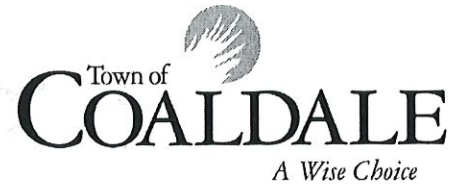


Wednesday, January 10, 2018

5:00p.m.

Town of Coaldale Council Chambers



Municipal Planning Commission Agenda

1.0 CALL TO ORDER

2.0 ADDITIONS TO THE AGENDA

3.0 ADOPTION OF THE MINUTES

December 13, 2017 meeting

4.0 BUSINESS FROM THE MINUTES

5.0 NEW BUSINESS

5.1 Development Application 2017-206
Lot Coverage waiver
2119 – 16 A Avenue

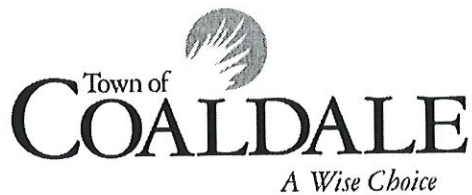
5.2 Development Application 2017-207
Side yard waiver
1405 – 29 Avenue

5.3 Development Application 2017-208
Single Detached Dwelling side yard waiver & detached garage
height waiver
3133 – 12 Street

6.0 INFORMATION ITEMS

7.0 IN-CAMERA DELIBERATIONS

8.0 ADJOURNMENT



**MUNICIPAL PLANNING COMMISSION
WEDNESDAY, December 13, 2017
5:00 PM – COUNCIL CHAMBERS**

PRESENT:	Council Members:	R. Hohm (Chairman), J. Abrey, D. Lloyd
	Director of Planning:	S. Croil
	ORRSC Planning Advisor:	R. Dyck
	Citizen Member:	R. Pitsol
	Development Officer:	C. L'Hirondelle
	Recording Secretary:	K. Bly
	Gallery:	D. & D. Kovacs, S. Bos, R. van de Vendel

1.0 CALL MEETING TO ORDER:

Chairman R. Hohm called the meeting to order at 5 p.m.

2.0 ADDITIONS TO / ADOPTION OF AGENDA :

MOTION: R. Pitsol moved to adopt the agenda.

4-0 CARRIED

3.0 ADOPTION OF MINUTES:

Municipal Planning Commission Minutes – November 8, 2017

R. Pitsol noted a correction on Page 10. He had questioned the material for the siding, it should state cement board siding.

MOTION: D. Lloyd moved to approve the November 8, 2017 minutes as amended.

4-0 CARRIED

4.0 BUSINESS ARISING FROM MINUTES: None

5.0 NEW BUSINESS:

**5.1 Subdivision Application 2017-0-179
 NE ¼ 14-9-20-W4M
 NE Industrial Park**

R. Dyck, Planning Advisor, provided the commission with an overview of Subdivision Application 2017-0-179. The subdivision is being processed on behalf of the Town of Coaldale and the proposal is to create

22 lots ranging from 0.41 ha (1.02 ac) to 1.37 ha (3.39 ac) in size, from a parcel containing 20.04 (49.52 ac), for industrial use. The parcel subject of the application is vacant and is located at the northerly end of the northeast industrial park, adjacent to Lethbridge County and is owned by the Town of Coaldale. This application represents the completion of the Town's existing industrial park, which was last expanded in 2016 (14 lots), 2012 (28 lots) and 1992 (41 lots). Two sizes of lots are proposed as part of this application. The southerly lots (14) average around 53 m (174 ft) wide and 78.5 m (257 ft) deep, with an area of approx. 1.0 acre, and are a mirror image of the lots to the south. The northerly lots (8) are wider, ranging from 82 to 100 m, and deeper, at 136 m, with an area between 3 and 3.4 acres. These larger lots have resubdivision potential given their depth and double frontage. All lot dimensions and areas are compliant with the requirements of the Land Use Bylaw.

Access and servicing to the subdivision will be provided through the dedication of a new E/W roadways – being 10th and 11th Avenues – and extensions of the existing utility network. A front shared utility right-of-way is anticipated to facilitate shallow utilities. An abandoned gas well is situated in proposed Lot 2, Block 21. A minimum 5.0 m setback from the well to future development must be maintained as per Alberta Energy Regulator Directive 079 (a note should be added to the property file for this lot to ensure compliance at the time of development permit). Comments from Alberta Transportation are being solicited so to ascertain the opinion of the Department respecting the traffic impact onto Highway 3.

As the subject lands are earmarked for "Future Industrial" in the Town's Municipal Development Plan and zoned Industry (I) in the Town's Land Use Bylaw the application should be considered for approval, subject to the Municipal Planning Commission's positive evaluation of the application, along with the following suggested conditions:

1. That an easement(s) as required by utility companies or the municipality shall be established, prior to finalization of the subdivision.

2. Consideration of any stormwater management issues (per 4.8.3 of IMDP)

3. Consideration of adjacent landowner, referral agencies and Lethbridge County comments.

RESERVE: The 10% Municipal Reserve (MR) requirement was previously deferred pursuant to Section 666 & 669 of the Municipal Government Act. A deferred reserve caveat is registered against the certificate of title in the amount of 6.889 acres. Cash-in-lieu of MR is recommended, at a land value acceptable to the Subdivision Authority, seeing as further subdivision is unlikely.

R. Dyck noted there were a number of comments received on the application and they have been included in the agenda package. There were no other comments from agencies but there were comments from a few of the adjacent landowners.

He summarized the concerns from the landowners which included garbage and construction site waste blowing onto adjacent properties, condition of the roadway, increased traffic anticipated on 8th Street and concerns about trespassing on adjacent property.

R. Dyck noted a buffer was suggested between the subdivision and 8th Street. There is already a condition in the resolution that there be a buffer.

For municipal reserve the town can take land or cash-in-lieu but in this case the town could take municipal reserve as land for a buffer on the East side of the proposed subdivision. Titled to the town the area could be constructed as a berm with trees and landscaping. There could be maintenance issues for the town in the future. He also noted the area could be used for a future trail or pedestrian corridor.

R. Pitsol questioned where the stormwater would be going on this subdivision.

S. Croil said typically on these lots the grading is from southwest to northeast.

R. Pitsol questioned if 10, 11 and 12 streets would all drain in to the stormwater area.

S. Croil said yes they would.

J. Abrey questioned if the berm should include trees to act as a sound barrier.

S. Croil said the area would be paved at some point in the future and there will be a naturalized element and landscaping.

R. van de Vendel noted in Lethbridge when there is a new subdivision they rent out fencing to limits dust and debris from reaching adjacent properties.

S. Bos questioned why construction has begun on some of the lots when there is no purchase agreement in place. What kind of arrangement was made with the Town that has allowed so much activity at the site?

R. Hohm clarified the purpose of the meeting was to discuss the subdivision application. If there is a development application there will be a hearing on that.

S. Bos said there seems to be a lot of activity for there being no arrangement or purchase agreement.

R. Hohm said if there is an issue it should be brought up with town administration, the commission is responsible for reviewing the subdivision application.

S. Bos noted curb appeal is a big issue for him with the subdivision. He questioned if the landscaping standards were the same as previously in place.

S. Croil confirmed the standards are the same. The mechanism to enforce the standards may be changing.

S. Bos said, speaking to the standards, the \$1,000 deposit is insignificant, it should be higher to ensure they are followed through on by developers. He also questioned why not having an 8 foot boulevard strip. He would like to see more uniformity and consistency through the subdivision. He also questioned the setback from the range road. He asked if it would be similar to other setbacks.

R. Dyck noted a minimum 15 foot secondary setback is required.

S. Bos said some of the remaining lots, their fence line is close to the range road.

S. Croil noted there is a proposed buffer strip of 9 metres along the east edge. It would be 15 feet back from there. The subdivision has to follow the bylaws of the municipality.

S. Bos said the town is bordering on the County. And he questioned if the County has its own requirements does it become the same for this subdivision.

S. Croil said it is different with each municipality. He noted adjacent landowners have the right to have their say when a development application comes before the commission.

S. Bos said he would like to see a consistent standard for a buffer area. He questioned who would be responsible for the range road bordering the subdivision.

S. Croil noted the town is still waiting on final approval from the province for annexation. If it is approved the road will become a town road.

S. Bos questioned how soon would there be paving or at minimum dust control. Everyone knows the traffic will flow through this area.

S. Croil said the town has a vested interest to ensure the road is maintained. Hopefully sooner rather than later for the paving in the next three year budget period.

S. Bos said with more development there will be more traffic and he questioned if that road will become a higher priority for the town. He also questioned if there will be a bridge over the drainage canal by the waste transfer station to take traffic through to Highway 845.

S. Croil said with annexation in the process, looking at the quarter section to the west of the quarter section under consideration is consider to be for industrial land. It would be a benefit to many different parties to consider a by-pass for industrial traffic rather than through town.

S. Bos said with the work already begun in this area, there is an increase in traffic and demand on the county road. Residents want it to look good on that side of town too.

D. Kovacs said he agreed with a lot of the comments from S. Bos including the need for dust control, a buffer and garbage coming off the lots. He noted he was surprised at all of the activity going on already at the site. He is located downwind of the dust, noise and odor from the industrial area. He likes the idea of a buffer zone along the range road. He would like to see another on 10th Avenue between his

property and the industrial area. He is concerned about what will happen in the future as the lots are developed. He said the town has been moving toward him, not him toward the town.

S. Croil said given the concerns from adjacent landowners there will be additional snow fence installed to address some of the concerns with material coming off the industrial lots onto adjacent property.

D. Kovacs said in the last five years he has had to clean more and more garbage out of his trees.

S. Croil said town administration will be open to having discussions on the adjacent landowners' concerns.

R. Pitsol questioned, with the construction, can snow fence be put up along the property while the land is under development.

S. Croil said the fencing would be up year round and will hopefully capture a lot of the debris and construction materials. It would be up until the landscaping and buffer is completed.

R. Pitsol said the town wants to be good neighbours. With the fence we can contain some of the debris but it could take three or four years of development but it is completed.

S. Croil noted the land developer is responsible for keeping the construction debris on their site. There might be the need for additional enforcement.

R. Pitsol questioned if that would be in the form of fines.

S. Croil said potentially it could be fines or visits to the sites and reminders to keep debris from blowing away.

D. Kovacs said he sees a lot of debris on a daily basis. Some may be from the transfer station. He doesn't know where it is coming from. He feels for the other neighbours dealing with garbage. He would like to see something to reduce this problem during and after construction. At some point there is going to have to be a fence between his land and the subdivision to reduce trespassing.

R. Dyck expressed appreciation for the input from the landowners on the subdivision.

S. Bos asked who he can address about the activity on the site.

R. Hohm said he could contact S. Croil directly.

R. Pistol said he likes the idea of the buffer zone on the east side by 8th Street. It gives a green strip. He also likes the idea of the snow fence but not sure how anyone can prevent the trespassing.

R. Dyck said the Kovacs own the acreage. He indicated the area on the map showing where the area is that people drive on between the shrubs and the property line. He could possibly work with the town on a shared fence or they could fence their property.

R. Pitsol questioned if there will be a borrow pit or pave and curb along 12 Avenue.

R. Dyck there will be a profile to the road depending on the stormwater conveyance.

R. Pitsol asked if it was similar to the existing to the south.

R. Dyck questioned if there was any engineering done on the road profile yet.

R. Pitsol if it would be paved as is the existing with no borrow pit.

S. Croil said there may be a ditch on the north side of the 10th and there may be deferred paving with gravel to begin with but those details have not been worked out yet.

R. Pitsol said if lots are sold and people are willing to start developing the paving would go in but if it sits quiet for a bit you will have a gravel road for a bit.

R. Dyck said once the road construction is done the property line will be delineated. It will be more obvious. He still has a 10 foot strip and he might want to look at putting in more trees and shrubs.

R. Pitsol asked if the acreage owner is aware of that.

R. Dyck said the issue is there is a gap and some people are using it as an access.

D. Lloyd said she would rather see a wind screen and not a snow fence installed.

S. Croil said that is an operational issue.

J. Abrey questioned who is already working at the site and that information should be passed on to board members so they are made aware of the situation before it comes before the MPC.

R. Hohm said the purchaser of three of the bigger lots in the middle of the subdivision has been moving dirt without a development application or purchase agreement.

D. Lloyd said they want to move the topsoil before the snow comes.

R. Pitsol said work was going on Monday. He questioned the wisdom of starting without permits in place.

R. Hohm said it is a concern. He questioned if there is an opportunity to have a 30 foot buffer, being considered on the east side also go down the north side.

R. Pitsol asked if there is a buffer on the north.

R. Hohm said no. He noted everyone knows what is going in on the site that is currently moving dirt but no development application has come before the commission yet.

S. Croil said the municipal reserve strip on the east side is justifiable given the direction of the wind. The town is trying to put controls in place for better control of landscaping.

R. Pitsol questioned the requirements for commercial properties. The 10 per cent landscaping and the tree requirement. He drove the area and there is very little green.

S. Croil said the landscaping is an ongoing issue. Currently they have to pay a \$1,000 deposit for landscaping. The \$1,000 is nothing to a developer. He would recommend to Town Council and the Commission that the amount be increased. And that landscaping be included in applications with a value and 50 per cent of the cost could be held in trust until the work is completed.

R. Pitsol questioned if the City of Lethbridge does that.

S. Croil said he was not sure about the city but a lot of communities do have it in place.

R. Pitsol said at \$1,000 a developer would just eat it.

S. Croil questioned how much additional work the town wants to put on its plate and on to its staff with the linear strips. Should the responsibility be put back on the owners?

R. Hohm questioned if the commission could add it as a condition of the approval at a 50 per cent landscaping value hold back.

S. Croil said the commission can pass on the recommendation to council for that change. He noted C. L'Hirondelle has already been working on this.

R. Dyck said it is one thing to put in landscaping requirements but then the issue becomes who has to maintain it. If the municipality retains ownership they have control over it. It is a benefit for the area. It will impact the lot sizes if there is a buffer on the north side. He also questioned if the commission was OK with the value rate attached to the land for the municipal reserve.

R. Hohm said the \$400 is basically zero.

R. Dyck noted the farm land assessment is not close to market value.

S. Croil noted almost always the assessed value of the unimproved land is used when looking at the cost of MR if you are going to pay a portion with cash. The Town would have to put the total amount in the town's reserve.

R. Dyck on the issue of the municipal reserve the applicant can produce an appraisal and you go with the appraised value. In this region the municipality and the applicant agree on a rate. When it comes to farm land in an urban setting the value is not even close. It would be more like adding another zero.

R. Hohm said the assessed value of agricultural land in this area is nothing less than \$3,000 to \$4,000 an acre.

S. Croil said this is tax assessed value.

R. Hohm said it is noted as market value.

R. Dyck said the market value should come out of there.

S. Croil said with something like an appraisal on undeveloped land, the town has more of an ability to demonstrate to other potential private developers that the town is doing their part to pay the fees as well.

R. Hohm said there is an issue with the price.

R. Dyck said a price needs to be established tonight.
R. Hohm said in this area it would be hard to purchase agricultural land for under \$4,000 an acre.
R. Dyck noted by the letter of the law the value has to be noted at the time of the subdivision approval.
S. Croil said the payment could be deferred to one of the lots held in the town's name.
R. Dyck said if one of the lots is likely to be resubdivided it could be deferred to that lot and dealt with at that time. He offered several options for setting a value.

MOTION: R. Pitsol moved Subdivision Application 2017-0-179 be approved with the conditions as discussed with a 9.1 m buffer on the east side, a municipal reserve value of \$4,500 per acre and administration to determine the controls for garbage debris on the proposed site. And further that a second line be added in the informative section that the purpose of the MR buffer be used for fencing and landscaping.

4-0 CARRIED

**5.2 Development Application 2017-196
Fence height waiver
2805-21 Avenue**

C. L'Hirondelle provided an overview of the application for a fence height waiver for the new Home Hardware property. The wind fence would be located on the west property line. The maximum height allowed without a waiver is 6 feet and the application is for a height waiver to allow for a 15 foot fence.
R. Pitsol noted in the application is should be 15 feet not 16 feet as noted in the description.
R. van de Vendel said the materials were ready to go when they realized no application had been made for the height waiver. He noted the netting for the fence is 15 foot high, the posts would be three or four inches higher.
R. Pitsol asked if he did the fencing at the loading dock.
R. van de Vendel said yes but it is only at 10 feet. He does a lot of 15 footers at sites, mostly recently at the recycling depots in Lethbridge. It is a fairly common fence for them to install.
D. Lloyd questioned if the shelves are going that high.
R. van de Vendel said the fence is required at that height to protect the yard for both litter control and safety for the guys working in the storage compound. A wind fence would not be affected over the full width of the yard.
R. Pitsol said the fence height also needed to protect the overhead loading doors during windy conditions.
D. Lloyd questioned if it is Coaldale Nurseries on the other side of the fence and if they were OK with the application.
C. L'Hirondelle noted letters were circulated to other properties and no letters were received.
R. van de Vendel said if the application is approved can it be appealed.
C L'Hirondelle said the appeal period is done January 2, 2018.
S. Croil said a development permit can be appealed. Individual property owners can not appeal a subdivision but they can appeal a development permit.

BACKGROUND/DESCRIPTION OF APPLICATION:

The applicant requests approval for a 16' high wind fence on the west property line extending 247.7' in length from the southwest corner, north. The fence will be used as a wind barrier and also a visual barrier for the neighboring property as the rear yard will be used for lumber storage. Fence height restrictions are explained in Schedule 4, Section 14 and Schedule 14 (pg. 36) of the Land Use Bylaw.

Notice of the application was sent to adjacent properties and no verbal or written concerns have been brought forward.

In addition to the approval and refusal options below, the MPC could consider an approval conditional upon the fence height being reduced.

OPTIONS:

The board may consider APPROVAL of Development Application (#2017-196) subject to the following recommended conditions:

1. Shall contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines ***PRIOR*** to commencement.
2. The fence shall not exceed 15' in height at the location and with the materials specified in the development permit application. All fences aside from this portion shall comply with the height standards of the current Land Use Bylaw 677-P-04-13, Section 14 of Schedule 4.
3. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
4. All surface water must drain from the building site to the street and/or lane and not adversely affect neighboring properties. Should retaining walls be required they are at the expense of the developer

The board may consider REFUSAL of Development Application (#2017-196) for the following reasons:

The fence exceeds the maximum height as established in Schedule 4, Section 14 of the Land Use Bylaw and the Development Authority is not prepared to issue a variance pursuant to section 37(c)(i) of the Land Use Bylaw.

MOTION: J. Abrey moved Development Application 2017-196 be approved with a fence height waiver in order to keep debris from blowing around.

4-0 CARRIED

Chairman R. Hohm closed the public portion of the meeting at 5:36 p.m.

MOTION: R. Pitsol moved to adjourn meeting at 5:59 p.m.

4-0 CARRIED



CHAIR- ROGER HOHM

RECORDING SECRETARY- KATE BLY

Staff Report to the Municipal Planning Commission

DEVELOPMENT PERMIT #:	2017-206
APPLICANT:	Chad Conrad
TYPE OF DEVELOPMENT:	Detached Garage
CIVIC ADDRESS:	2119 – 16 A Avenue
LEGAL DESCRIPTION:	Plan 8410568, Block 4, Lot 3
LAND USE ZONING:	Residential R-1A
USE:	Single Detached Dwelling
PARKING:	n/a
SETBACKS & HEIGHT:	Lot Coverage – 15% (required 10%)
SIGNS:	n/a
ARCHITECTURAL CONTROLS	n/a

BACKGROUND/DESCRIPTION OF APPLICATION:

The above mentioned property currently has a Single-Detached Dwelling built and a detached garage on it. The Town of Coaldale has received a development permit application for an addition to the existing detached structure that would then cover more lot area than allowed. Lot coverage requirements are set out in the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential R-1A.

Notice of the application was sent to adjacent properties and no written or verbal concerns have been brought forward to date.

OPTIONS:

The board may consider APPROVAL of Development Application (#2017-206) subject to the following recommended conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential R-1A.
4. A minimum separation distance of 4' shall be provided between a principal building and any accessory building.

5. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
6. Ensure lot drainage is maintained.
7. The building, when completed, shall meet or exceed provincial building requirements and comply with all provincial and municipal health and fire regulations.

The board may consider REFUSAL of Development Application (#2017-206).

Respectfully Submitted:



Cindy L'Hirondelle
Manager of Development & Environmental Services

ATTACHED FILES:

- Site Plan
- Notice to Neighbouring Property Owners
- Building Plans

Approved in accordance with
Development Permit No. 2009-032
Town of Coaldale
Date MAR - 5 2009
Signed [Signature]
Development Officer





December 20, 2017

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2017-206

APPLICANT: CHAD CONRAD

ADDRESS: 2119 – 16 A AVENUE, COALDALE, ALBERTA
PLAN 8410568, BLOCK 4, LOT 3

ZONING: RESIDENTIAL – R-1A

Dear Sir/Madam,

We are in receipt of Development Application #2017-206, for an addition to the detached garage to be constructed at the above mentioned address. The requested waiver is for lot coverage for the existing detached garage with addition. Once the addition is completed the whole detached garage will cover 15% of the lot area whereas Land Use Bylaw 677-P-04-13 only allows a maximum of 10% of the lot to be covered by accessory structures (detached garages).

The Town of Coaldale Land-Use Bylaw states that any waiver greater than 10% shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

The full agenda will be posted on our website, www.coaldale.ca, by January 5, 2018.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, January 10, 2018, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2017-206) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 – 17 Street Coaldale, Alberta.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Friday, January 5, 2018 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

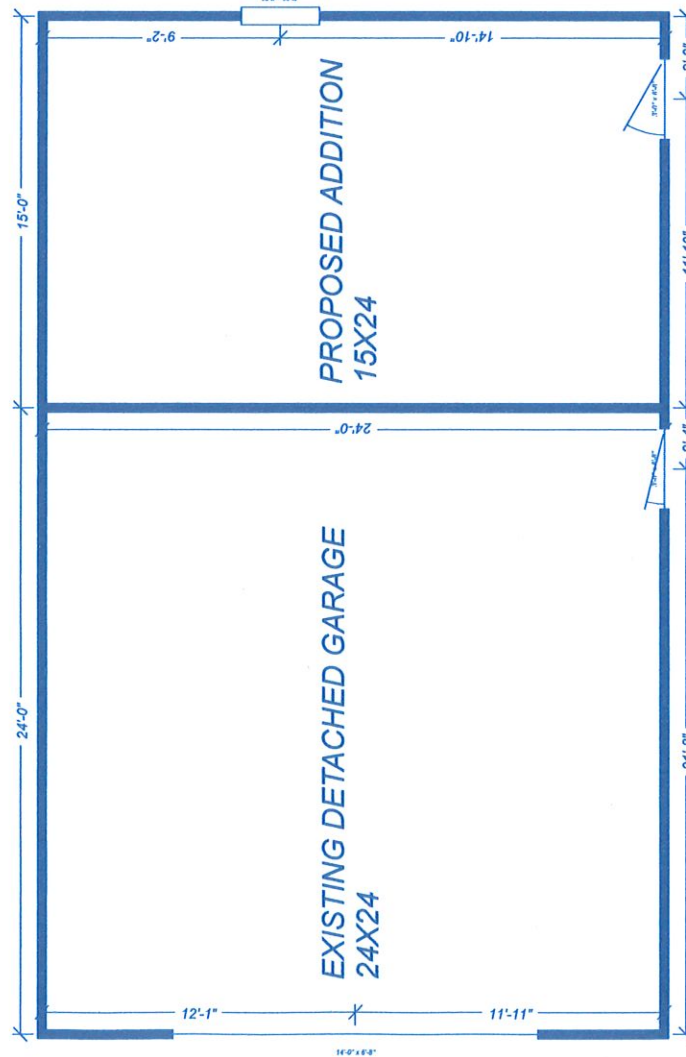
Sincerely,

Cindy L'Hirondelle
Manager of Development & Environmental Services

cc. Applicant



Conrad Garage Addition 2017

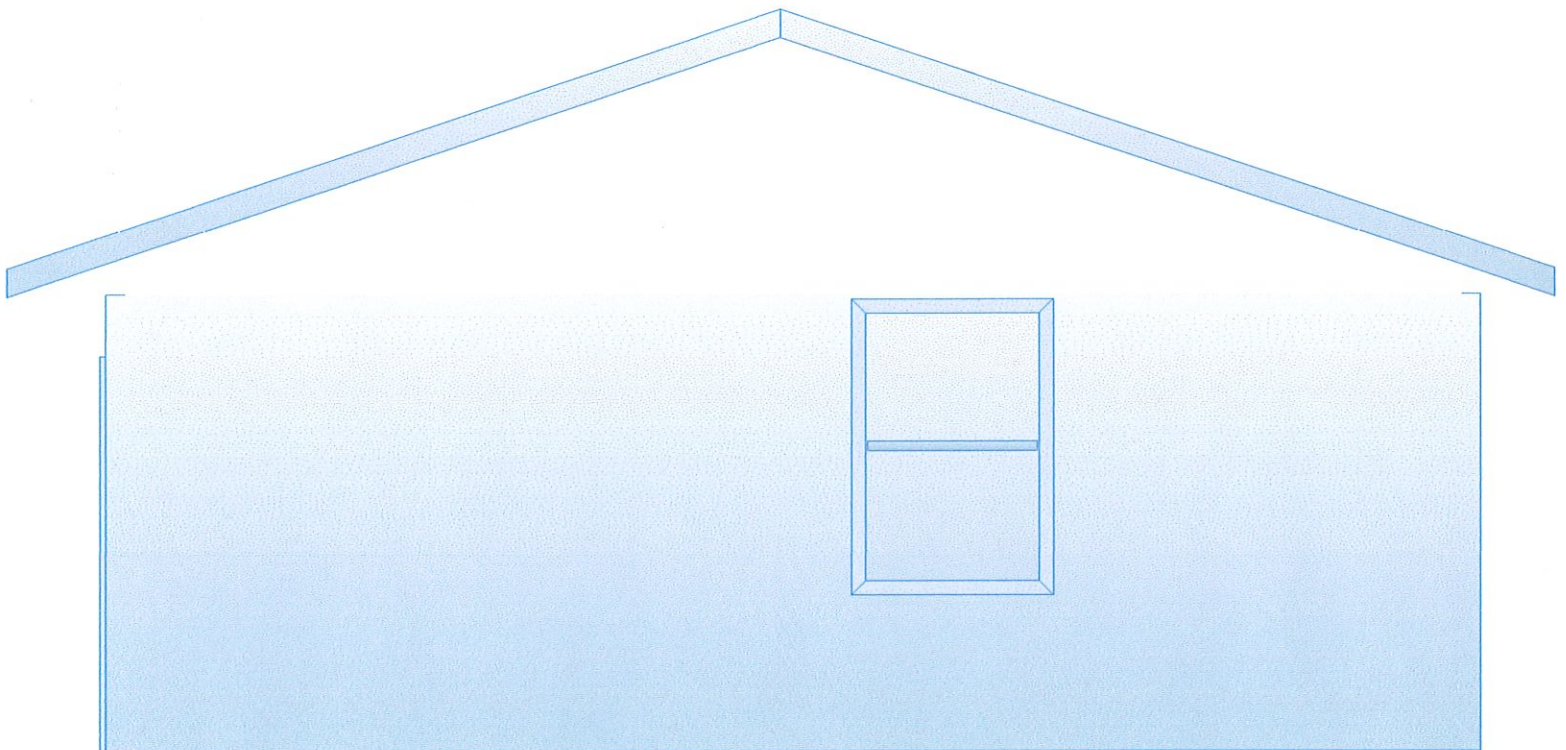


Wall design:
 2x6 framing 16" O.C.
 96" wall height
 Exterior finish:
 Vinyl siding
 Aluminum soffit & Fascia

Roof:
 Engineered Trusses, 24" O.C.
 braced as per manufacturers specs
~~OSB~~ OSB sheathing
 Asphalt shingles
 16" eave projection

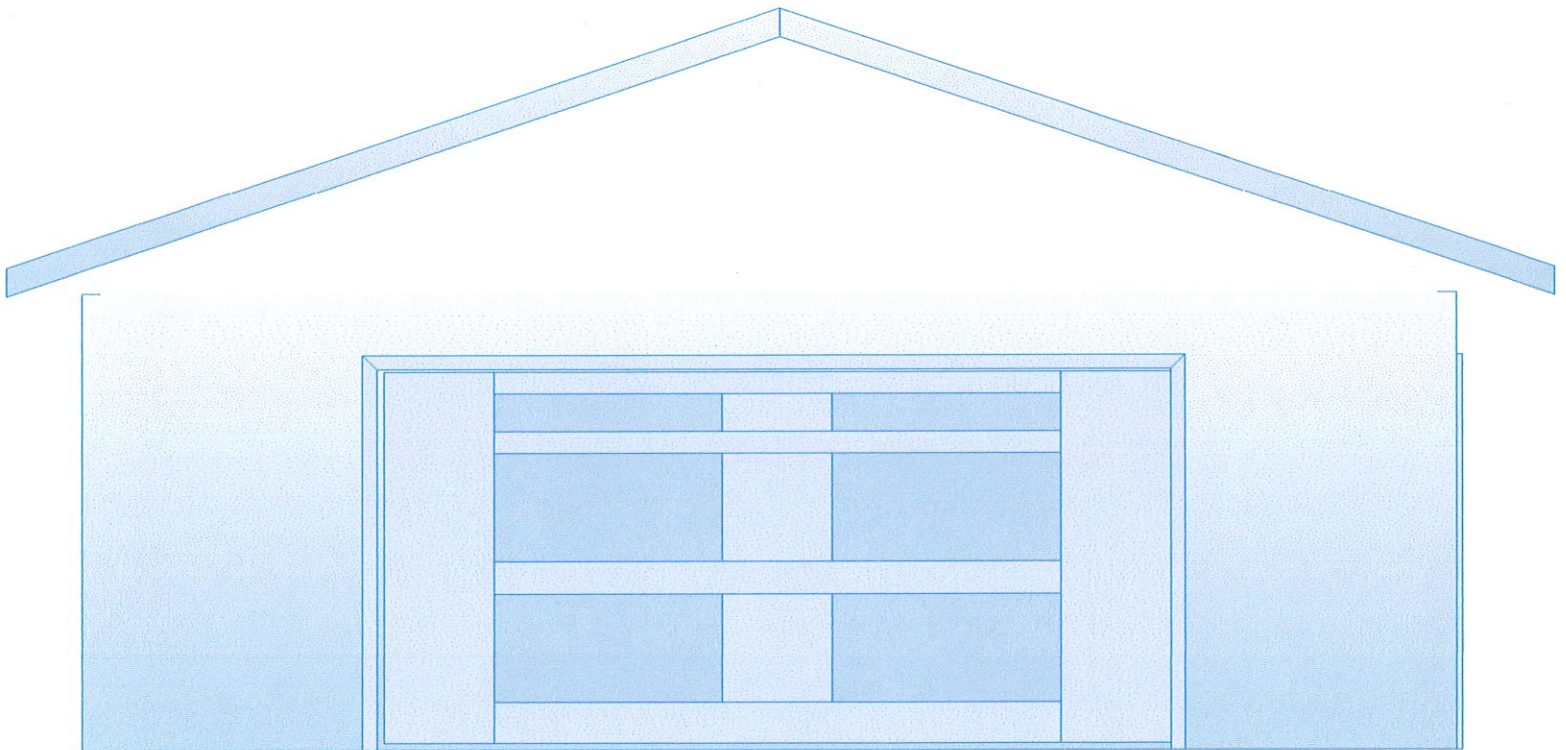
Foundation:
 4" thick concrete slab 25Mpa with
 12"x12" thickening around perimeter
 15mm rebar re-enforcing
 Rebar tied into existing pad along adjoining wall
 Walls Secured to foundation with anchor bolts 6' O.C.

Conrad Garage Addition 2017



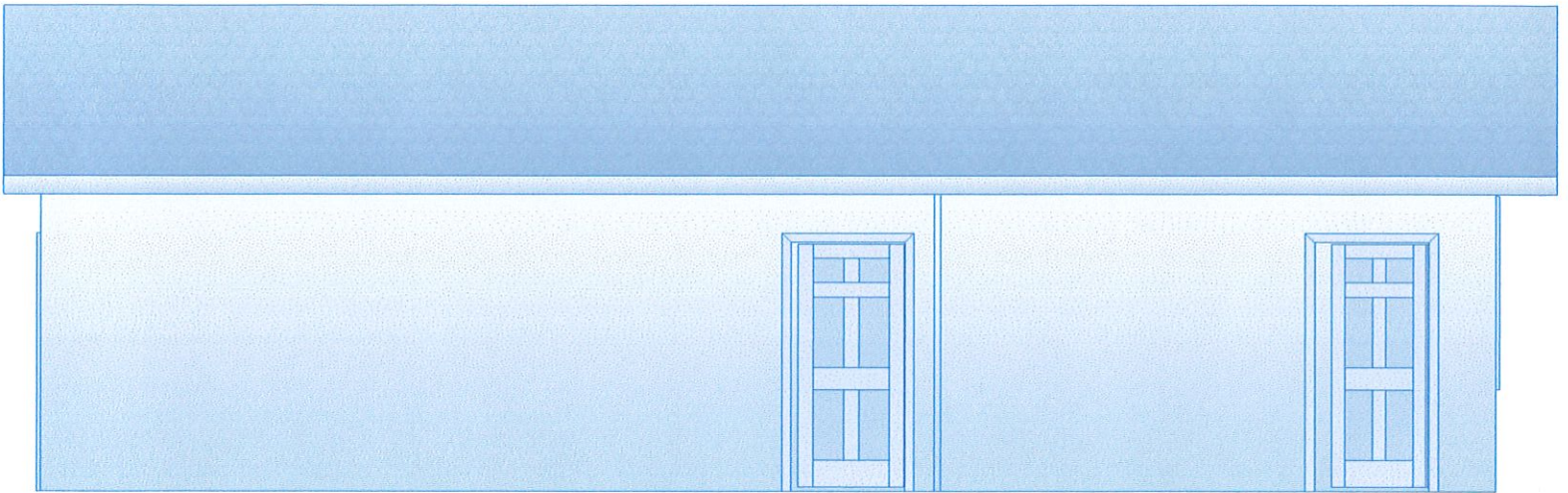
North side Elevation

Conrad Garage Addition 2017



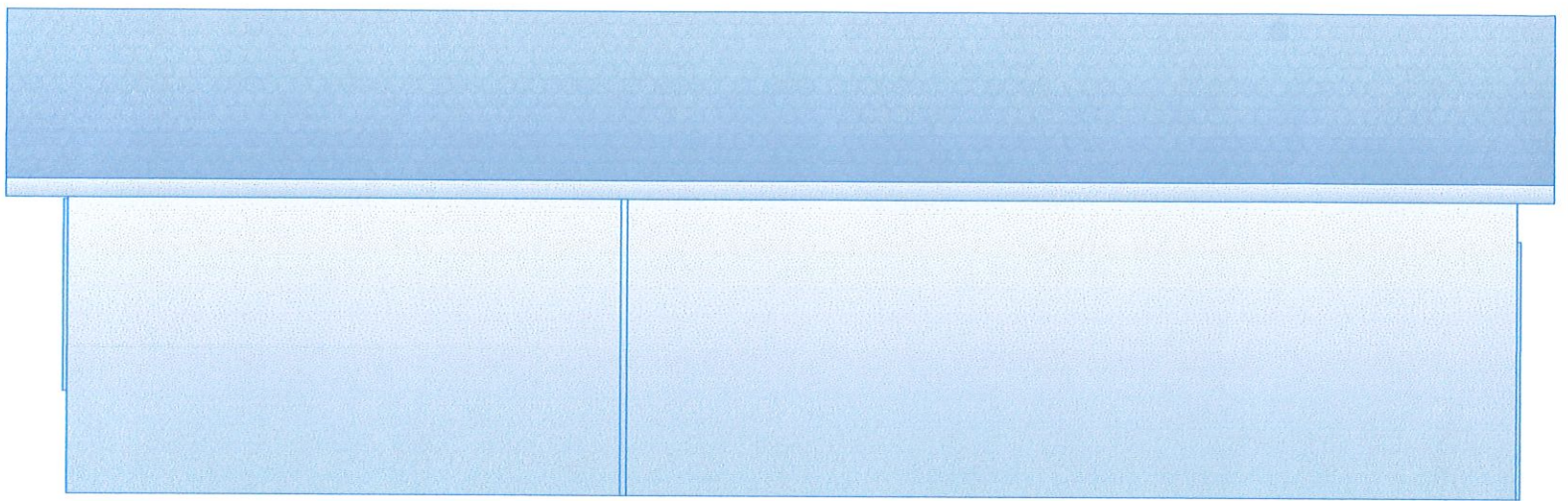
South Side Elevation

Conrad Garage Addition 2017



East side Elevation

Conrad Garage Addition 2017



West side elevation

Staff Report to the Municipal Planning Commission

DEVELOPMENT PERMIT #:	2017-207
APPLICANT:	Angel Garner
TYPE OF DEVELOPMENT:	Detached Garage
CIVIC ADDRESS:	1405 – 29 Avenue
LEGAL DESCRIPTION:	Plan 0111876, Block B, Lot 26
LAND USE ZONING:	Country Residential One 'A' – CR-1A
USE:	Single Detached Dwelling
PARKING:	n/a
SETBACKS & HEIGHT:	Detached garage located in side yard
SIGNS:	n/a
ARCHITECTURAL CONTROLS	n/a

BACKGROUND/DESCRIPTION OF APPLICATION:

The above mentioned property currently has a Single-Detached Dwelling built on it. The Town of Coaldale has received a development permit application for a detached garage that would be located in the side yard between the house and west property line. Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential One "A" - CR-1A, (8) Accessory Buildings (including garden sheds and detached garages), (g) states that accessory buildings shall not be located in a side yard between the property line and a principal building.

Within the Country Residential One "A" - CR-1A zoning the Single Detached Dwelling is to be located 10' off of the side property line whereas this Single Detached Dwellings is located approximately 28' from the side property line. The new detached structure would be located 10' from the west property line and 4' from the principal building.

Notice of the application was sent to adjacent properties and no written or verbal concerns have been brought forward to date.

OPTIONS:

The board may consider APPROVAL of Development Application (#2017-207) subject to the following recommended conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.

3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential One "A" – CR-1A.
4. A minimum separation distance of 4' shall be provided between a principal building and any accessory building.
5. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
6. Ensure lot drainage is maintained.
7. The building, when completed, shall meet or exceed provincial building requirements and comply with all provincial and municipal health and fire regulations.

The board may consider REFUSAL of Development Application (#2017-207).

Respectfully Submitted:

Cindy L'Hirondelle
Manager of Development & Environmental Services

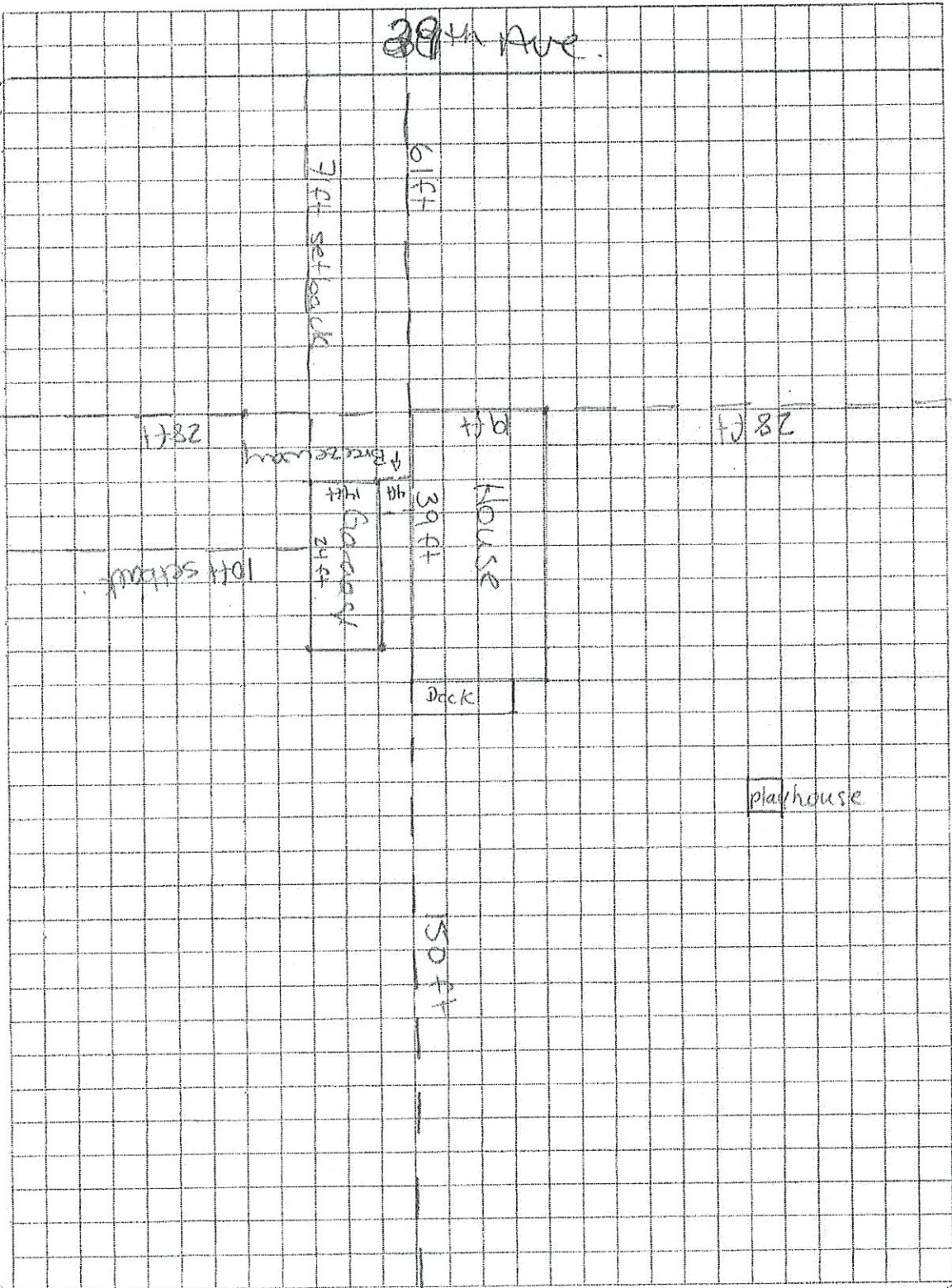


ATTACHED FILES:

- Site Plan
- Notice to Neighbouring Property Owners
- Building Plans

1405-29th Ave
Lot 26 Block B Plan 011876

N



E

W

350 ft

30th Ave



December 20, 2017

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2017-207

APPLICANT: ANGEL GARNER

ADDRESS: 1405 - 29 AVENUE, COALDALE, ALBERTA
PLAN 0111876, BLOCK b, LOT 26

ZONING: COUNTRY RESIDENTIAL ONE 'A' - CR-1A

Dear Sir/Madam,

We are in receipt of Development Application #2017-207, for an detached garage to be located in the side yard at the above mentioned address. Land Use Bylaw 677-P-04-13 states that accessory buildings, detached garages, shall not be located in a side yard between the property line and principal building.

The detached garage is proposed the be located between the west property line and principal building. The setback from the west side lot line would be 10 feet.

The full agenda will be posted on our website, www.coaldale.ca, by January 5, 2018.

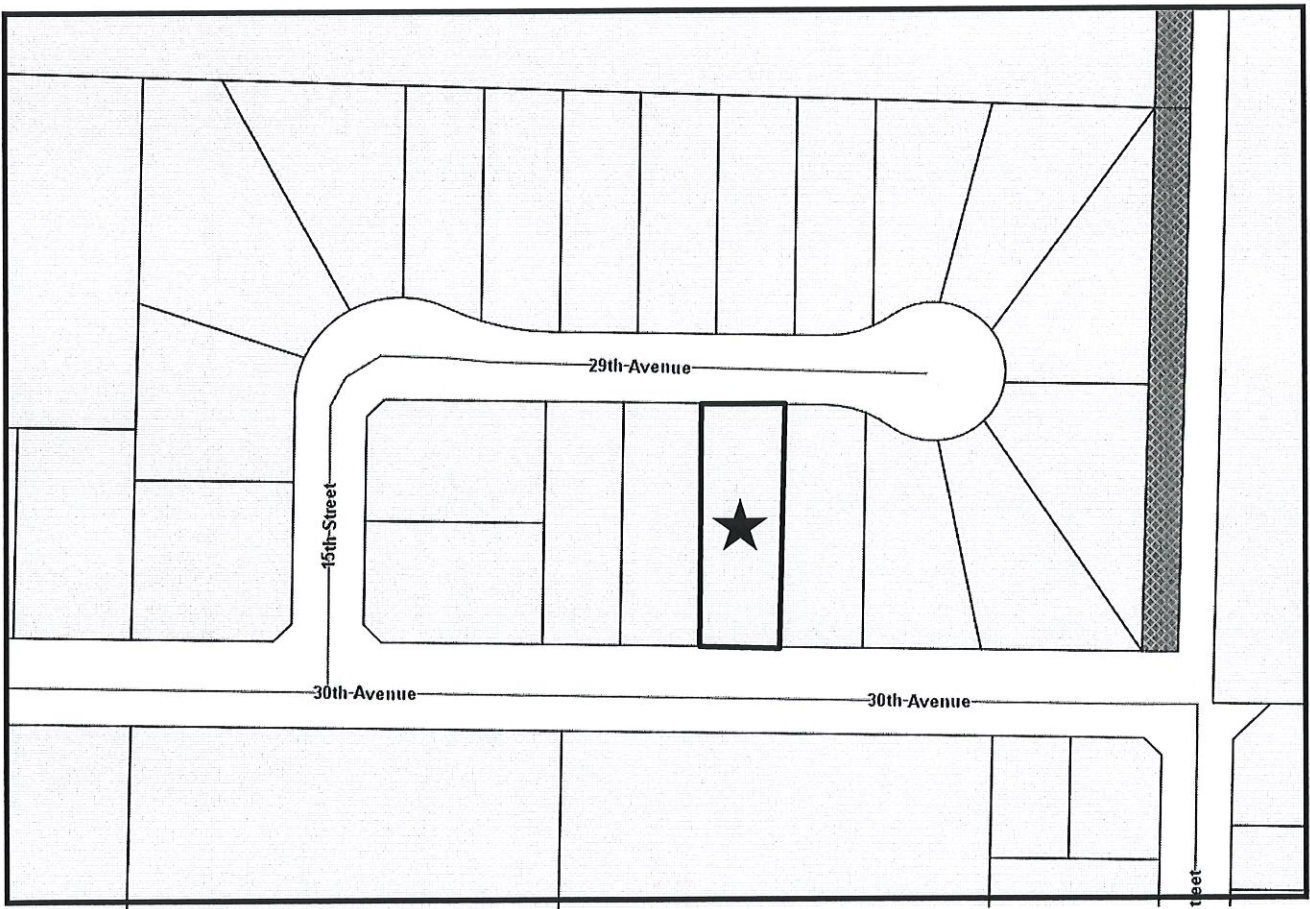
Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, January 10, 2018, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2017-206) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 - 17 Street Coaldale, Alberta.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Friday, January 5, 2018 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

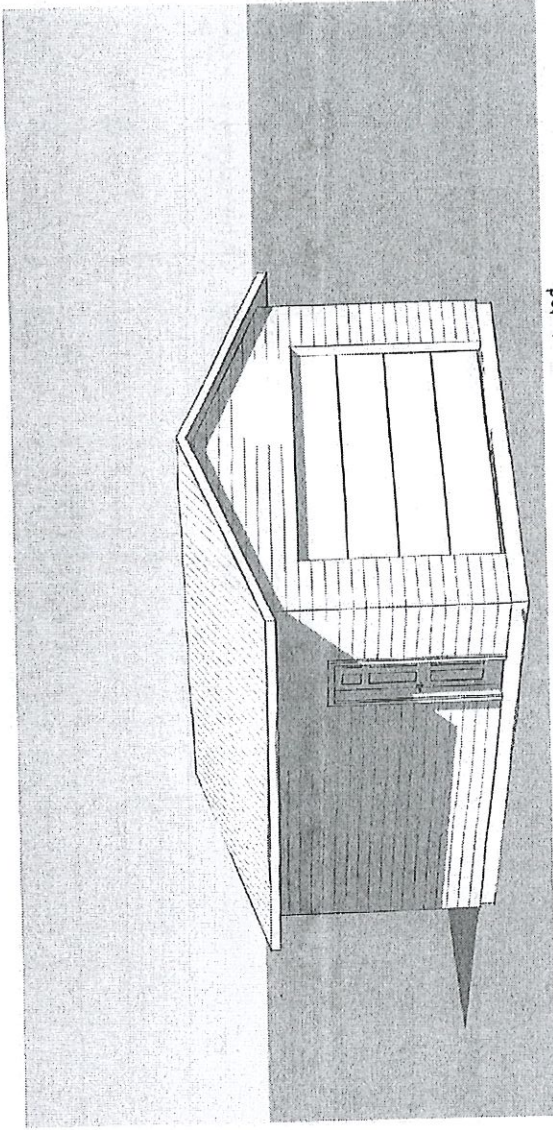
Sincerely,

Cindy L'Hirondelle
Manager of Development & Environmental Services

cc. Applicant



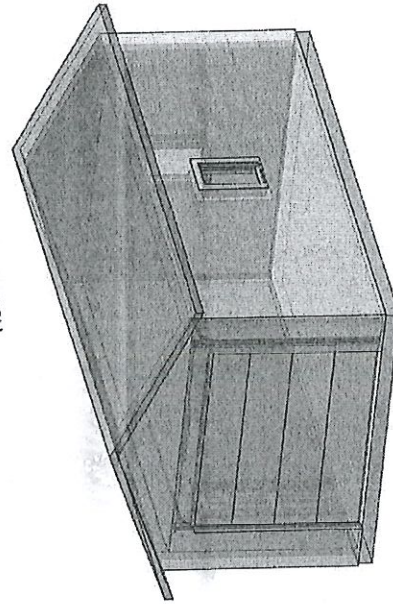
ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME. FOR ALL GOVERNING CODES AND BUILDING PRACTICES, THESE DRAWINGS CONFORM TO GENERAL BUILDING CODES AND STANDARDS. HOWEVER, NATIONAL AND LOCAL CODES VARY WIDELY. THE DESIGNER, RAILSIDE DESIGN, SHALL NOT BE HELD RESPONSIBLE FOR ANY VIOLATIONS OF ANY APPLICABLE NATIONAL, STATE, OR LOCAL CODES. DO NOT CONSIDER THESE DRAWINGS AS A SUBSTITUTE FOR THE CONTRACTOR'S OBLIGATION TO VERIFY ALL MECHANICAL AND ELECTRICAL REQUIREMENTS AND CLEARANCES. CONTRACTOR SHALL VERIFY ALL FLOOR AND ROOF BEARING LOCATIONS. CONTRACTOR SHALL VERIFY ALL BEAM AND HEADER SIZES FOR CODE COMPLIANCE.



Garage 14' x 24'

FOOTPRINT = 336 Sq.Ft. (31.2 Sq.M)

Not Exactly As Illustrated



Sheet List	
Sheet Number	Sheet Name

A 1.0	Cover
A 2.0	Elevations
A 3.0	Main Floor



**RAILSIDE
DESIGN**

#2- 4905 44 Ave
Box 1014, Stettler, AB
T0C 2L0
Tel: (403) 742-4101
Fax: (403) 305-5666

Email:
admin@railsidedesign.com
www.railsidedesign.com

PROJECT:
Garage Garage

DRAWING TITLE:
Cover

SHEET NO.: A 1.0

DATE: Nov 21, 2017

SCALE:

SEAL:



GERO
CONSTRUCTION & DEVELOPMENT LTD.

DRAWN BY: G.W.
CHECKED BY: G.W.

COPYRIGHT NOTE
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DO NOT SCALE DRAWINGS

- vinyl siding to match house
- shingles to match house.
- white garage door

ALTHOUGH EVERY EFFORT HAS BEEN MADE IN PREPARING THESE PLANS AND CHECKING THEM FOR ACCURACY, THE CONTRACTOR MUST CHECK ALL DETAILS AND DIMENSIONS AND BE RESPONSIBLE FOR THE SAME FOR ALL COVERING CODES AND BUILDING PRACTICES. THESE DRAWINGS CONFORM TO GENERALLY ACCEPTED BUILDING PRACTICES, HOWEVER, NATIONAL AND LOCAL CODES VARY WIDELY. THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND BUILDING PRACTICES WITH ALL APPLICABLE NATIONAL AND LOCAL CODES. DO NOT SCALE DRAWINGS. USE ONLY THE PRINTED DIMENSIONS. VERIFY ALL BEAM AND HEADER SIZES FOR CODE COMPLIANCE.



**RAILSIDE
DESIGN**

#2 - 4905 44 Ave
Box 1014, Stettler, AB
T0C 2L0
Tel: (403) 742-4101
Fax: (866) 305-5686

Email:
admin@railsidedesign.com
www.railsidedesign.com

PROJECT: Gamer Garage

DRAWING TITLE: Main Floor

SHEET NO: A 3.0

DATE: Nov 21, 2017

SCALE: 3/16" = 1'-0"

SEAL:

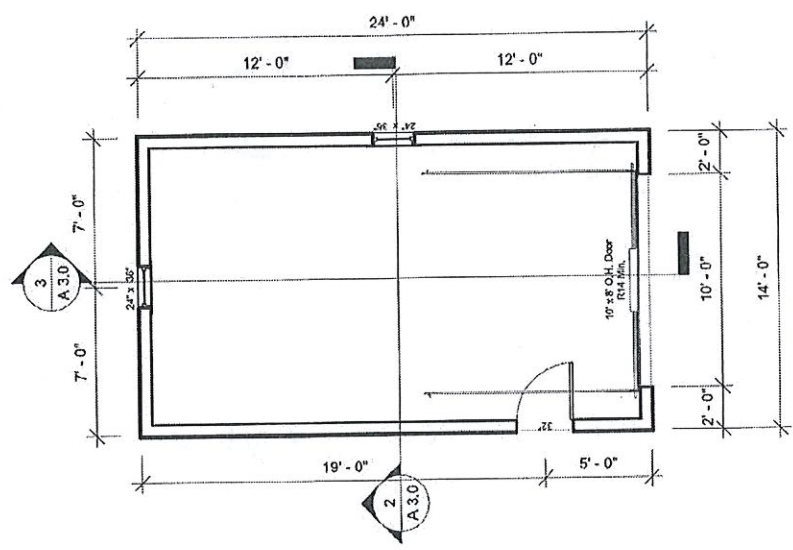


GERO
CONSTRUCTION & DEVELOPMENT LTD.

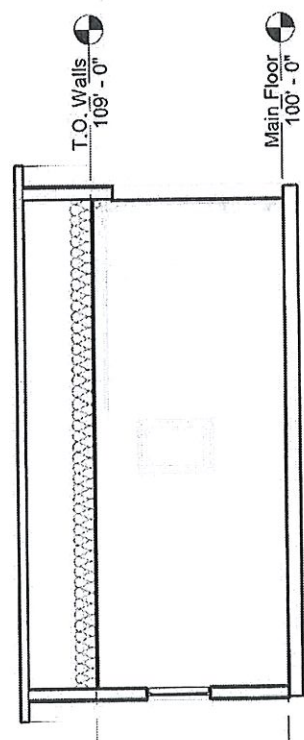
DRAWN BY: G.W.
CHECKED BY: G.W.

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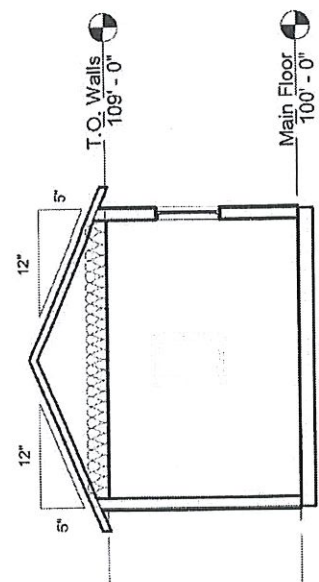
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① Main Floor
3/16" = 1'-0"



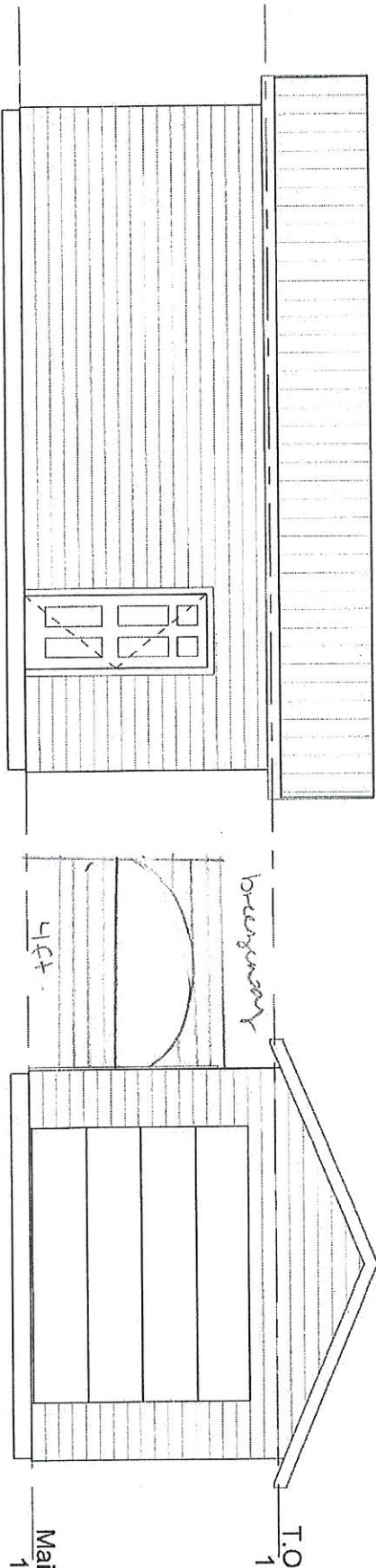
③ Section 3
3/16" = 1'-0"



② Section 2
3/16" = 1'-0"

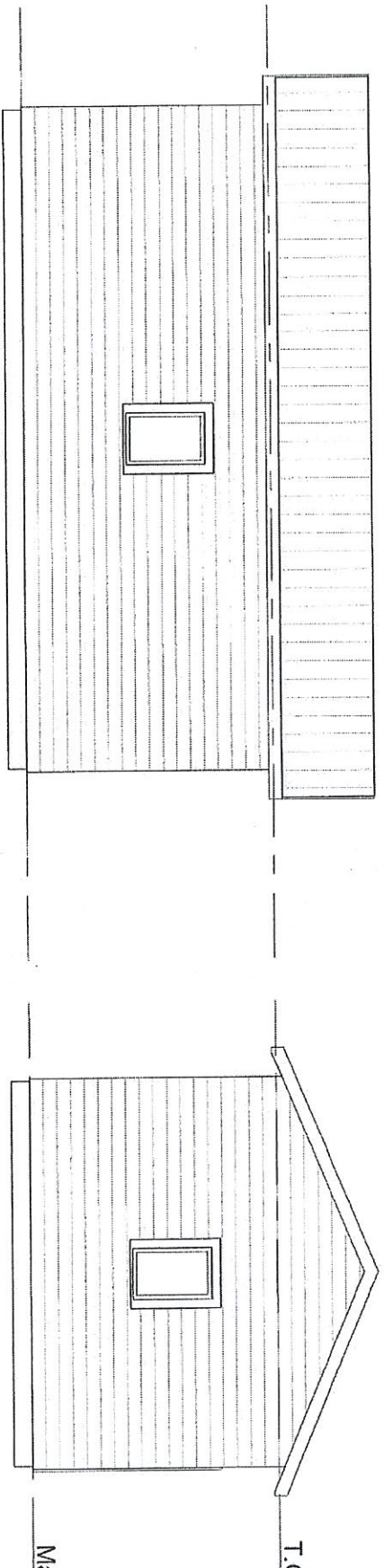
DO NOT SCALE DRAWINGS

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2 Left Elevation
3/16" = 1'-0"

1 Front Elevation
3/16" = 1'-0"



4 Right Elevation
3/16" = 1'-0"

3 Rear Elevation
3/16" = 1'-0"

Staff Report to the Municipal Planning Commission

DEVELOPMENT PERMIT #:	2017-208
APPLICANT:	Lindsey Megyes
TYPE OF DEVELOPMENT:	Single Detached Dwelling & Detached Garage
CIVIC ADDRESS:	3133 – 12 Street
LEGAL DESCRIPTION:	Plan 1611387, Block 1, Lot 5
LAND USE ZONING:	Country Residential One – CR-1
USE:	Vacant Lot
PARKING:	n/a
SETBACKS & HEIGHT:	Single Detached Dwelling – Side yard setback – 10' (required 15') Detached Garage - Height – 19' – 4 1/2" (required 15')
SIGNS:	n/a
ARCHITECTURAL CONTROLS	Approved

BACKGROUND/DESCRIPTION OF APPLICATION:

The Town of Coaldale has received a development permit application for a Single Detached Dwelling and Detached garage at the above mentioned address. The applicant is requesting 2 waivers:

1. Single Detached Dwelling is to be located 10' off of the north-east property line whereas 15' is required by Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential One – CR-1
2. Detached Garage – a height waiver of 3' -8" is being requested for a constructed height of 19' – 4 ½" whereas a maximum height of 15' is required by Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential One – CR-1.

Notice of the application was sent to adjacent properties and no written or verbal concerns have been brought forward to date.

OPTIONS:

The board may consider APPROVAL of Development Application (#2017-208) subject to the following recommended conditions:

1. Must obtain **approval** of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 **prior** to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines **prior** to commencement.

3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Country Residential One – CR-1
4. A person to whom a Development Permit has been issued shall notify the Designated Officer following the Stakeout of the site but prior to the commencement of construction.
5. A person to whom a Development Permit for a Single-Detached Dwelling has been issued shall provide the Designated Officer prior to construction a letter from a qualified Alberta Land Surveyor confirming that a qualified Alberta Land Surveyor conducted the Stakeout of the site for construction.

All elevations and grades shall comply with the Lot Grading Site Plan prepared by Douglas J. Bergen & Associates Ltd.

6. The applicant/owner shall submit to the Town of Coaldale a soil bearing report.
7. Must obtain a competent Alberta Land Surveyor to establish the vertical grades and cuts prior to the excavation of the foundation. ***(Should the building be constructed lower than design finish grade due to a failure to survey the vertical grades for the foundation as per the lot grading design it may be at risk for flooding.)***
8. A minimum separation distance of 4' shall be provided between a principal building and any accessory building.
9. Developer/builder/applicant/owner shall comply with the Architectural Control Guidelines in FIELDSTONE MEADOWS
10. The connection of weeping tile foundation drainage systems to the sanitary sewer services in this development is **STRICTLY PROHIBITED.**
11. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
12. Ensure water does not drain into neighbouring properties.
13. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.
14. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighborhood.
15. The accessory building MUST not exceed _____' in height.

The board may consider REFUSAL of Development Application (#2017-208).

Respectfully Submitted:



Cindy L'Hirondelle
Manager of Development & Environmental Services

ATTACHED FILES:

- Site Plan
- Notice to Neighbouring Property Owners
- Building Plans

REVISIONS	CONSULTANTS



DOUGLAS J. BERGH & ASSOCIATES LTD.
ARCHITECTURAL TECHNOLOGY
1000 WEST 10TH AVENUE, SUITE 100
CALGARY, ALBERTA T2M 4K6
TEL: (403) 243-1111
FAX: (403) 243-1112
WWW.DJB.COM

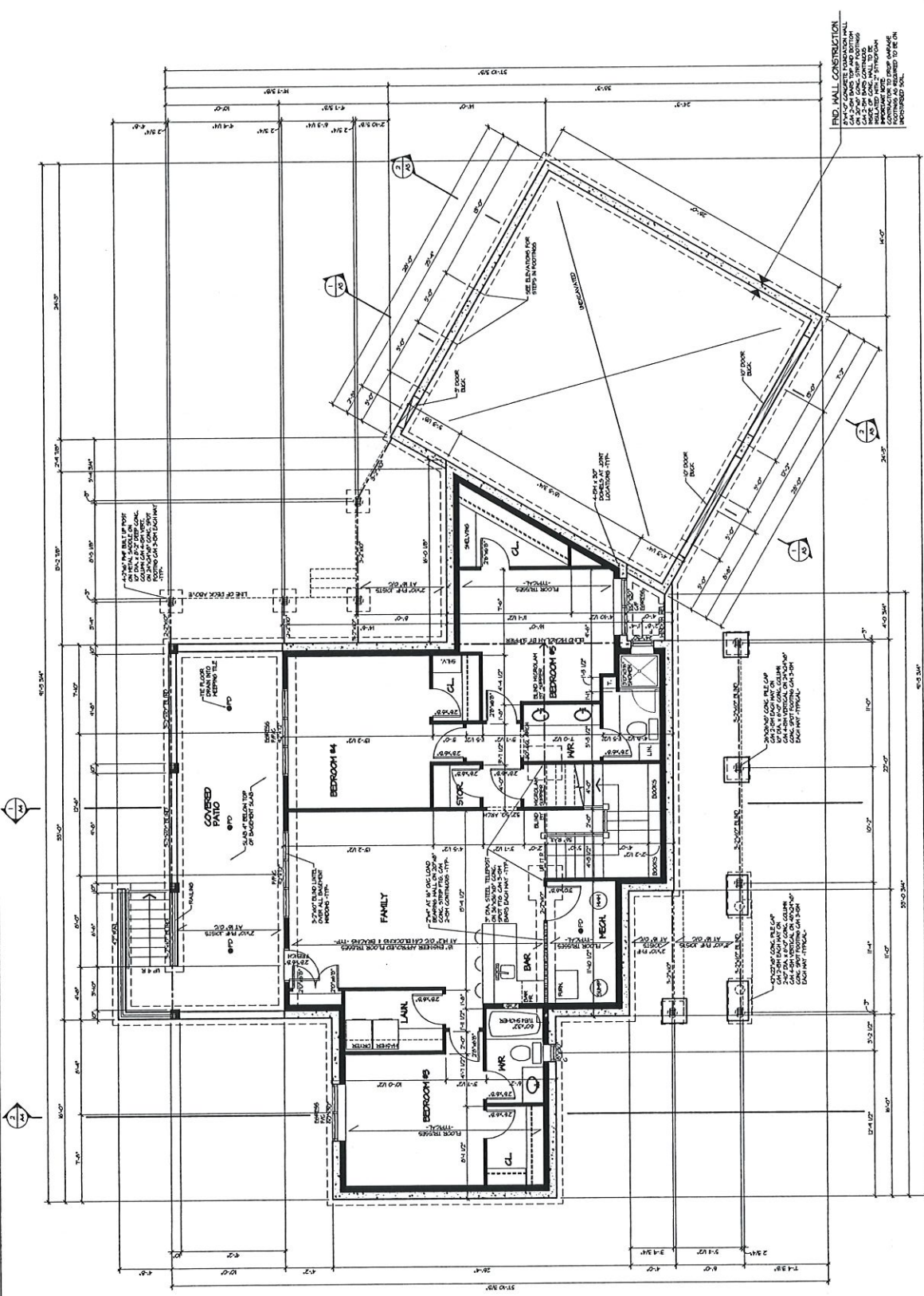
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS OF WORK AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF THE FOUNDATION.

PROJECT TITLE
MEYER RESIDENCE

CLIENT
MEYER RESIDENCE

DRAWING TITLE
FOUNDATION / BASEMENT PLAN

DATE 10/20/2011
PROJECT NO. 1011
SCALE 1/8" = 1'-0"
DRAWN PJA/LSH
PLOTTED -
CADD FILE 40140046
SHEET NO. A1



STAR DETAILS	
DETAIL TO PAGE	DETAIL TO PAGE
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3	10/20/2011	PJA	LSH



THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND DATINGS PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THIS OFFICE OF ANY ERRORS AND/OR OMISSIONS.

PROJECT TITLE
MEYER RESIDENCE

CONDALE, AB

CLIENT
MR. & MRS. HORTON

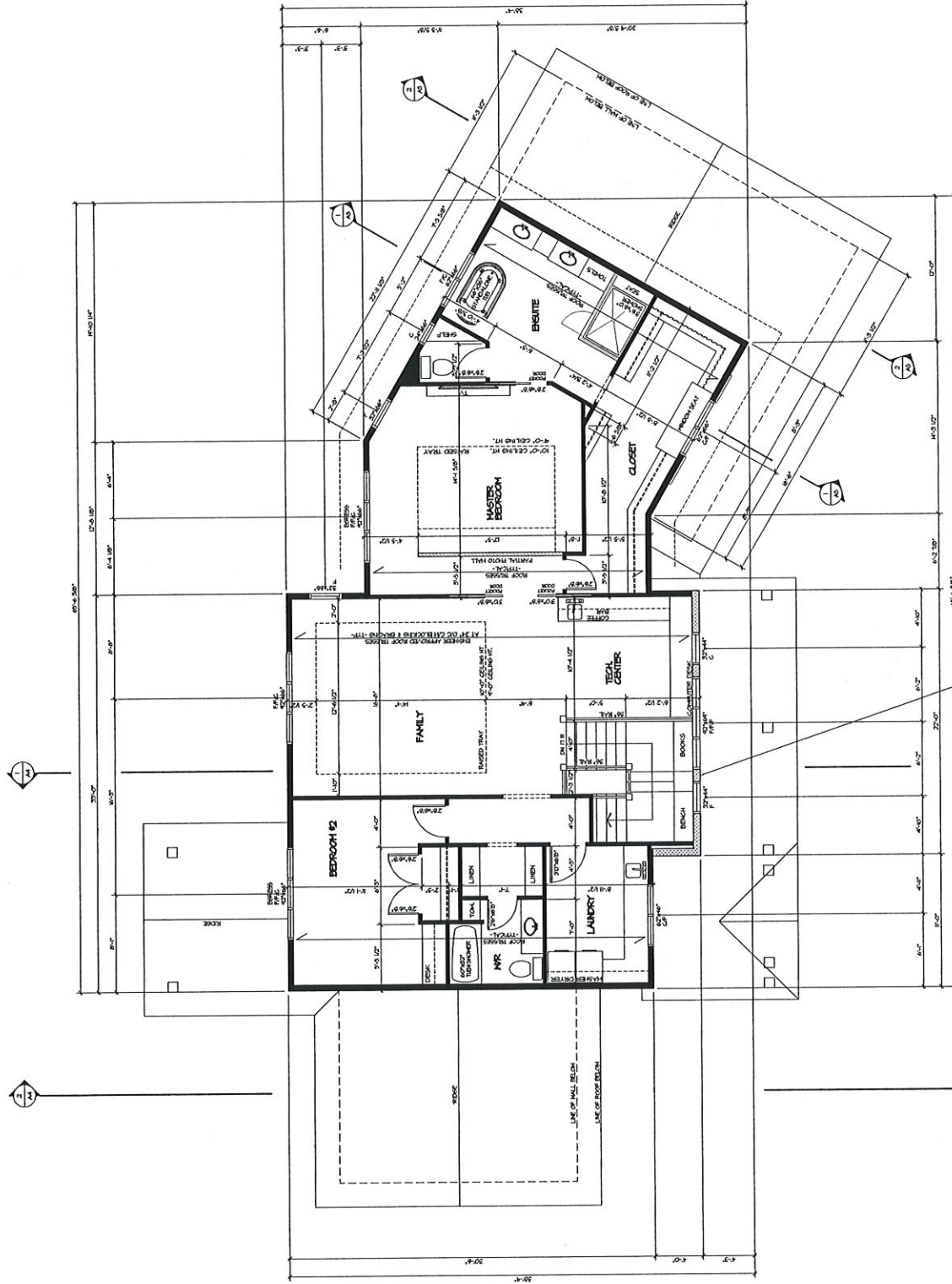
DRAWING TITLE
MAIN FLOOR PLAN

DATE DECEMBER 2017
PROJECT NO. 5017
SCALE AS SHOWN
DRAWN DMJ/KJM
PLOTTED -
CADD FILE 457-J02.DWG

SHEET NO. A2



STAR DETAILS					
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	INCHES TO UPPER PICTURE 1/2"		INCHES TO UPPER PICTURE 1/2"		
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1 UPPER FLOOR PLAN
TH 02.17
SCALE 1/8" = 1'-0"

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PROPORTIONS

1/4" = 1'-0"	1/2" = 1'-0"	3/4" = 1'-0"	1" = 1'-0"
1/8" = 1'-0"	3/16" = 1'-0"	1/4" = 1'-0"	1/2" = 1'-0"
3/32" = 1'-0"	1/16" = 1'-0"	3/64" = 1'-0"	1/32" = 1'-0"

STAR DETAILS

DETAIL TO PLAN	DETAIL TO ELEVATION	DETAIL TO SECTION
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1/8" = 1'-0"	3/16" = 1'-0"	1/4" = 1'-0"
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SHEET NO. **A3**

DATE: December 2017
PROJECT NO. 1011

DRAWN: 2017/12/14
CADD FILE: 401-1011.dwg

CLIENT: Mr. & Mrs. Roberts
CONSULTANT: J.B.

PROJECT TITLE: **MEYERS RESIDENCE**

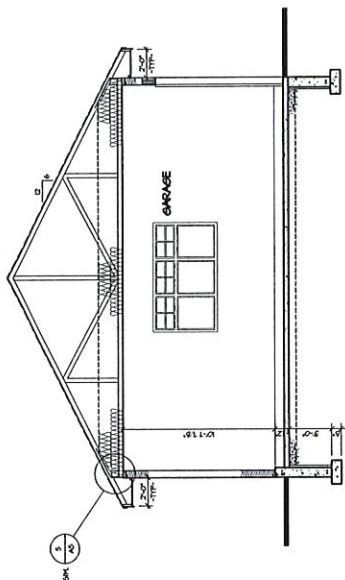
DOUGLAS J. BRIGHT & ASSOCIATES LTD.
ARCHITECTURAL TECHNOLOGY
1000 WEST 10TH AVENUE, SUITE 100
EDMONTON, ALBERTA T6P 0K6
TEL: (780) 443-1111
WWW.DJB-ARCHITECTS.COM



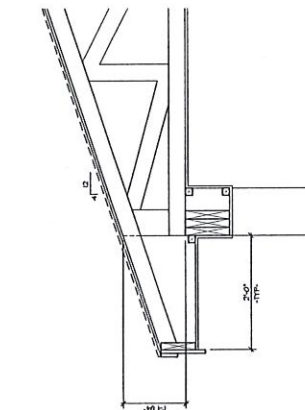
REVISIONS

NO.	DESCRIPTION

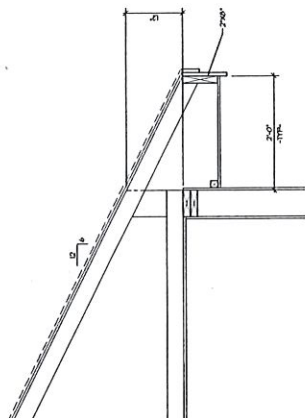
CONSULTANTS



2 BUILDING SECTION
AS SCALE 1/4" = 1'-0"



4 DETAIL
20 SCALE 1" = 1'-0"



3 DETAIL
A3 SCALE 1" = 1'-0"

**DOUGLAS J. BERGIN
& ASSOCIATES LTD.**
ARCHITECTURAL TECHNOLOGY

THE 661 EAST OF LUTHERIDGE ON HIGHWAY 312
BOX 1807 CONNELL ALBERTA T1M 1H0
P (403) 345-2116 F (403) 345-2125
www.djbergin.com

THE CONTRACTOR SHALL NOTIFY ALL EMPLOYEES AND OUTSIDE CONSULTANTS AND DURING PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE OFFICE OF ANY DISCREPANCY AND/OR DISCREPANCY OF THE DRAWING.

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NO MODIFICATIONS AND VARIATIONS TO THIS DRAWING ARE PERMITTED WITHOUT WRITTEN CONSENT.

ALL CONSTRUCTION IS TO COMPLY WITH THE LATEST EDITIONS OF THE AIA, ASHRAE, AND ALL APPLICABLE LOCAL REGULATIONS.

PROJECT TITLE
MEGYES RESIDENCE

CONFIDENTIAL

1000

CLIENT

DRAWING TITLE	

BUILDING SECTIONS
DETAILS

DATE 06-06-2008 20:07

PROJECT NO. 3011

SCALE AS SHOWN

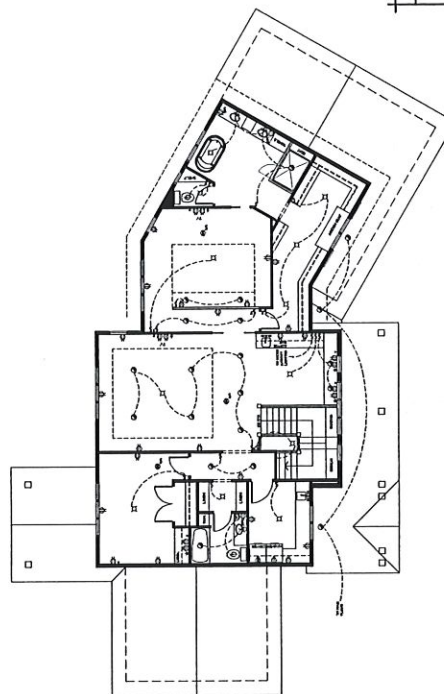
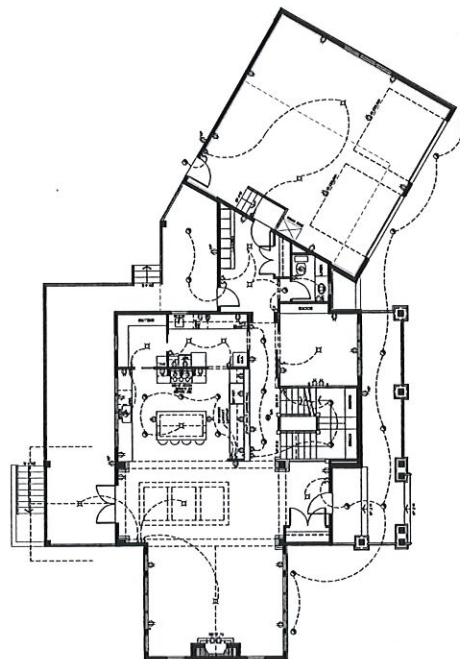
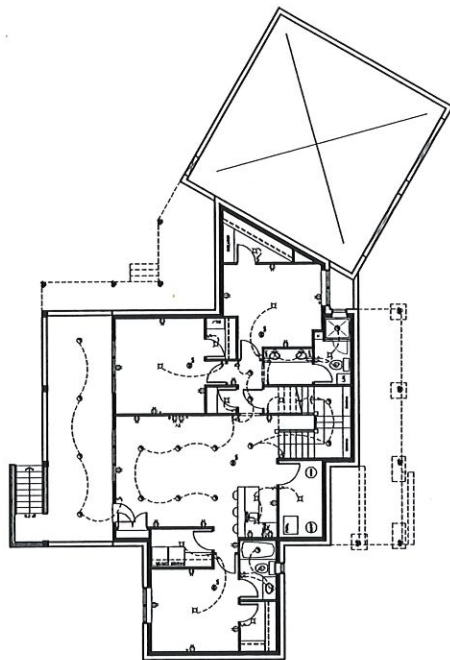
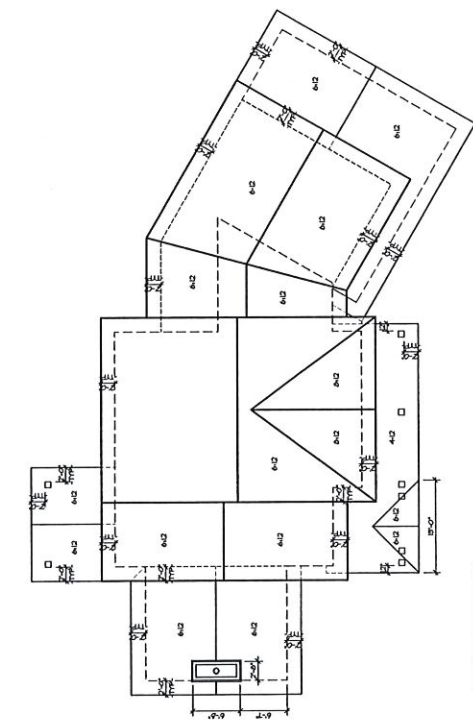
DRAWN DWG / KLM
PLOTED "

CADD FILE 487_402.DWG

15 SEPTEMBER 2006

A5

NOTES	UNRESTRICTED OPENING CALCULATION RIGHT SIDE EXPOSED BUILDING FIRE WINDOWN OPENINGS CALCULATION: $27.4 \text{ SM}^2 \text{ SF} =$ $(2.4 \text{ SF} \times 50 \times 5 \text{ SF})$ BASED ON A LIMITING DISTANCE
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ELECTRICAL	
	DUPLEX OUTLET
	WEATHERPROOF
	GROUND FAULT INTERRUPT
	SWITCH
	3-WAY SWITCH
	POT LIGHT
	HEAT LAMP
	INCANDESCENT LIGHT
	HALL MOUNT
	TELEPHONE
	CABLE TV
	COMPUTER NETWORK CABLE
	EXHAUST FAN
	SMOKE ALARM
	ELECTRICAL PANEL

DRAWING TITLE
ROOF PLAN
ELECTRICAL PLAN

DATE DECEMBER 2017
PROJECT NO. 2017
SCALE AS SHOWN
DRAWN DNU / ELH
PLOTTED -
CADD FILE 487_M02DIN646
SHEET NO.



**DOUGLAS J. BERGIN
& ASSOCIATES LTD.**
ARCHITECTURAL TECHNOLOGY

THE CONVENTOR SHALL VERIFY ALL DIMENSIONS AND DATA PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY THE CONTRACTOR IMMEDIATELY IN WRITING OF ANY ERRORS AND/OR OMISSIONS.

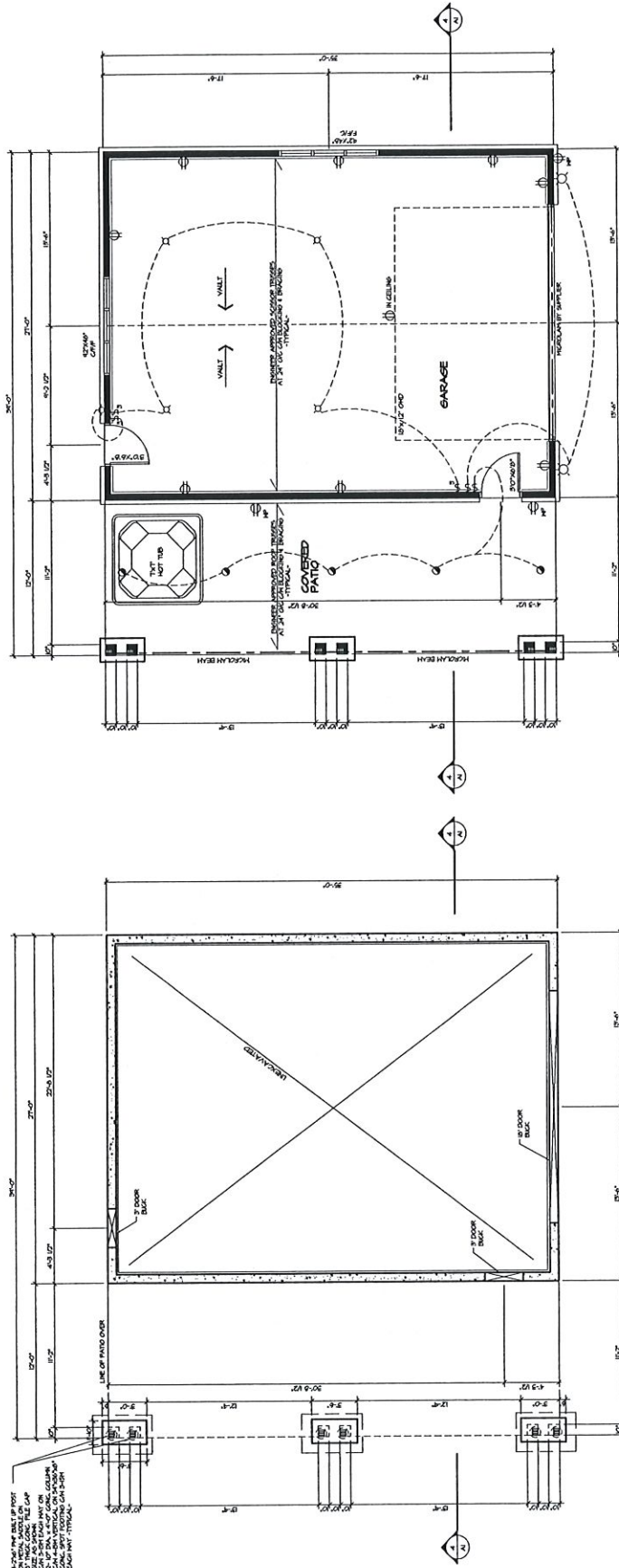
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PROJECT TITLE
VEGETES RESIDENCE

CONFIDENTIAL, AS
CLIENT
MR. & MRS. ROBERT

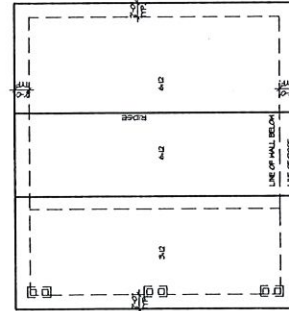
DRAWING TITLE
ROOF PLAN
ELECTRICAL PLAN

DATE DEC-08-2017
PROJECT NO. 5017
SCALE AS SHOWN
DRAWN DWG/15LM
PLOTTED -
CADD FILE 457_H02.DWG
SHEET NO.

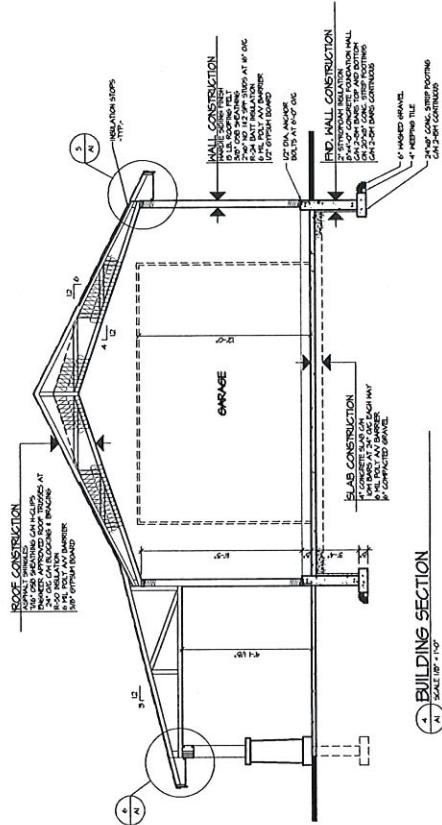


1 MAIN FLOOR PLAN & ELECTRICAL PLAN
SCALE 1/4" = 1'-0"

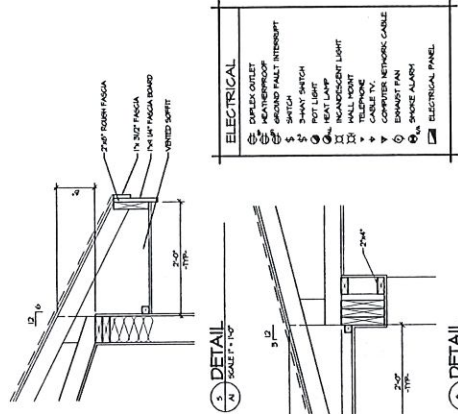
2 FOUNDATION PLAN
SCALE 1/4" = 1'-0"



3 ROOF PLAN
SCALE 1/4" = 1'-0"



4 BUILDING SECTION
SCALE 1/8" = 1'-0"



5 ELECTRICAL
SCALE 1/4" = 1'-0"

6 ELECTRICAL
SCALE 1/4" = 1'-0"



DOUGLAS L. BURGETT & ASSOCIATES LTD.
ARCHITECTURAL TECHNOLOGY
1000 WEST 10TH AVENUE, SUITE 100
DENVER, COLORADO 80202
TEL: 303.733.1111
FAX: 303.733.1112
WWW.DLBURGETT.COM

THE CONSULTANT SHALL VERIFY ALL INFORMATION PROVIDED BY THE CLIENT AND SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS. THE CONSULTANT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS.

PROJECT TITLE
DETACHED GARAGE

CLIENT
CONFIDENTIAL

DRAWING TITLE
FLOOR PLAN
ROOF PLAN
BUILDING SECTION
DETAILS

DATE: DECEMBER 2011
PROJECT NO.: 5911
SCALE: AS SHOWN
DESIGNED BY: [Signature]
CHECKED BY: [Signature]
CADD FILE: [Signature]
PLOTTED: [Signature]

SHEET NO. 1

	QPM	W
CONCRETE TYPING		
CONSPICUOUS	0.07	0.07
EPI'S TYPE 2	1.86	1.15
CONCRETE WALL (P)	0.048	0.49
EPI'S TYPE 2	1.86	1.15
STAINLESS STEEL BARS	0.02	0.02
AS FIRM	0.02	0.60
TOTAL EFFECTIVE PUMP VALUE	4.20	2.74

TOP OF FND. WALL TO FLOOR ASSEMBLY DETAIL



FLOOR SYSTEM TO
UNHEATED SPACE DETAIL

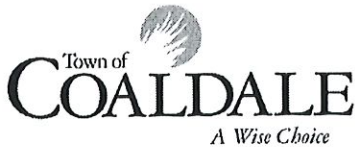
SHEET NO. A3

[illegible]

CLIENT
MR. & MRS. MEUNTES

DATE DECEMBER 2007

PROJECT NO. 5911
SCALE AS SHOWN
DRAWN BY JCH
PLOTTED -



December 20, 2017

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2017-208

APPLICANT: LINDSEY MEGYES

ADDRESS: 2119 - 16 A AVENUE, COALDALE, ALBERTA
PLAN 8410568, BLOCK 4, LOT 3

ZONING: COUNTRY RESIDENTIAL - CR-1

Dear Sir/Madam,

We are in receipt of Development Application #2017-208, for a single detached dwelling and a detached garage to be constructed at the above mentioned address. The requested side yard waiver on the single detached dwelling is for it to be located 10' from the north east property line whereas 15' is required as per Land Use Bylaw 677-P-04-13.

And, a 3' - 8" height waiver on the detached garage is requested. For detached structures 15' is the maximum height as per Land Use Bylaw 677-P-04-013 and the request is for an overall height of 19'- 4 ½".

The Town of Coaldale Land-Use Bylaw states that any waiver greater than 10% shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

The full agenda will be posted on our website, www.coaldale.ca, by January 5, 2018.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, January 10, 2018, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2017-206) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 - 17 Street Coaldale, Alberta.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Friday, January 5, 2018 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,

Cindy L'Hirondelle
Manager of Development & Environmental Services

cc. Applicant

