPLETED WITHOUT CONFLICT OR DELAY. THE OWNER AND HIS CONSULTANTS SHALL NOT BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY AND NEGLIGENT ACTS OR OMISSIONS BY THE GENERAL CONTRACTOR OR THE SUBCONTRACTORS ON THE JOB.

10. CONTRACTOR SHALL COORDINATE THE REQUIREMENTS OF ANY AND ALL DRAWINGS INCLUDING ARCHITECTURAL, MECHANICAL, AND ELECTRICAL. ANY CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT PRIOR TO ANY WORK.

11. CONTRACTOR SHALL **NEVER** SCALE DRAWINGS. LOCATIONS FOR ALL PARTITIONS, WALLS, CEILINGS, ETC. WILL BE DETERMINED BY DIMENSIONS ON THE DRAWINGS. ANY SUCH DIMENSIONS MISSING FROM THE PLANS MUST BE BROUGHT TO THE ATTENTION OF THE OWNER & ARCHITECT IMMEDIATELY.

12. THE CONTRACTOR SHALL ADHERE TO THE DRAWINGS AND SPECIFICATIONS. SHOULD ANY ERROR OR INCONSISTENCY APPEAR REGARDING THE TRUE MEANING AND/OR INTENT OF THE DRAWINGS OR SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY REPORT SAME TO THE ARCHITECT WHO WILL MAKE ANY NECESSARY CLARIFICATION, INTERPRETATION, OR REVISION AS REQUIRED.

13. IF THE CONTRACTOR DISCOVERS AN ERROR OR INCONSISTENCY AND PROCEEDS WITH WORK WITHOUT NOTIFYING THE OWNER & ARCHITECT OF ANY SUCH DISCREPANCIES, HE SHALL ASSUME ALL CHARGES AND MAKE ANY CHANGES TO HIS WORK MADE NECESSARY BY HIS FAILURE TO OBSERVE AND/OR REPORT THE CONDITION.

14. IF THE INTENT OF THE DRAWINGS & SPECIFICATIONS ARE UNCLEAR, THE CONTRACTOR SHALL ASK THE ARCHITECT FOR CLARIFICATION, PRIOR TO PROCEEDING WITH WORK, IN THE FORM OF A WRITTEN R.F.I. (REQUEST FOR INFORMATION). THE ARCHITECT SHALL THEN RESPOND IN WRITING TO ALL APPROPRIATE PARTIES.

15. CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS, DAMAGE, FIRE, THEFT, ETC.

16. WHEREVER THE TERM "OR EQUAL" IS USED, IT SHALL MEAN EQUAL PRODUCT AS APPROVED IN WRITING BY ARCHITECT.

17. IF THE CONTRACTOR PROPOSES A MATERIAL OR EQUIPMENT SUBSTITUTION HE SHALL PROVIDE ALL APPROPRIATE DOCUMENTATION AND INFORMATION REQUIRED FOR THE ARCHITECT TO DETERMINE WHETHER OR NOT THE SUBSTITUTION IS EQUAL TO THE SPECIFICATION. ANY CHANGES TO THE DESIGN, AFTER ISSUANCE OF A BUILDING PERMIT, SHALL BE SUBMITTED TO THE PRESIDING BUILDING AGENCY FOR APPROVAL BY THE GENERAL CONTRACTOR.

18. PROJECT SHALL BE LEFT CLEANED AND POLISHED AFTER COMPLETION OF WORK.

19. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL SLOPES/SLAB DEPRESSIONS AND RAISED CURBS, ELECTRICAL AND PLUMBING STUB OUTS, AND ALL OTHER WORK UNDER THIS SCOPE OF RESPONSIBILITY RELATED TO THIS PROJECT.

20. CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, UNCRATING, INSTALLATION AND HOOK-UP OF ALL OWNER FURNISHED ITEMS UNLESS OTHERWISE NOTED.

21. CONTRACTOR SHALL REFER TO THESE DOCUMENTS, AS WELL AS SPECIFICATIONS, FOR IDENTIFICATION OF ALL OWNER SUPPLIED ITEMS. CONTRACTOR SHALL VERIFY WITH OWNER, PRIOR TO ORDERING, WHICH ITEMS THE OWNER SHALL SUPPLY. ALL ITEMS NOT MARKED AS OWNER SUPPLIED ARE TO BE SUPPLIED BY THE CONTRACTOR. UNLESS NOTED OTHERWISE ALL ITEMS ARE TO BE INSTALLED BY GENERAL CONTRACTOR.

22. MINIMUM FLAME SPREAD CLASSIFICATION OF FINISHES SHALL CONFORM TO THE NBC-2019-AE AND LOCAL GOVERNING BUILDING CODES/ORDINANCES.

23. FOR CONSTRUCTION DETAILS NOT SHOWN, USE THE MANUFACTURER'S STANDARD DETAILS OR APPROVED SHOP DRAWINGS/DATA SHEETS IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

24. CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO THE COMMENCEMENT OF WORK TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES. NOTIFY ARCHITECT IMMEDIATELY IF CONFLICTS EXIST BETWEEN EXISTING UTILITIES AND NEW CONSTRUCTION. PATCH, REPAIR, AND/OR REPLACE ALL ADVERSELY AFFECTED FINISHES AND/OR SURFACES AS REQD. UPON COMPLETION OF CONSTRUCTION, ALL PARKING AREA PAVEMENT AND NEW CONCRETE PADS SHALL TRANSITION SMOOTHLY.

25. DOCUMENTS MARKED "BID DOCUMENTS" SHALL NOT BE USED FOR CONSTRUCTION.

26. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT WHO SHALL REVIEW THEM AND PROVIDE A NOTATION INDICATING THAT DEFERRED.

27. SUBMITTAL DOCUMENTS ARE TO BE REVIEWED REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THESE SUBMITTAL ITEMS MUST THEN BE SUBMITTED TO THE BUILDING OFFICIAL. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. DEFERRED SUBMITTALS ARE AS FOLLOWS:
A: TRUSS DRAWINGS AND CALCULATIONS
B: EXHAUST HOOD AUTOMATIC FIRE EXTINGUISHING SYSTEM (AS REQUIRED)
C: ALARM MONITORING SYSTEM (AS REQUIRED)

Architectural Sheet List

Sheet Number	Sheet Name
A0.1	Project Information
A1.1	Site Plan & Addition Plan
A2.1	Multi-Cell Cage & Multi-Aviary Addition Plans
A4.1	Building Sections

Grand total: 4

LEGAL DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294

SE 1/4 15-9-20 W4M

MUNICIPAL ADDRESS:
2124-16TH AVE.
COALDALE, AB
T1M 1N7

MUNICIPAL ADDRESS:
2124-16TH AVE.
COALDALE, AB
T1M 1N7

CLIENT INFORMATION:
**Alberta
Birds of Prey
NATURE CENTRE**

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

2	CAR	ISSUE FOR REVISED DP / BP	2020 06 01
1	LRH	ISSUE FOR DP / BP	2020 05 04

**ALVIN REINHARD FRITZ
ARCHITECT
INC.**

Norland Coach House
#10 90001 Range Road 212,
Lethbridge County, Alberta
T1J 5N9
alvinfritzarchitect.com

ph. (403) 320-8100
Fax (403) 327-3373
general@alvinfritzarchitect.com

PROFESSIONAL SEAL:
**ALVIN REINHARD FRITZ ARCHITECT INC.
PERMIT NO. 416
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA**

PROJECT :
Aviary & Multi-Cell Cage Addition

LOCATION :
Coaldale, Alberta

This design is and shall at all times remain the exclusive property of **ALVIN REINHARD FRITZ ARCHITECT INC.** and shall not be reproduced or used without the architect's written permission.

Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately.

DRAWING TITLE:
Project Information

DRAWN BY :
EVD

CHECKED BY :
LRH AF

SCALE :
1/2" = 1'-0"

PROJECT :
11147 CBMB

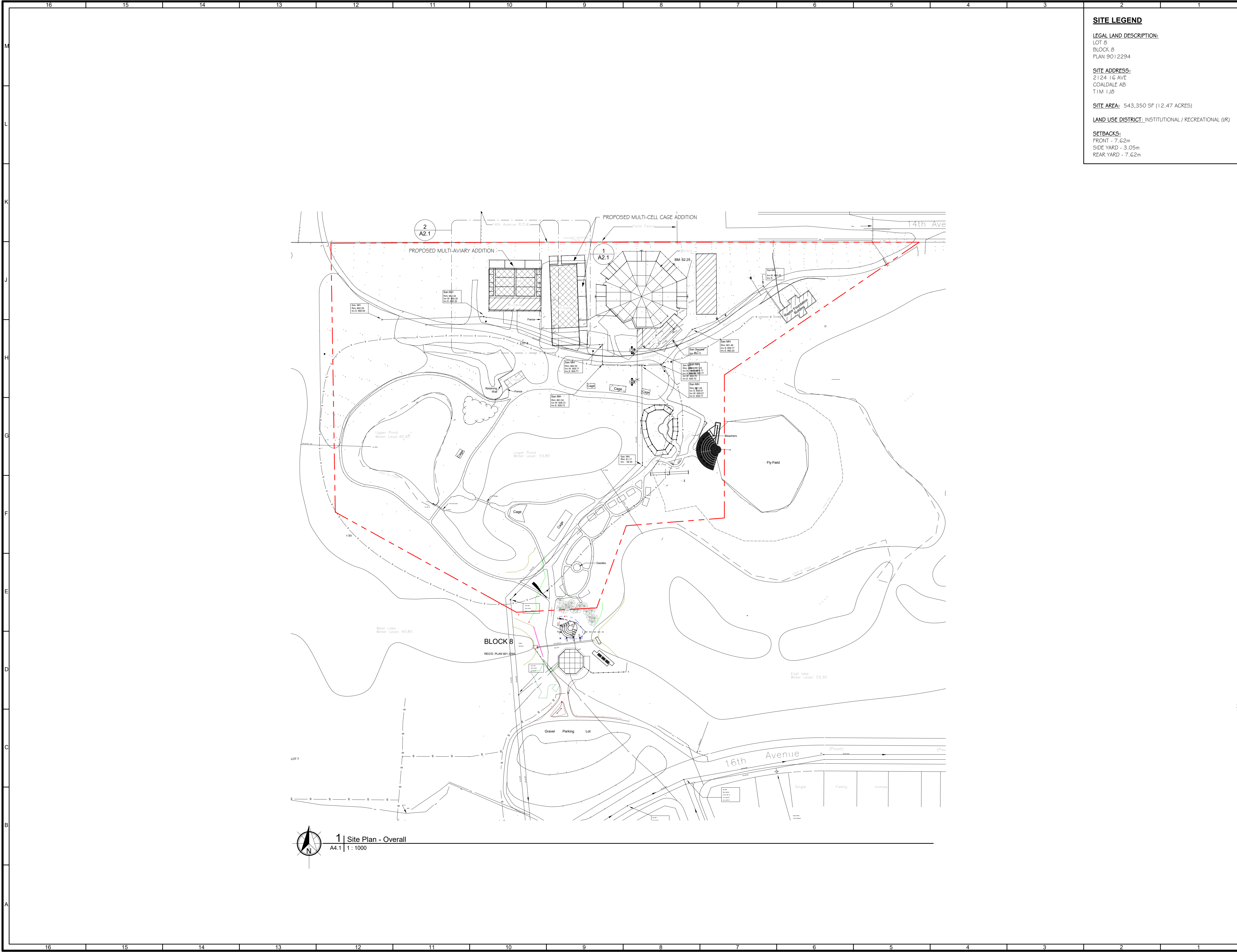
ISSUE FOR:
Issue for Revised DP / BP

ISSUE DATE:
2020 06 01

REV. NO.
SHEET NO.
A0.1

C:\Users\evandosselaar\Documents\CBMBot_Aviary Addition_V19_evandosselaar@alvinfritzarchitect.com

2020-06-01 11:46:11 AM



SITE LEGEND

LEGAL LAND DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294

SITE ADDRESS:
2124 16 AVE
COALDALE AB
T1M 1J8

SITE AREA: 543,350 SF (12.47 ACRES)

LAND USE DISTRICT: INSTITUTIONAL / RECREATIONAL (IR)

SETBACKS:
FRONT - 7.62m
SIDE YARD - 3.05m
REAR YARD - 7.62m

LEGAL DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294

MUNICIPAL ADDRESS:
2124-16TH AVE.
COALDALE, AB
T1M 1N7

CLIENT INFORMATION:



#	Description	Date
Revision Schedule		

CONSULTANT LOGO:



NO.	BY	DESCRIPTION	DATE
2	CAR	ISSUE FOR REVISED DP / BP	2020 06 01
1	LRH	ISSUE FOR DP / BP	2020 05 04

Norland Coach House
#10 90001 Range Road 212,
Lethbridge County, Alberta
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alvinfrizarchitect.com

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Fax (403) 327-3373
general@alvinfrizarchitect.com

**ALVIN REINHARD FRITZ
ARCHITECT
INC.**

PROFESSIONAL SEAL:

ALVIN REINHARD FRITZ ARCHITECT INC.
PERMIT NO. 416
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

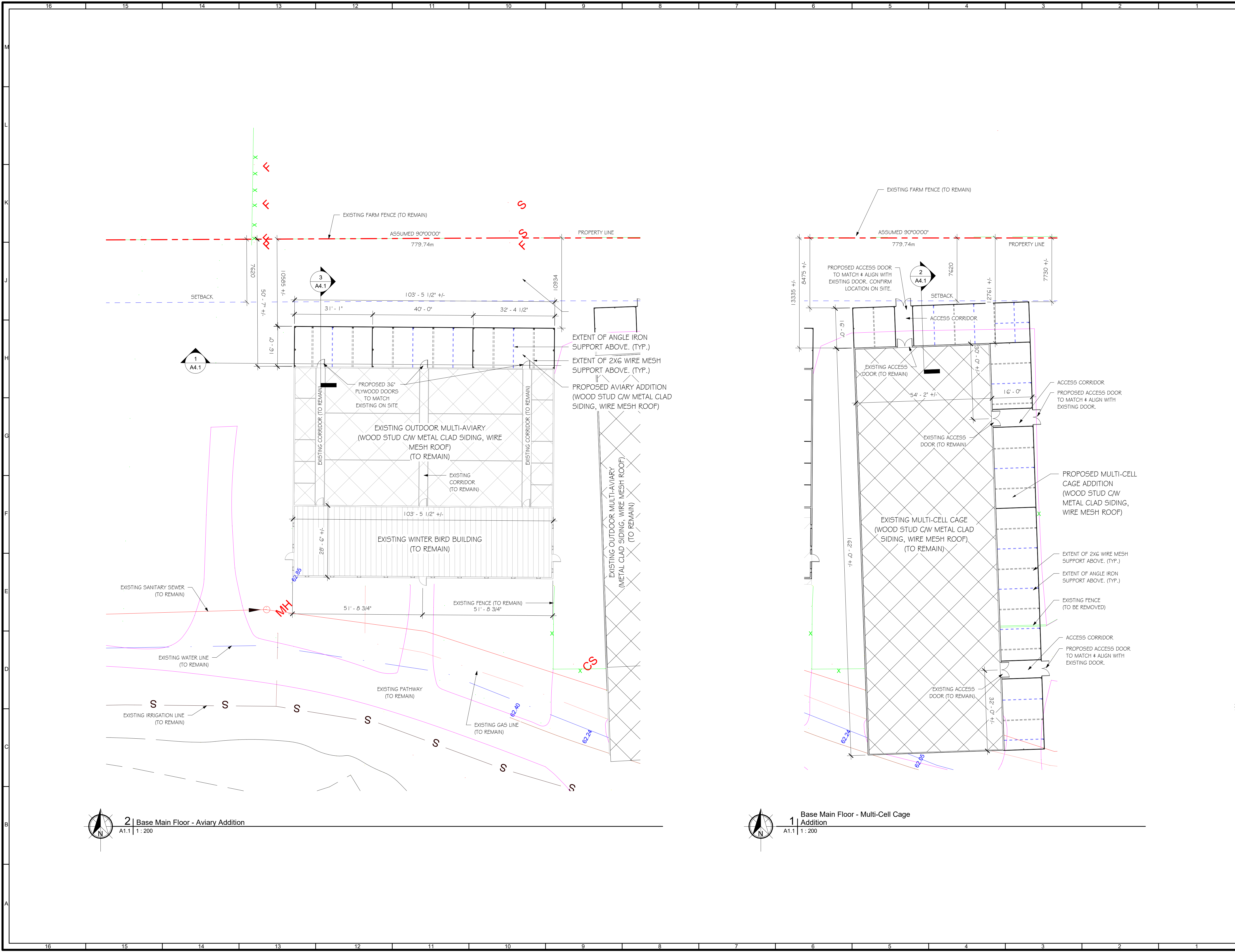
PROJECT: Aviary & Multi-Cell Cage Addition
LOCATION: Coaldale, Alberta

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Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately.

DRAWING TITLE:
Site Plan & Addition Plan

DRAWN BY: EVD	CHECKED BY: LRH AF
SCALE: As indicated	
PROJECT: 11147 CBMB	
ISSUE FOR: Issue for Revised DP / BP	
ISSUE DATE: 2020 06 01	
REV. NO. 1	SHEET NO. A1.1



LEGAL DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294
SE 1/4 15-9-20 W4M

MUNICIPAL ADDRESS:
2124-16TH AVE.
COALDALE, AB
T1M 1N7

CLIENT INFORMATION:

#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

2	CAR	ISSUE FOR REVISED DP / BP	2020 06 01
1	LRH	ISSUE FOR DP / BP	2020 05 04

NO.	BY	DESCRIPTION	DATE
ALVIN REINHARD FRITZ ARCHITECT INC.			

Norland Coach House
#10 90001 Range Road 212,
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alvinfrizarchitect.com

ph. (403) 320-8100
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general@alvinfrizarchitect.com

PROFESSIONAL SEAL:

ALVIN REINHARD FRITZ ARCHITECT INC.
PERMIT NO. 416
ISSUED PURSUANT TO THE
ARCHITECTS ACT OF ALBERTA

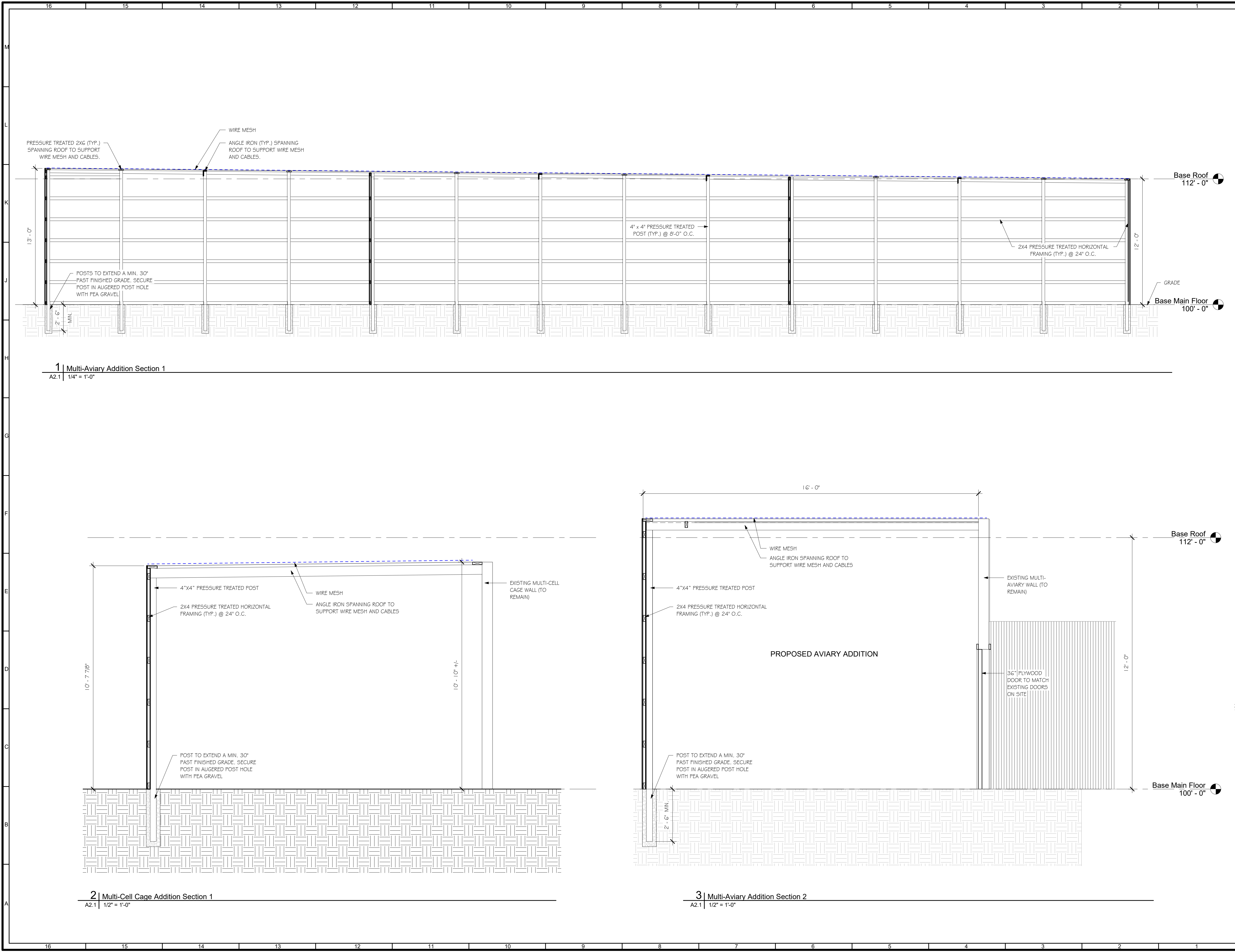
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Do not scale this drawing. All dimensions, data and levels, shall be verified prior to construction and all errors or omissions shall be reported to the architect immediately.

DRAWING TITLE:
Multi-Cell Cage & Multi-Aviary Addition Plans

DRAWN BY:	CHECKED BY:
EVD	LRH AF
SCALE:	1 : 200
PROJECT:	11147 CBMB
ISSUE FOR:	Issue for Revised DP / BP
ISSUE DATE:	2020 06 01
REV. NO.	SHEET NO.
	A2.1

PROJECT: Aviary & Multi-Cell Cage Addition
LOCATION: Coaldale, Alberta



1 | Multi-Aviary Addition Section 1
A2.1 | 1/4" = 1'-0"

2 | Multi-Cell Cage Addition Section 1
A2.1 | 1/2" = 1'-0"

3 | Multi-Aviary Addition Section 2
A2.1 | 1/2" = 1'-0"

LEGAL DESCRIPTION:
LOT 8
BLOCK 8
PLAN 9012294
SE 1/4 15-9-20 W4M
MUNICIPAL ADDRESS:
2124-16TH AVE.
COALDALE, AB
T1M 1N7

CLIENT INFORMATION:



#	Description	Date
Revision Schedule		

CONSULTANT LOGO:

1	CAR	ISSUE FOR REVISED DP / BP	2020 06 01
2	LRH	ISSUE FOR DP / BP	2020 05 04
NO.	BY	DESCRIPTION	DATE

ALVIN REINHARD FRITZ ARCHITECT INC.

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ph. (403) 320-8100
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general@alvinfritzarchitect.com

PROFESSIONAL SEAL:



ALVIN REINHARD FRITZ ARCHITECT INC.
PERMIT NO. 416
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ARCHITECTS ACT OF ALBERTA

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ARCHITECT INC.** and shall not be reproduced or
used without the architect's written permission.

Do not scale this drawing. All dimensions,
data and levels, shall be verified prior to
construction and all errors or omissions shall
be reported to the architect immediately.

DRAWING TITLE:
Building Sections

DRAWN BY: EVD	CHECKED BY: LRH AF
SCALE: As indicated	
PROJECT: 11147 CBMB	
ISSUE FOR: Issue for Revised DP / BP	
ISSUE DATE: 2020 06 01	
REV. NO. 1	SHEET NO. A4.1

PROJECT: **Aviary & Multi-Cell Cage Addition**

LOCATION: **Coaldale, Alberta**

Staff Report to the Municipal Development Authority Board

Development Application #	2020-064
Applicant	Greg and Jennifer Constant
Civic Address	260 Fairway Drive
Legal Description	Lot 68, Block 2, Plan 8510701
Zoning	Residential R-1A
Description of Application	Deck and Above-ground Pool – rear yard waiver

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of Development Application 2020-064 regarding the construction of a 30.22' wide by 32.89' deep (measured from the rear face of the home) deck and above ground swimming pool in the rear yard of the property described above. A deck and above ground swimming pool are permitted uses in the R-1A zoning.

The deck is proposed to be constructed so that it is 5.75' from the rear property boundary, 24.94' from the south property boundary, and (the swimming pool being the northernmost part of the proposed deck/pool combination) 10.77' from the north property boundary. The surface of the deck is proposed to be 4.33' in height, which would match the proposed height of the pool. In accordance with the Town's Land Use Bylaw, a deck is permitted to be a maximum of 4.6 metres (15 feet) from the rear property boundary. In this particular instance, the proposal for the deck to be 5.75' from the rear property boundary represents a waiver request beyond the 10% that is allowed to be granted by the Development Officer. As such, the application must be decided upon by the Municipal Planning Commission (MPC).

Notice of the application was sent to the neighbouring property owners and no written or verbal concerns have been submitted as of the date of the preparation of this report.

APPLICABLE SECTIONS OF THE LAND USE BYLAW:

- Land Use Bylaw, Schedule 2, Residential R-1A land use district

RECOMMENDATION

The board considers APPROVAL of Development Application (2020-064) to allow for the placement of the shed in the side yard of the property, subject to the following conditions:

1. Must obtain **approval** of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 **prior** to commencement.

2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines **prior** to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application.
4. Architectural control approval is to be provided to the Town.
5. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
6. Ensure lot drainage is maintained.
7. The building, when completed, shall meet or exceed provincial building requirements and comply with all provincial and municipal health and fire regulations.

The development must be completed in its entirety, in accordance with approved plans and conditions. Any revisions to the approved plans must be submitted for reapproval.

Respectfully Submitted:

Spencer Croil, RPP MCIP
Director of Planning and Community Development

ATTACHED FILES:

- Site Plan
- Notice to neighbouring properties
- I/R LUB excerpt

May 28, 2020

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2020-064

APPLICANT: GREG & JENNIFER CONSTANT

**ADDRESS: 260 FAIRWAY DRIVE
PLAN 8510701, BLOCK 2, LOT 68**

ZONING: RESIDENTIAL (R-1A)

Dear Sir/Madam,

We are in receipt of Development Application 2020-064 regarding the construction of a 30.22' wide by 32.89' deep (measured from the rear face of the home) deck and above ground swimming pool in the rear yard of the property described above. A deck and above ground swimming pool are permitted uses in the R-1A zoning.

The deck is proposed to be constructed so that it is 5.75' from the rear property boundary, 24.94' from the south property boundary, and (the swimming pool being the northernmost part of the proposed deck/pool combination) 10.77' from the north property boundary. The surface of the deck is proposed to be 4.33' in height, which would match the proposed height of the pool. In accordance with the Town's Land Use Bylaw, a deck is permitted to be a maximum of 4.6 metres (15 feet) from the rear property boundary. In this particular instance, the proposal for the deck to be 5.75' from the rear property boundary represents a waiver request beyond the 10% that is allowed to be granted by the Development Officer. As such, the application must be decided upon by the Municipal Planning Commission (MPC).

- **This application will be heard by the MPC at the June 10th meeting, which is to be held at 5 pm at the HUB building (2107 13th Street).**
- **Options for attending the meeting include in-person, or by virtual means.**
- **For individuals wishing to attend in-person, please review the attached guidance regarding public health measures that remain in place for the covid-19 event.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by June 4th, 2020 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, June 10th, 2020, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2020-052.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 1:00pm on Friday, June 5th, 2020 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,



Spencer Croil, RPP MCIP
Director of Planning and Community Development

cc. Applicant

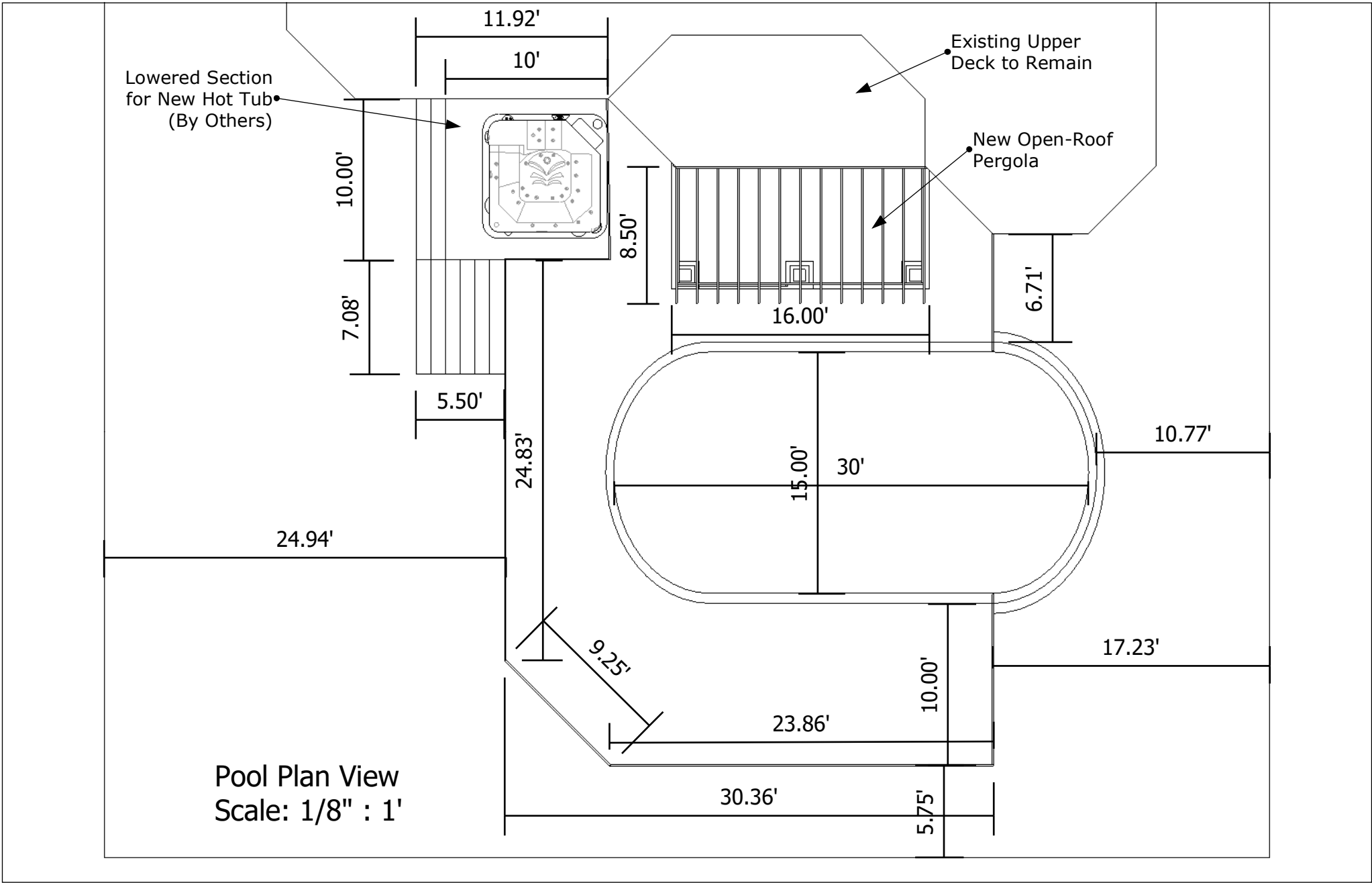




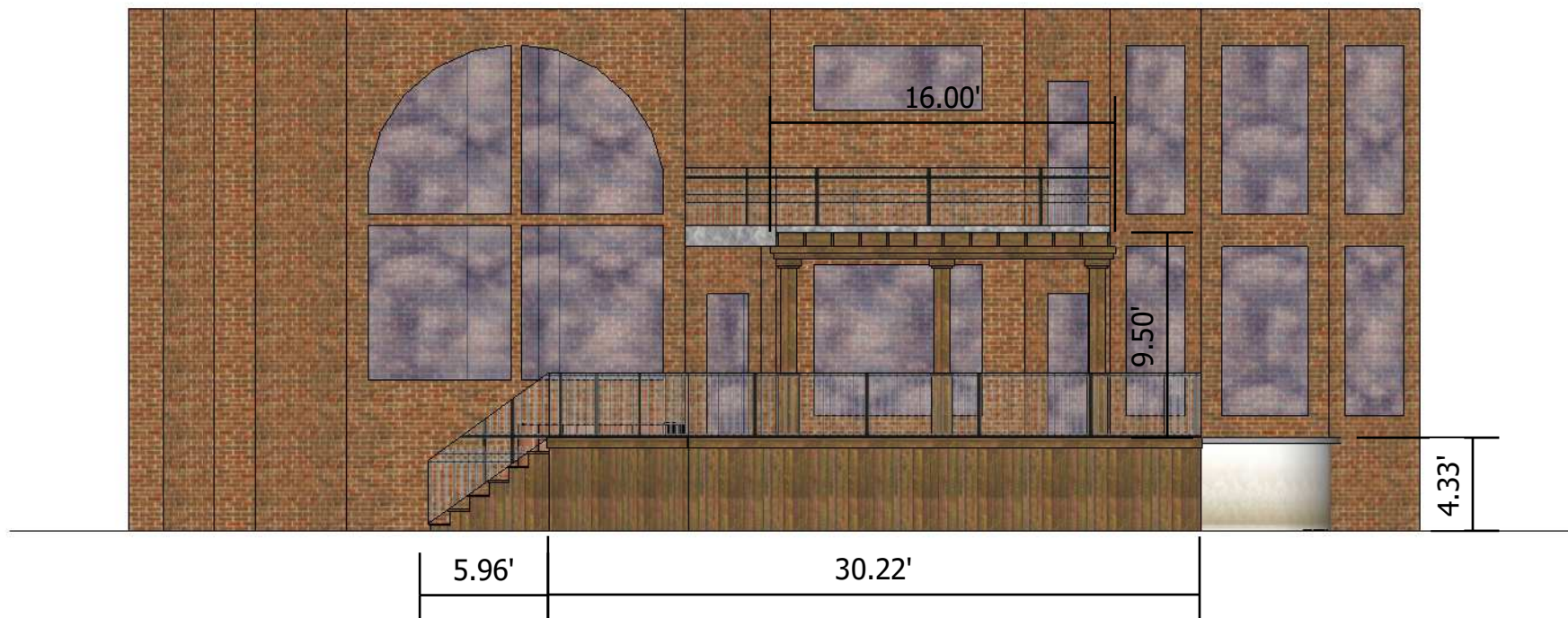
Hire-A-Handyman.ca P: 403-915-2266 E: info@hire-a-handyman.ca	Project:	Drawing Title:	Drawn By:	Date:
	Constant Backyard Renovation	Above Ground Perspective	Ryan Cann	2020-05-20
			Page #:	Invoice #:
			1A	#



Hire-A-Handyman.ca P: 403-915-2266 E: info@hire-a-handyman.ca	Project:	Drawing Title:	Drawn By:	Date:
	Constant Backyard Renovation	Above Ground Perspective	Ryan Cann	2020-05-20
			Page #:	Invoice #:
			1B	#

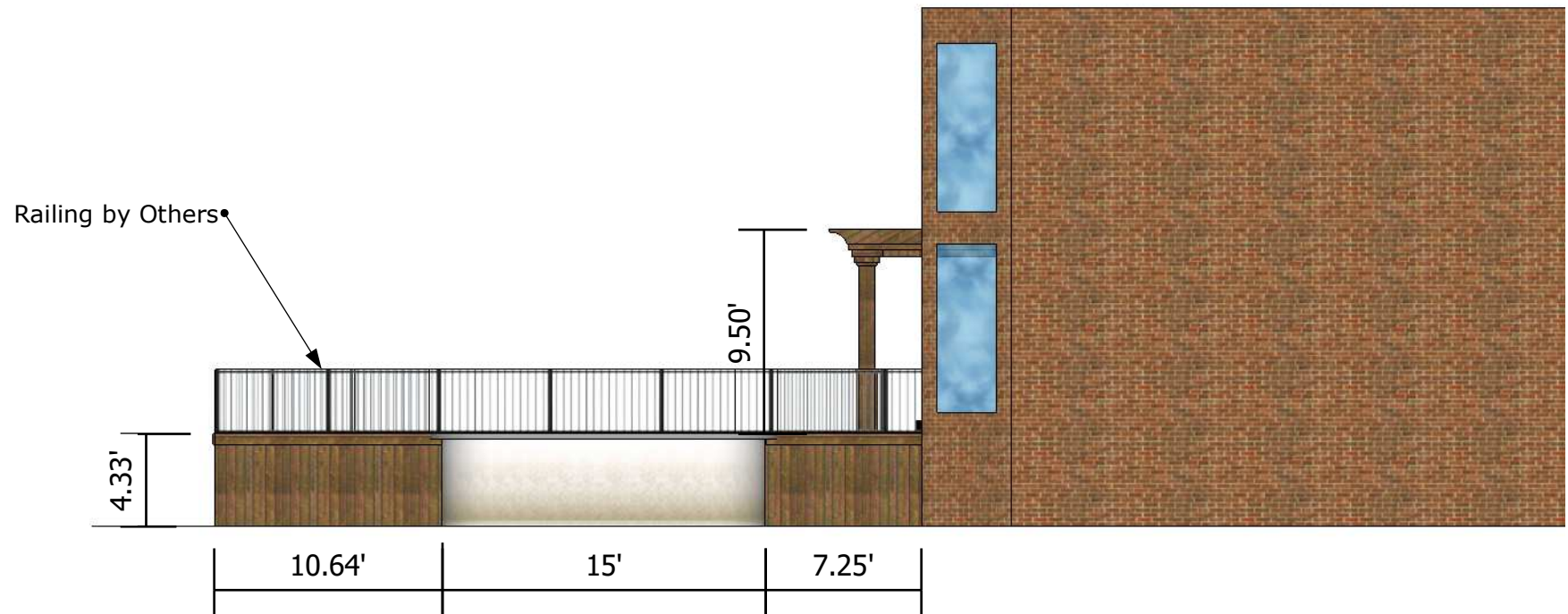


Hire-A-Handyman.ca P: 403-915-2266 E: info@hire-a-handyman.ca	Project:	Drawing Title:	Drawn By:	Date:
	Constant Backyard Renovation	Above Ground Pool Plan View	Ryan Cann	2020-05-20
			Page #:	Invoice #:
			2A	#



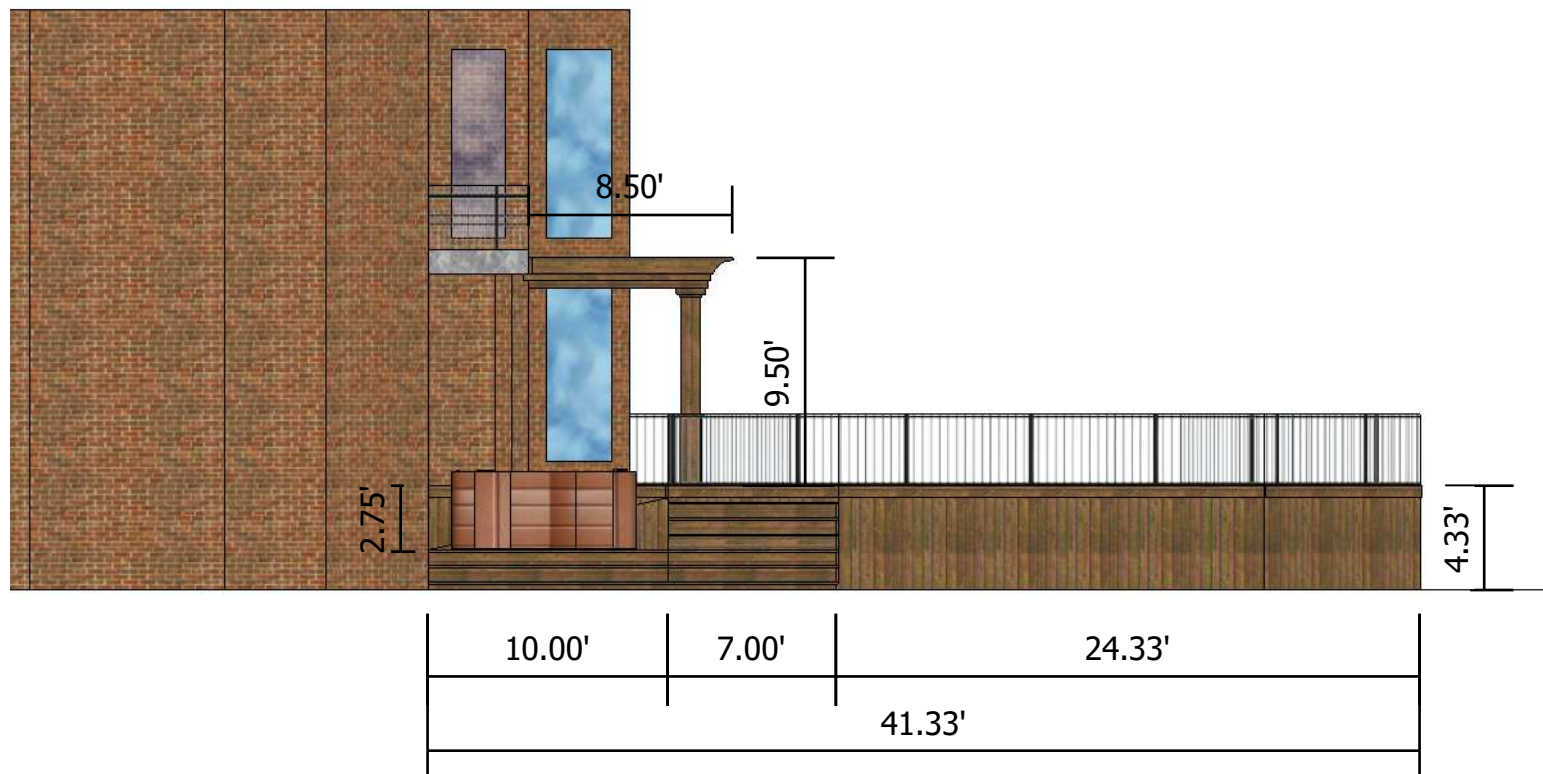
Elevation
Scale: 1/8" : 1'

Hire-A-Handyman.ca P: 403-915-2266 E: info@hire-a-handyman.ca	Project:	Drawing Title:	Drawn By:	Date:
	Constant Backyard Renovation	Above Ground Pool Elevation	Ryan Cann	2020-05-20
			Page #:	Invoice #:
			2B	#



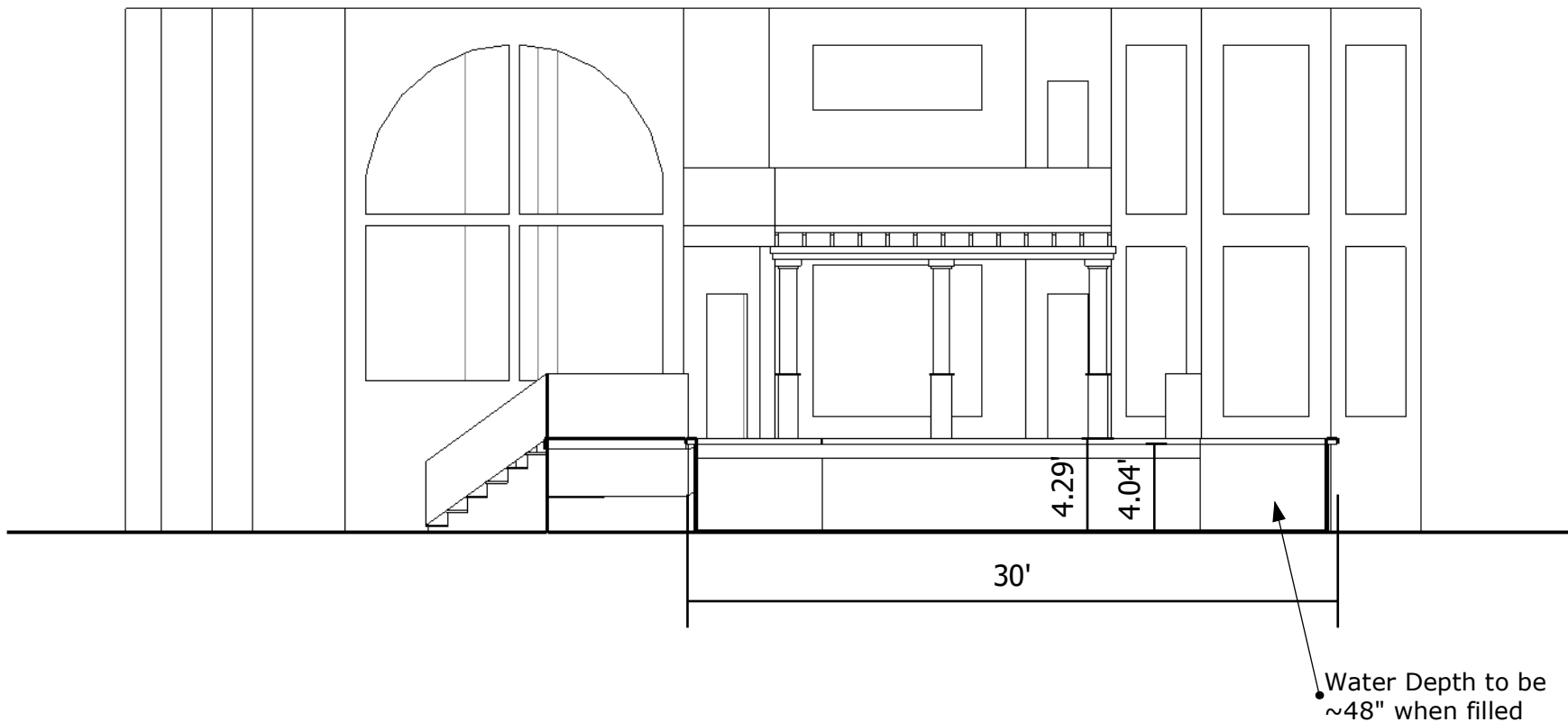
Elevation
Scale: 1/8" : 1'

Hire-A-Handyman.ca P: 403-915-2266 E: info@hire-a-handyman.ca	Project:	Drawing Title:	Drawn By:	Date:
	Constant Backyard Renovation	Right Side Elevation	Ryan Cann	2020-05-20
			Page #:	Invoice #:
			2C	#



Elevation
Scale: 1/8" : 1'

Hire-A-Handyman.ca P: 403-915-2266 E: info@hire-a-handyman.ca	Project:	Drawing Title:	Drawn By:	Date:
	Constant Backyard Renovation	Left Side Elevation	Ryan Cann	2020-05-20
			Page #:	Invoice #:
			2D	#



Elevation
Scale: 1/8" : 1'

Hire-A-Handyman.ca P: 403-915-2266 E: info@hire-a-handyman.ca	Project:	Drawing Title:	Drawn By:	Date:
	Constant Backyard Renovation	Section View Through Pool	Ryan Cann	2020-05-20
			Page #:	Invoice #:
			2D	#

LEGAL DESCRIPTION

LOT: 1
BLOCK: 3
PLAN: 161 1387
ADDRESS: 3101 - 13TH STREET
COALDALE, AB

SITE INFO.

TOTAL SITE AREA = 9785 SQ. FT.
TOTAL HOUSE FOOTPRINT = 2151 SQ. FT.
SITE COVERAGE = 22%

SQUARE FOOTAGES

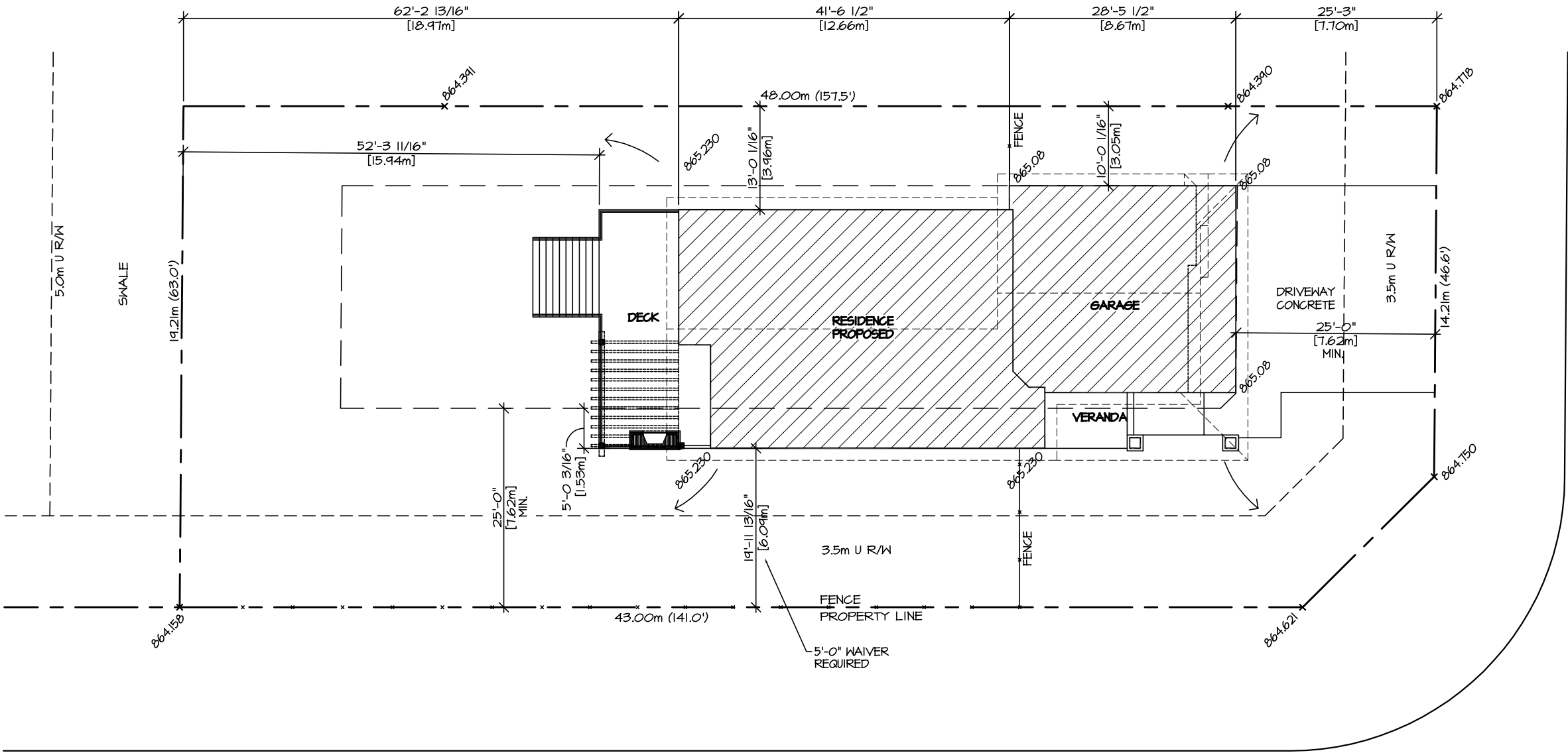
MAIN FLOOR - 1240 SQ. FT.
UPPER FLOOR - 584 SQ. FT.
BASEMENT TOTAL - 1240 SQ. FT.
BASEMENT DEVELOPED - 1021 SQ. FT.
GARAGE - 646 SQ. FT.
DECK - 352 SQ. FT.
VERANDA - 75 SQ. FT.

ELEVATIONS ♦

TOP OF MAIN FLOOR	861.41
TOP OF ENTRY FLOOR	865.74
TOP OF UPPER FLOOR	868.53
TOP OF BASEMENT SLAB	864.17
U/S OF HOUSE FOOTING	863.86
TOP OF GARAGE SLAB	865.08
U/S OF GARAGE FOOTING	863.86
SANITARY INVERT	861.878
LOWEST TOP OF FTG.	862.518
F.G. BLDG.	865.230

NOTES ♦ THE CONTRACTOR SHALL VERIFY SEWER
INVERT PRIOR TO EXCAVATION OF BASEMENT.

♦ THE CONTRACTOR SHALL USE CAUTION TO
ENSURE FOOTINGS ARE BEARING ON
UNDISTURBED SOIL.



SITE PLAN
SCALE 1/16" = 1'-0"

06/28/16 MOVED HOUSE 2" SOUTH
REVISIONS

CONSULTANTS

GRIZZLY RIDGE
DEVELOPMENTS INC.

CUSTOM-BUILT HOMES
403.894.1143
556 SIXMILE CRESENT
LETHBRIDGE, AB
T1K 5X2

VERIFY ALL DIMENSIONS AND DATUMS
PRIOR TO COMMENCEMENT OF WORK
ALL CONSTRUCTION IS TO COMPLY WITH
THE ALBERTA BUILDING CODE AND ANY
APPLICABLE LOCAL REGULATIONS.
ALL ENGINEERED BEAMS, JOISTS, AND
TRUSSES SPECIFIED ARE TO BE DESIGNED
BY THE SUPPLIER.
THE DESIGNER DOES NOT ASSUME LIABILITY
FOR ANY ERRORS AND/OR OMISSIONS
ON THESE DRAWINGS.

PROJECT TITLE
SPEC HOUSE

1829 SQ. FT. TOTAL
FIELDSTONE
COALDALE, AB

CLIENT
GRIZZLY RIDGE DEVELOPMENTS

DRAWING TITLE
SITE PLAN

DATE APRIL 2020
PROJECT NO. 1020HOME
SCALE AS SHOWN
DRAWN KLH
CADD FILE 1020_GR_1020.DWG

SHEET NO.

AO

Staff Report to the Municipal Development Authority Board

Development Application #	2020-065
Applicant	Grizzly Ridge Developments
Civic Address	3101 13 Street
Legal Description	Lot 1, Block 3, Plan 1611387
Zoning	Country Residential 2 (CR-2)
Description of Application	Single detached dwelling – secondary front yard waiver

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of Development Application 2020-065 regarding the construction of a single detached dwelling with an attached garage. The dwelling and attached garage meet the required side, rear, and primary front yard setbacks. However, in order for the dwelling to fit on the lot as designed and oriented, a secondary front yard waiver of 5' 3/16" is required. In this particular instance, the secondary front yard of the home is considered to be the yard facing 31st Avenue. The setback requirement for a secondary front yard in the CR-2 zoning is 25'. The dwelling is proposed to be located such that it is 19' 11 13/16" from the secondary front yard. The waiver being requested represents a waiver of 20%, which is in excess of the maximum 10% waiver that can be decided upon by a designated officer (Development Officer). As such, the application will be considered and decided upon by the Municipal Planning Commission (MPC) at the June MPC meeting. Notice of the application was sent to the neighbouring property owners and no written or verbal concerns have been submitted as of the date of the preparation of this report.

APPLICABLE SECTIONS OF THE LAND USE BYLAW:

- Land Use Bylaw, Schedule 2, Country Residential 2 (CR-2)

RECOMMENDATION

The board considers APPROVAL of Development Application (2020-065) to allow for the continued development of a single detached dwelling, subject to the following conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential CR-2.
4. A person to whom a Development Permit has been issued shall notify the Designated Officer following the

Stakeout of the site but prior to the commencement of construction.

5. A person to whom a Development Permit for a Single-Detached Dwelling has been issued shall provide the Designated Officer prior to construction a letter from a qualified Alberta Land Surveyor confirming that a qualified Alberta Land Surveyor conducted the Stakeout of the site for construction.
6. All elevations and grades shall comply with the Lot Grading Site Plan prepared and submitted to the Town.
7. The applicant/owner shall submit to the Town of Coaldale a soil bearing report.
8. Must obtain a competent Alberta Land Surveyor to establish the vertical grades and cuts prior to the excavation of the foundation. ***(Should the building be constructed lower than design finish grade due to a failure to survey the vertical grades for the foundation as per the lot grading design it may be at risk for flooding.)***
9. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
10. Developer/builder/applicant/owner shall comply with the Architectural Control Guidelines in Fieldstone Meadows.
11. The connection of weeping tile foundation drainage systems to the sanitary sewer services in this development is **STRICTLY PROHIBITED**.
12. Ensure water does not drain into neighbouring properties.
13. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.
14. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighborhood.

The development must be completed in its entirety, in accordance with approved plans and conditions. Any revisions to the approved plans must be submitted for reapproval.

Respectfully Submitted:

Spencer Croil, RPP MCIP
Director of Planning and Community Development

ATTACHED FILES:

- Site Plan
- Notice to Neighbouring Property Owners
- CR-2 LUB excerpt



June 1, 2020

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2020-065

APPLICANT: GRIZZLY RIDGE DEVELOPMENTS

**ADDRESS: 3101 13 STREET
PLAN 1611387, BLOCK 3, LOT 1**

ZONING: COUNTRY RESIDENTIAL 2 (CR-2)

Dear Sir/Madam,

We are in receipt of Development Application 2020-065 regarding the construction of a single detached dwelling with an attached garage.

The dwelling and attached garage meet the required side, rear, and primary front yard setbacks. However, in order for the dwelling to fit on the lot as designed and oriented, a secondary front yard waiver of 5' 3/16" is required. In this particular instance, the secondary front yard of the home is considered to be the yard facing 31st Avenue. The setback requirement for a secondary front yard in the CR-2 zoning is 25'. The dwelling is proposed to be located such that it is 19' 11 13/16" from the secondary front yard. The waiver being requested represents a waiver of 20%, which is in excess of the maximum 10% waiver that can be decided upon by a designated officer (Development Officer). As such, the application will be considered and decided upon by the Municipal Planning Commission (MPC) at the June MPC meeting.

- **This application will be heard by the MPC at the June 10th meeting, which will be held at 5 pm at the HUB building (2107 13th Street).**
- **Options for attending the meeting include in-person, or by virtual means.**
- **For individuals wishing to attend in-person, please review the attached guidance regarding public health measures that remain in place for the covid-19 event.**
- **For individuals wishing to attend by virtual means, please contact the undersigned at your earliest convenience and you will be provided instructions for virtual attendance.**

The full agenda will be posted on our website by June 4th, 2020 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>. However, if you wish to view the details of this application prior to that date please contact the Town by email or phone at buildingcoaldale@coaldale.ca or 403 345-1304 and a copy of the application can be sent to you digitally.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, June 10th, 2020, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit 2020-065.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale up to and including the date of the meeting, it is appreciated if they can be forwarded by 1:00pm on Friday, June 5th, 2020 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,



Spencer Croil, RPP MCIP
Director of Planning and Community Development

cc. Applicant



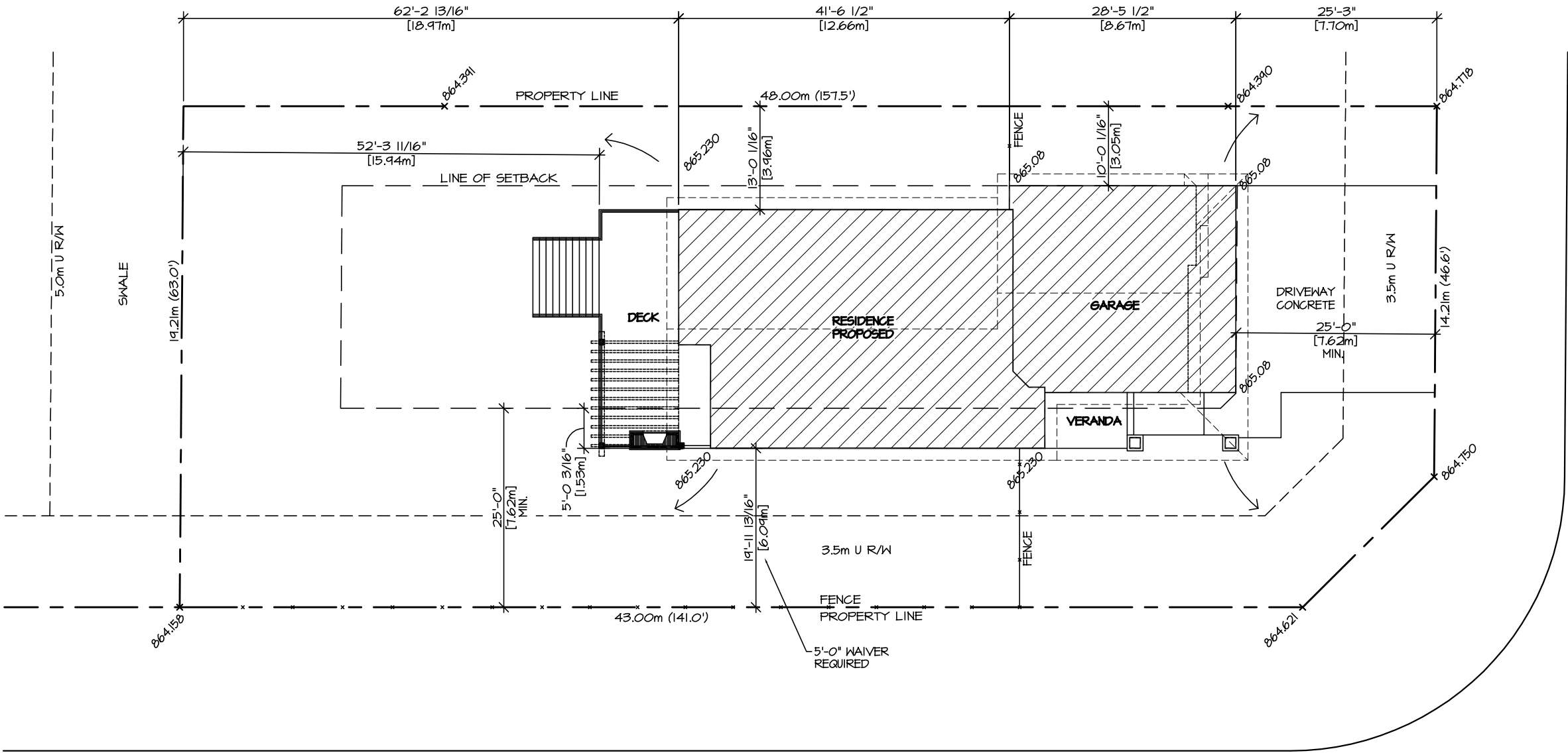
LEGAL DESCRIPTION

LOT: 1
BLOCK: 3
PLAN: 161 1387
ADDRESS: 3101 - 13TH STREET
COALDALE, AB

SITE INFO.
TOTAL SITE AREA = 9185 SQ. FT.
TOTAL HOUSE FOOTPRINT = 2185 SQ. FT.
SITE COVERAGE = 22.3%
SQUARE FOOTAGES
MAIN FLOOR - 1240 SQ. FT.
UPPER FLOOR - 612 SQ. FT.
BASEMENT TOTAL - 1240 SQ. FT.
BASEMENT DEVELOPED - 1021 SQ. FT.
GARAGE - 125 SQ. FT.
DECK - 352 SQ. FT.
VERANDA - 75 SQ. FT.

ELEVATIONS ♦	
TOP OF MAIN FLOOR	861.41
TOP OF ENTRY FLOOR	865.74
TOP OF UPPER FLOOR	868.53
TOP OF BASEMENT SLAB	864.17
U/S OF HOUSE FOOTING	863.86
TOP OF GARAGE SLAB	865.08
U/S OF GARAGE FOOTING	863.86
SANITARY INVERT	861.878
LOWEST TOP OF FTG.	862.518
F.G. BLDG.	865.230

NOTES ♦
• THE CONTRACTOR SHALL VERIFY SEWER INVERT PRIOR TO EXCAVATION OF BASEMENT.
• THE CONTRACTOR SHALL USE CAUTION TO ENSURE FOOTINGS ARE BEARING ON UNDISTURBED SOIL.



SITE PLAN
SCALE 1/16" = 1'-0"

06/01/2020 ISSUED FOR PERMITS
REVISIONS

CONSULTANTS

GRIZZLY RIDGE
DEVELOPMENTS INC.

CUSTOM-BUILT HOMES
403.894.1143
556 SIXMILE CRESENT
LETHBRIDGE, AB
T1K 5X2

VERIFY ALL DIMENSIONS AND DATUMS PRIOR TO COMMENCEMENT OF WORK
ALL CONSTRUCTION IS TO COMPLY WITH THE ALBERTA BUILDING CODE AND ANY APPLICABLE LOCAL REGULATIONS.
ALL ENGINEERED BEAMS, JOISTS, AND TRUSSES SPECIFIED ARE TO BE DESIGNED BY THE SUPPLIER.
THE DESIGNER DOES NOT ASSUME LIABILITY FOR ANY ERRORS AND/OR OMISSIONS ON THESE DRAWINGS.

PROJECT TITLE
SPEC HOUSE

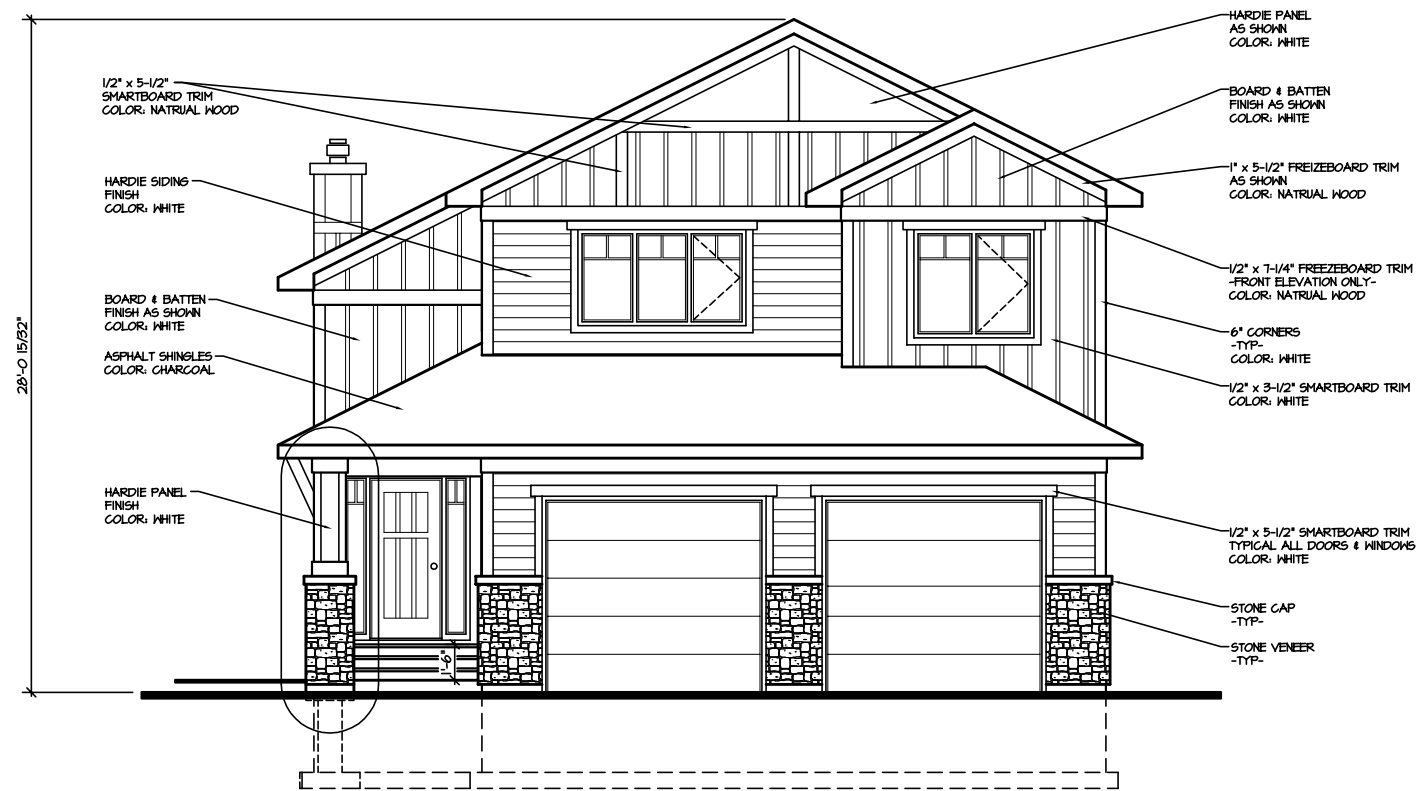
1852 SQ. FT. TOTAL
FIELDSTONE
COALDALE, AB

CLIENT
GRIZZLY RIDGE DEVELOPMENTS

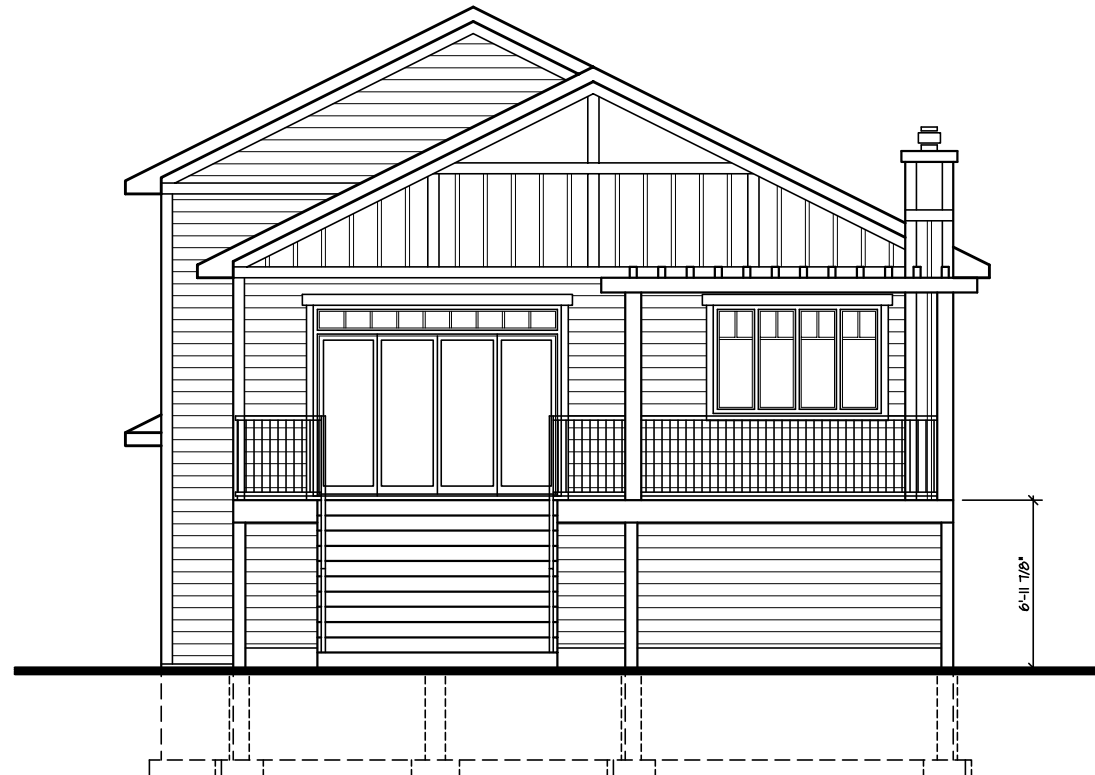
DRAWING TITLE
SITE PLAN

DATE MAY 2020
PROJECT NO. 1020HOME
SCALE AS SHOWN
DRAWN KLH
CADD FILE 1020_GR_WD2.DWG

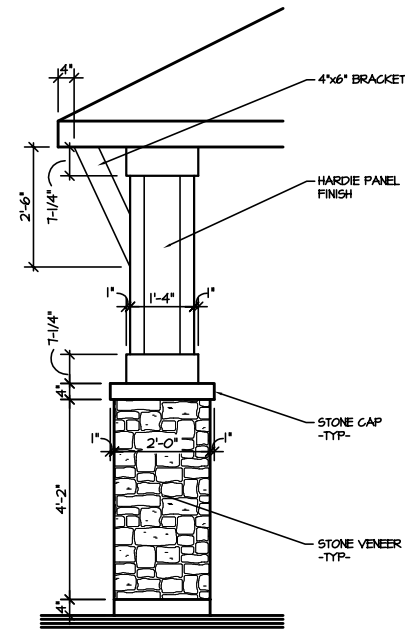
SHEET NO.
A0



1 FRONT ELEVATION
A6 SCALE 1/8" = 1'-0"



2 REAR ELEVATION
A6 SCALE 1/8" = 1'-0"



3 COLUMN DETAIL
A6 SCALE 1/4" = 1'-0"

NOTE:
ALL WINDOW AND DOOR FLASHINGS
TO BE INSTALLED IN ACCORDANCE
WITH ABC 2006

06/01/2020 ISSUED FOR PERMITS
REVISIONS

CONSULTANTS

GRIZZLY RIDGE
DEVELOPMENTS INC.

CUSTOM-BUILT HOMES
403.894.1143
556 SIXMILE CRESENT
LETHBRIDGE, AB
T1K 5X2

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TRUSSES SPECIFIED ARE TO BE DESIGNED
BY THE SUPPLIER.
THE DESIGNER DOES NOT ASSUME LIABILITY
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PROJECT TITLE
SPEC HOUSE

1852 SQ. FT. TOTAL
FIELSTONE
GOALDALE, AB

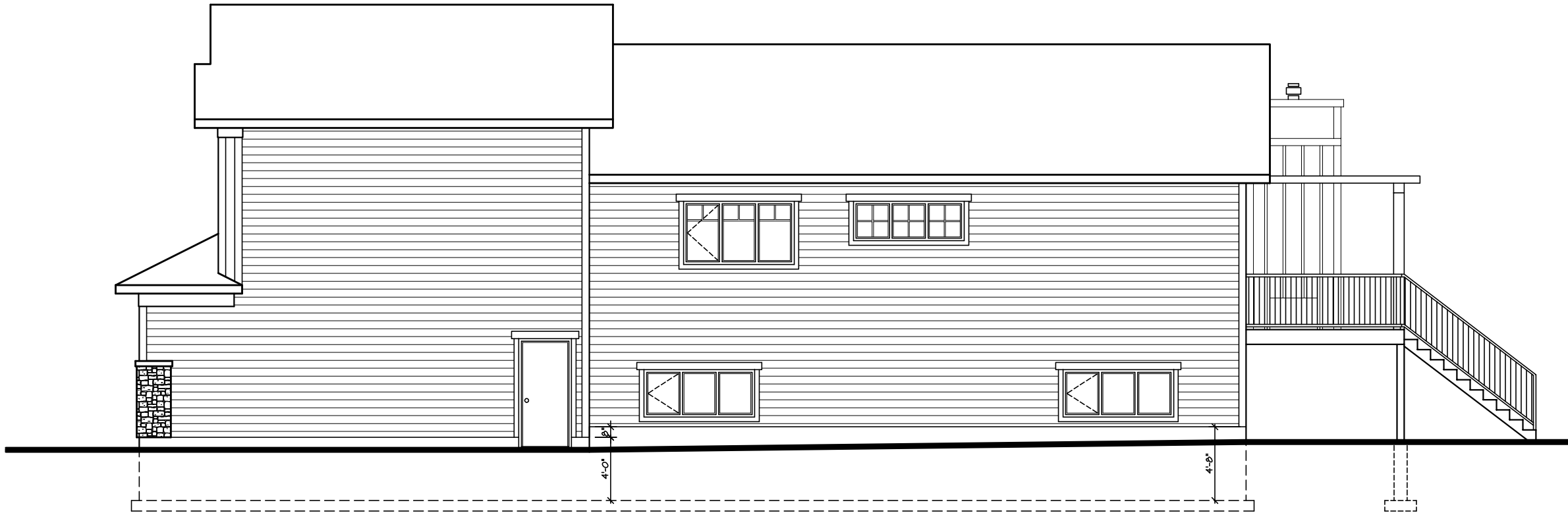
CLIENT
GRIZZLY RIDGE DEVELOPMENTS

DRAWING TITLE
ELEVATIONS

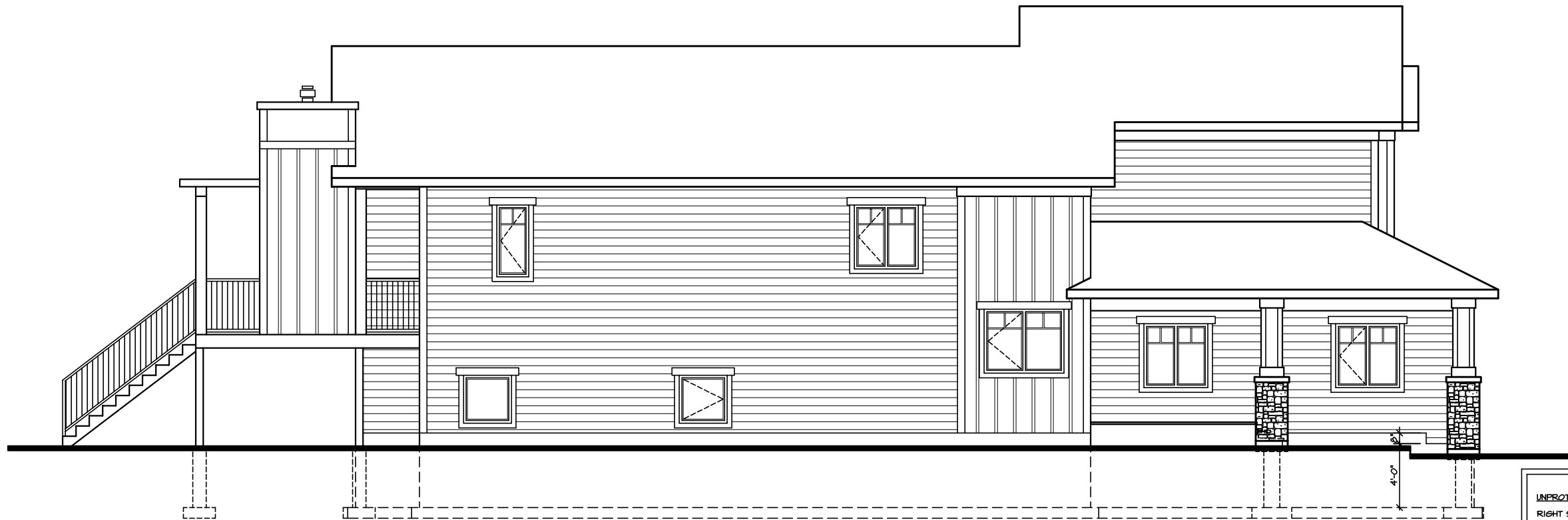
DATE MAY 2020
PROJECT NO. 1020HOME
SCALE AS SHOWN
DRAWN KLH
CADD FILE 1020_GR_1020.DWG

SHEET NO.

A6



1 RIGHT ELEVATION
A7 SCALE 1/8" = 1'-0"



2 LEFT ELEVATION
A7 SCALE 1/8" = 1'-0"

06/01/2020 ISSUED FOR PERMITS
REVISIONS

CONSULTANTS



VERIFY ALL DIMENSIONS AND DATUMS
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ALL CONSTRUCTION IS TO COMPLY WITH
THE ALBERTA BUILDING CODE AND ANY
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PROJECT TITLE
SPEC HOUSE

1852 SQ. FT. TOTAL
FIELSTONE
COALDALE, AB

CLIENT
GRIZZLY RIDGE DEVELOPMENTS

DRAWING TITLE
ELEVATIONS

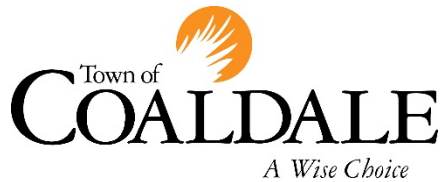
NOTE:
ALL WINDOW AND DOOR FLASHINGS
TO BE INSTALLED IN ACCORDANCE
WITH ABC 2006

UNPROTECTED OPENING CALCULATIONS (CODE 9.10.14)
RIGHT SIDE EXPOSED BUILDING FACE: 524 SF (48.68 SQM)
WINDOW OPENINGS: 20.0 SF (1.86 SQM)
CALCULATION: 20.0 SF/524 SF = 3.8%
(1.86 SQM/48.68 SQM = 3.8%)
BASED ON A LIMITING DISTANCE OF 2.4m (8'-0") MAX. 14%
LEFT SIDE EXPOSED BUILDING FACE: 682.4 SF (63.4 SQM)
WINDOW OPENINGS: 50.44 SF (4.68 SQM)
CALCULATION: 50.4 SF/682.4 SF = 7.38%
(4.68 SQM/63.4 SQM = 7.38%)
BASED ON A LIMITING DISTANCE OF 7.62m (25'-0") MAX. 56%

DATE MAY 2020
PROJECT NO. 1020HOME
SCALE AS SHOWN
DRAWN KLH
CADD FILE 1020_GR_
WD2.DWG

SHEET NO.

A7



May 27, 2020

PLEASE READ RE: COVID-19 AND TOWN MEETING REQUIREMENTS

OUT OF AN ABUNDANCE OF CAUTION AND TO ENSURE THE TOWN IS MEETING PROVINCIAL REQUIREMENTS FOR SOCIAL DISTANCING AND THE MAXIMUM ALLOWABLE SIZE OF A GROUP,

ATTENDANCE AT THE JUNE 10TH MUNICIPAL PLANNING COMMISSION MEETING INCLUDES THE FOLLOWING OPTIONS:

1. IN-PERSON ATTENDANCE

Please review the attached Province of Alberta guidance document on covid-19. If you are feeling unwell or meet any of the other parameters related to a need to avoid being in public, as listed in the document, please **do not** attend the meeting in-person.

If you do attend the meeting in-person, you will be required to follow the instructions for safe entry into the building, including but not limited to using hand sanitizer upon entrance, and not touching any surfaces or objects unless it is completely necessary to do so.

2. VIRTUAL ATTENDANCE AND/OR WRITTEN FEEDBACK

You are welcome to attend the meeting virtually. If you do wish to attend the meeting virtually, please contact us at your earliest convenience and instructions for how to attend virtually will be provided to you.

If you are unable to attend the meeting virtually, you are encouraged to provide written feedback in the form of an email or a printed (or handwritten) letter that can be dropped off at the Town Office. If you wish to provide feedback via printed or handwritten letter, please drop your submission in the Town's mail drop box, located to the right of the front doors to the office (1920, 17 Street).

If you have any questions or concerns with the above please don't hesitate to contact the Town at 403.345.1304 or buildingcoaldale@coaldale.ca.

RESIDENTIAL – R-1A



Purpose:

To provide for a high-quality residential environment with the development of primarily single-detached dwellings on standard-sized lots or semi-detached dwellings development and other compatible uses. Development is to occur on standard-sized lots as defined in this land use district.

1. (A) PERMITTED USES

- Dwellings:
 - Secondary Suite
 - Single-Detached - Site Built
 - Single-Detached - Prefabricated
 - Semi-Detached - Pre-Planned¹
- Accessory building, structure or use to an approved permitted use
- Day Home
- Detached Garage
- Garden Shed
- Home Occupation 1
- Shipping Container (temporary)

(B) DISCRETIONARY USES

- Dwellings:
 - Moved-In
 - Semi-Detached - Isolated²
- Accessory building, structure or use to an approved discretionary use
- Bed and Breakfast
- Boarding or Lodging House
- Child Care Facility
- Home Occupation 2
- Institutional Facilities and Uses
- Parks and Playgrounds
- Public or Private Utility
- Sign Types³: 2, 4, 5⁴, 12

Notes:

1 – Semi-Detached Dwelling – Pre-Planned means a semi-detached dwelling or a proposed semi-detached dwelling that **would** be located on a site designated for that purpose in an adopted Statutory Plan.

2 – Semi-Detached Dwelling – Isolated means a semi-detached dwelling or proposed semi-detached dwelling that would be located on a site **not** designated for that purpose in an adopted Statutory Plan.

3 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.

4 – See Schedule 13, subsection 8(5)(i) for restrictions on freestanding signs in residential districts.

(C) PROHIBITED USES

- Shipping Container (permanent)
- Single-detached manufactured dwellings
- Sign Types 1, 3, 6, 7, 8, 9, 10, 11
- *Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use*

2. MINIMUM LOT SIZE

Use	Width		Length		Area	
	m	ft.	m	ft.	m ²	ft ²
Single Detached Dwelling	15.24	50	33.53	110	511.00	5,500
Semi-Detached Dwellings (for each side)	10.67	35	33.53	110	357.76	3,850
All other uses	As required by the Designated Officer or Municipal Planning Commission					

- (a) The Designated Officer may approve a development on an existing registered lot if the minimum dimensions or area are less than those specified above in Section 2.
- (b) Despite the above requirements, all lots located on curves or cul-de-sacs shall have a minimum frontage of 6 m (19.68 ft.).

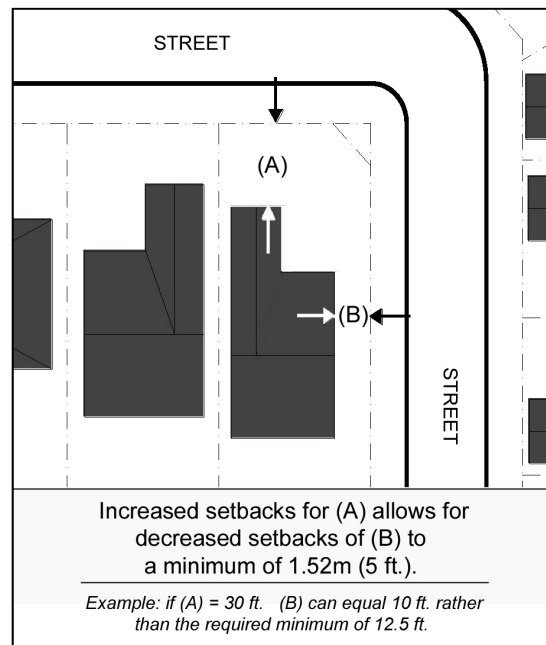
3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS AND USES

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Single-Detached Dwelling	7.62	25	3.81*	12.5*	1.52	5	7.62	25
Semi-Detached Dwellings (for each side)	7.62	25	3.81*	12.5*	1.52	5	7.62	25
All other uses	As required by the Designated Officer or Municipal Planning Commission							

Note: Measurements are from the respective property line to the nearest point of the building.

MINIMUM YARD SETBACKS FOR A CORNER LOT

*The required secondary front yard distance on a corner lot may be reduced by 0.15 m (0.5 ft.) for each 0.3 m (1 ft.) that the front yard setback is increased, providing the resulting secondary front yard setback is never less than 1.52 m (5 ft.). (see diagram)



4. MAXIMUM SITE COVERAGE

- (a) **Total allowable coverage:** 45% inclusive of all buildings
- (b) **Principal building:** 35 - 45% depending on accessory building(s)
The principal dwelling shall not occupy more than 45 percent of the surface area of a lot. Attached garages shall be considered as part of the principal building.
- (c) **Accessory buildings:** 0 - 10% depending on principal building
The combined total of all accessory buildings, including detached garages, shall be no more than 10 percent of the surface area of the lot, or less, depending on the total lot coverage of the principal building.
- (d) Other development shall be at the discretion of the Development Authority.

5. MINIMUM FLOOR AREA

Use	Minimum Floor Area*
Single-Detached Dwellings	74.32 m ² (800 ft ²)
Semi-Detached Dwellings (both units)	130.06 m ² (1,400 ft ²)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*Total floor area of all floors as measured by floors above grade or floors not more than 1.5 m (5 ft.) below grade.

6. MAXIMUM HEIGHT OF BUILDINGS

Use	Maximum Height*
Principal Dwelling	10 m (33 ft.)
Accessory Buildings	4.57 m (15 ft.)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*See definition for Building Height.

7. DRAINAGE

- (a) All dwellings and accessory structures must have eaves and downspouts, proper site grading and all surface drainage must be contained on-site and directed into approved municipal infrastructure.

8. ACCESSORY BUILDINGS (INCLUDING GARDEN SHEDS AND DETACHED GARAGES)

- (a) Minimum setbacks for accessory buildings including garden sheds and detached garages are as follows:

	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
Use	m	ft.	m	ft.	m	ft.	m	ft.
Accessory Buildings – interior lots and laneless corner lots	See (f) and (g) below.				0.90	3	0.90	3
– laned corner lots	Same as principal		3.05	10	0.90	3	0.90	3

All other uses	As required by the Designated Officer or Municipal Planning Commission
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Note: Measurements are from the respective property line to the nearest point of the building.

- (b) No accessory building or use shall be allowed on a lot without an approved principal building or use.
- (c) Accessory structures and uses not specifically included within a development permit require a separate development permit application.
- (d) Accessory buildings on interior lots or laneless corner lots shall not have overhanging eaves less than 0.61 m (2 ft.) from the side and rear lot line.
- (e) Accessory buildings on laned corner lots shall not have overhanging eaves less than 2.74 m (9 ft.) from the secondary front lot line and 0.61 m (2 ft.) from the rear and side lot lines.
- (f) Accessory buildings shall not be located in the front yard.
- (g) Accessory buildings shall not be located in a side yard between the property line and a principal building.
- (h) Accessory buildings shall have a minimum separation of 0.61 m (2 ft.) from the overhanging eaves of the accessory building and the eaves of any other structure or dwelling.
- (i) The exterior finish of all accessory buildings must be the same or complimentary to the principal building.
- (j) A minimum separation distance of 1.22 m (4 ft.) shall be provided between a principal building and any accessory building or structure.

9. MINIMUM LOT LINE SETBACKS FOR OVERHANGING EAVES

- (a) The overhanging eaves of a principal building shall not be less than 0.61 m (2 ft.) from the side lot line.

10. ARCHITECTURAL CONTROL APPROVAL

- (a) Development permits may require developer's Architectural Control review and approval PRIOR to a development permit being issued.

11. PREPLANNED OR COMPREHENSIVE DEVELOPMENTS

Applications for preplanned or comprehensive Developments or Subdivisions should be accompanied by:

- (a) **Development Concept** – A graphic rendering of the project together with a brief written summary of the concept and purpose of the development;
- (b) **Site Plans and Drawings** – Site plans, drawn to an appropriate scale, should be submitted in duplicate. Among other things, they should indicate: dimensions of all existing and proposed lots, existing and proposed roadways and public areas, parking stalls, the location of adjoining parcels and other details needed to describe the proposal;
- (c) **Topographic Details** – Topography of the site, including one metre or one-half metre contours should be provided either on the site plan or on a separate drawing;
- (d) **Contouring and Drainage** – Any proposed cutting and filling or other contouring of the site should be shown on a separate site plan. Proposed drainage of surface runoff should be detailed either on this plan or the main site plan;

- (e) **Roadways and Access** – All existing and proposed public roadways, such as streets, lanes and walkways should be shown and should include the proposed width of each as well as linkages to existing public roads;
- (f) **Development Specifications** – Specifications of the actual development should include such items as: minimum setbacks of all existing or proposed structures from lot boundaries, location, dimension and capacity of parking, driveway access points, approximate location of buildings on each lot, height of structures, etc.;
- (g) **Services and Utilities** – Information on all utilities that will be provided to the site including details pertaining to road construction, sidewalks, curb and gutter, water supply, storm sewer, sanitary sewage disposal and solid waste disposal;
- (h) **Staging of Development** – Proposed staging if the proposed Subdivision or Development will be completed in two (2) or more phases. This should be described together with the purpose of the proposed staging;
- (i) **Architectural Controls** – Any design standards such as type of roofing, building colours, sitting of buildings, fencing, etc. to be complied with;
- (j) **Other Information** – And any other information that may be required by the Development Authority to make a recommendation.

12. STANDARDS OF DEVELOPMENT	– SCHEDULE 4
13. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS	– SCHEDULE 5
14. PREFABRICATED DWELLING REGULATIONS	– SCHEDULE 6
15. HOME OCCUPATIONS	– SCHEDULE 7
16. BED AND BREAKFAST STANDARDS	– SCHEDULE 8
17. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES	– SCHEDULE 9
18. OFF-STREET PARKING AND LOADING REQUIREMENTS	– SCHEDULE 11
19. SIGN REGULATIONS	– SCHEDULE 13

INSTITUTIONAL / RECREATIONAL – I/R



Purpose:

To provide for institutional, public and semi-public uses which are compatible with each other and with adjoining uses.

1. (A) PERMITTED USES

- Accessory building, structure or use to an approved permitted use
- Government Services
- Hospital
- Outdoor Recreation and Sports fields
- Parks and Playgrounds
- Recreation, Public
- School
- Shipping Container (temporary)
- Sign Types¹: 1A, 2, 4
- Utility, Public

(B) DISCRETIONARY USES

- Accessory building, structure or use to an approved discretionary use
- Child Care Facility
- Cemetery
- Dwellings
 - Moved-in
 - Prefabricated
- Educational Institution
- Golf Course
- Institutional Facilities or Uses
- Medical/Health Facility
- Moved-In Building
- Museum
- Recreation, Private
- Public or Religious Assembly
- Sign Types¹: 1B, 3, 5, 6, 8, 9, 10, 11, 12
- Small Wind Energy System – Type A and B²
- Utility, Private

Notes: 1 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.

2 – See Schedule 4, Section 27 for definition of small wind energy system types.

(C) PROHIBITED USES

- Shipping Container (permanent)
- Sign Type 7
- Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use

2. MINIMUM LOT SIZE

All Uses – As required by the Designated Officer or Municipal Planning Commission.

3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS

	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
Use	m	ft.	m	ft.	m	ft.	m	ft.
All Uses	7.62	25	3.05	10	3.05	10	7.62	25
Accessory Buildings	As required by the Designated Officer or Municipal Planning Commission							

4. MAXIMUM SITE COVERAGE

(a) **All Buildings – 50%**

Principal buildings and accessory buildings shall not occupy more than 50 percent of the surface area of any lot within this land use district.

- | | |
|--|----------------------|
| 5. STANDARDS OF DEVELOPMENT | – SCHEDULE 4 |
| 6. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS | – SCHEDULE 5 |
| 7. PREFABRICATED DWELLING REGULATIONS | – SCHEDULE 6 |
| 8. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES | – SCHEDULE 9 |
| 9. OFF-STREET PARKING AND LOADING REQUIREMENTS | – SCHEDULE 11 |
| 10. SIGN REGULATIONS | – SCHEDULE 13 |

COUNTRY RESIDENTIAL TWO – CR-2



Purpose:

To establish a residential large lot district to ensure that any development will proceed in an orderly and economical manner.

1. (A) PERMITTED USES

- Dwellings:
 - Secondary Suite
 - Single-Detached - Prefabricated
 - Single-Detached Site Built
- Accessory building, structure or use to an approved permitted use
- Day Home
- Detached Garage
- Garden Shed
- Home Occupation 1
- Shipping Container (temporary)

(B) DISCRETIONARY USES

- Dwellings:
 - Moved-In
- Accessory building, structure or use to an approved discretionary use
- Bed and Breakfast
- Child Care Facility
- Home Occupation 2
- Moved-In Building
- Public or Private Utility
- Sign Types¹: 2, 4, 5², 12

Notes: 1 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.
2 – See Schedule 13, subsection 8(5)(i) for restrictions on freestanding signs in residential districts.

(C) PROHIBITED USES

- Shipping Container (permanent)
- Single detached manufactured dwelling
- Sign Types 1, 3, 6, 7, 8, 9, 10, 11
- *Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use.*

2. MINIMUM LOT SIZE

Use	Width		Length		Area	
	m	ft.	m	ft.	m ²	ft ²
Single-detached dwellings	24.38	80	33.52	110	817.21 (0.081 ha)	8,800 (0.20 acre)
All other uses	As required by the Designated Officer or Municipal Planning Commission					

- (a) The Designated Officer may approve a development on an existing registered lot if the minimum dimensions or area are less than those specified above in Section 2.
- (b) Despite the above requirements, all lots located on curves or cul-de-sacs shall have a minimum frontage³ of 6 m (19.68 ft.).

3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS AND USES

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Principal Use	7.62	25	7.62	25	3.05	10	6.10	20
Accessory Buildings	–	–	–	–	1.52	5	1.52	5
All other uses	As required by the Designated Officer or Municipal Planning Commission							

4. MAXIMUM SITE COVERAGE

(a) **Principal Building – 35%**

The principal building shall not occupy more than 35 percent of the surface area of a lot. Attached garages shall be considered as part of the principal building.

(b) **Accessory Buildings – 10%**

Any accessory buildings shall not occupy more than 10 percent of the surface area of a lot.

(c) Other development shall be at the discretion of the Development Authority.

5. MAXIMUM HEIGHT OF BUILDINGS

Use	Maximum Height*
Principal Dwelling	10 m (33 ft.)
Accessory Buildings	4.57 m (15 ft.)
All other uses	As required by the Designated Officer or Municipal Planning Commission

*See definition for Building Height.

6. DRAINAGE

- (a) All dwellings and accessory structures must have eaves and downspouts, proper site grading and all surface drainage must be contained on-site and directed into approved municipal infrastructure.

7. ACCESSORY BUILDINGS (INCLUDING GARDEN SHEDS AND DETACHED GARAGES)

- (a) Minimum setbacks for accessory buildings including garden sheds and detached garages are as follows:

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
Accessory Buildings	See (f) and (g) below.				3.05	10	4.57	15

Note: Measurements are from the respective property line to the nearest point of the building.

- (b) No accessory building or use shall be allowed on a lot without an approved principal building or use.

- (c) Accessory structures and uses not specifically included within a development permit require a separate development permit application.

- (d) Accessory buildings on interior lots or laneless corner lots shall not have overhanging eaves less than 0.61 m (2 ft.) from the side and rear lot line.
- (e) Accessory buildings on laned corner lots shall not have overhanging eaves less than 2.74 m (9 ft.) from the secondary front lot line and 0.61 m (2 ft.) from the rear and side lot lines.
- (f) Accessory buildings shall not be located in the front yard.
- (g) Accessory buildings shall not be located in a side yard between the property line and a principal building.
- (h) Accessory buildings shall have a minimum separation of 0.61 m (2 ft.) from the overhanging eaves of the accessory building and the eaves of any other structure or dwelling.
- (i) The exterior finish of all accessory buildings must be the same or complimentary to the principal building.
- (j) A minimum separation distance of 1.22 m (4 ft.) shall be provided between a principal building and any accessory building or structure.

8. STANDARDS OF DEVELOPMENT	– SCHEDULE 4
9. MOVED-IN DWELLING AND MOVED-IN BUILDING REGULATIONS	– SCHEDULE 5
10. PREFABRICATED DWELLING REGULATIONS	– SCHEDULE 6
11. HOME OCCUPATIONS	– SCHEDULE 7
12. BED AND BREAKFAST STANDARDS	– SCHEDULE 8
13. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES	– SCHEDULE 9
14. OFF-STREET PARKING AND LOADING REQUIREMENTS	– SCHEDULE 11
15. SIGN REGULATIONS	– SCHEDULE 13