

Wednesday, August 9, 2017

5:00p.m.

Town of Coaldale Council Chambers



Municipal Planning Commission Agenda

1.0 CALL TO ORDER

2.0 ADDITIONS TO THE AGENDA

3.0 ADOPTION OF THE MINUTES

July 12, 2017 meeting

4.0 BUSINESS FROM THE MINUTES

5.0 NEW BUSINESS

5.1 Development Application 2017-120
Front yard waiver
2112 – 9th Street

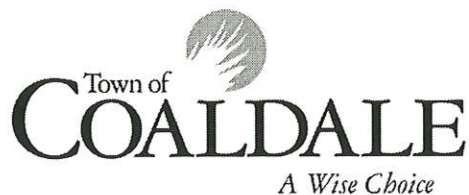
5.2 Development Application 2017-122
Temporary Sign – Time extension
West of McDonalds

5.3 Development Application 2017-123
Home Occupation 2
2105 – 16th Avenue

5.4 Development Application 2017-126
Medical/health facility
2108 Land o' Lakes Drive

6.0 INFORMATION ITEMS

7.0 IN-CAMERA DELIBERATIONS



MUNICIPAL PLANNING COMMISSION
WEDNESDAY, July 12, 2017
5:00 PM – COUNCIL CHAMBERS

PRESENT:	Council Members:	J. Van Rijn (Chairman), J. Abrey (by phone)
	ORRSC Planning Advisor:	R. Dyck
	Citizen Member:	R. Pitsol
	Development Officer:	C. L'Hirondelle
	Recording Secretary:	K. Bly
	Gallery:	J. Setta, A. Setta

1.0 CALL MEETING TO ORDER:

Chairman J. Van Rijn called the meeting to order at 5:05 p.m.

2.0 ADDITIONS TO / ADOPTION OF AGENDA :

MOTION: R. Pitsol moved to adopt the agenda.

3-0 CARRIED

3.0 ADOPTION OF MINUTES:

3.1 Municipal Planning Commission Minutes – May 10, 2017

R. Pitsol noted on Page 1 of the minutes his name is misspelled.

MOTION: Councillor J. Abrey moved to approve the May 10, 2017 minutes as amended.

3-0 CARRIED

4.0 BUSINESS ARISING FROM MINUTES: None

5.0 NEW BUSINESS:

**5.1 Development Application 2017-0-101
2108 Land O' Lakes Drive**

R. Dyck, ORRSC Planning Advisor, provided an overview of Development Application 2017-0-101.

BACKGROUND/DESCRIPTION OF APPLICATION:

This application is from the Town of Coaldale to subdivide one (1) 0.28 ha (0.70ac) lot from a 0.57 ha (1.41 ac) parcel for highway commercial use. The parcel subject of the application is located adjacent to the

intersection of 21st Avenue and Land O' Lakes Drive, south of the signalized intersection on Highway 3 and is owned by the Town of Coaldale.

The subject site is relatively flat and is currently vacant. Access to the subject site is available on all sides. Including by 21st Avenue to the north, Land O' Lakes Drive to the east, a lane to the west and an undeveloped roadway to the south. Regulating access will be a key concern at the time of development permit given the pressures on the adjacent busy intersection. Water and sewer servicing to the parcel will be provided municipally. The existing utility right-of-ways already in place will likely be sufficient for shallow utility servicing. It is noted that multiple restrictive covenants registered against the certificate of title for the property could have influence on future land use.

The proposed lots meet the requirements of the Highway Commercial – C2 District, including the required 1393 m² (15,000 ft²) parcel size requirement and the application is consistent (to the extent currently applicable) with the West Coaldale Area Structure Plan (2003) and the Municipal Development Plan (2000).

As such the Municipal Planning Commission may consider approval of the application along with the following suggested conditions:

1. That any easement(s) as required by utility companies and/or the municipality shall be established.
2. Consideration of adjacent landowners and referral agencies comments.

RESERVE:

The 10 per cent Municipal Reserve (MR) requirement is not applicable pursuant to Section 663(d) of the MGA (reserve was previously provided).

R. Dyck noted there has been no comments from adjacent landowners and referral agencies.

R. Pitsol questioned the location of the road allowance and access to the property.

R. Dyck suggested there would be shared access for the properties.

R. Pitsol asked if there were dual services or would that be coming later.

C. L'Hirondelle noted they are still to be serviced.

MOTION: R. Pitsol moved that the Commercial subdivision of Lot 1, Block 5, Plan 0614166 within NW1/4 10-9-20-W4M (Certificate of Title No. 151 170 306 +3), to subdivide one (1) 0.28 ha (0.70 ac) lot from a 0.57 ha (1.41 ac) parcel for highway commercial use; BE APPROVED subject to the following:

CONDITIONS:

1. That an access right-of-way of sufficient width, to the satisfaction of the Subdivision Authority, for a shared approach onto Land O' Lakes Drive be established prior to finalization, along with an agreement for the same.

REASONS:

1. The proposed subdivision is consistent with the South Saskatchewan Regional Plan and complies with the Municipal Development Plan, the West Coaldale Area Structure Plan and the Land Use Bylaw.

2. The Subdivision Authority is satisfied that the proposed subdivision is suitable for the purpose for which the subdivision is intended pursuant to Section 7 of the Subdivision and Development Regulation.

3-0 CARRIED

**5.2 Development Application 2017-112
Uncategorized Sign
1107-19 'A' Avenue**

C. L'Hirondelle, Development and Environmental Services Manager, presented the Commission with Development Application 2017-112.

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of a Development Application (#2017-112) to display a sign and requesting a front yard fence waiver at the above referenced property.

Sign

Land Use Bylaw 677-P-04-13 states that a sign that cannot be clearly categorized as one of the sign types as defined in the bylaw, Schedule 13, the Municipal Planning Commission shall determine the sign type and any and all applicable controls.

The sign would be hung between the 2 mature trees in the front yard of the property. The sign would be 6 feet long by 2.5 feet wide.

Fence

Land Use Bylaw 677-P-04-13 states that, in all residential district no fence, wall, hedge or other means of enclosure greater than 0.9m (3 feet) in height, or any combination thereof shall be erected in any front yard area without a permit from the Development Authority.

The applicant is requesting a 1 foot waiver for the front yard fence. The location is outlined in orange on the attached drawing.

Neighboring properties have been notified but I have not received any verbal or written responses to date.

Chairman J. Van Rijn questioned if the neighbours, during previous presentation, wanted a higher fence in the front.

C. L'Hirondelle said yes, neighbours had requested a fence of 4 feet in the front.

Chairman J. Van Rijn questioned the size of the sign currently in place.

J. Setta noted the current sign was made for the Candy Parade and she would like to get a bigger sign made, possible twice as big.

R. Pitsol questioned the material to be used for the fence, asking if it was wood or chain link.

J. Setta said it would be wood to match the existing fence. She noted the support structures would be on the outside so there would be nothing for the children to be able to climb up on the inside of the fence.

R. Pitsol also questioned the parking as approved at the last meeting. He questioned if there were two parking pads.

J. Setta said when it was measured they can get six parking spots on site in one location.

C. L'Hirondelle said according to the previous approval it doesn't matter which side of the property is used for parking, as long as there are six spots.

R. Pitsol also questioned the height of the fence.

A. Setta noted they want to take the fence from 6 feet down to 5 feet down to 4 feet.

R. Pitsol questioned if it would be slopped or stepped.

A. Setta said it would be stepped from 6 to 5 to 4 feet.

J. Setta said the inspector, during a visit to the site, would like to see the 3 feet raised to 4 feet for safety.

C. L'Hirondelle pointed out the existing fence and noted the changes are within the maximum 6 foot allowance for the fence height.

Chairman J. Van Rijn asked how difficult it would be, for curb appeal, to finish the outside of the front fence as well as the inside.

A. Setta said it could be done that way.

R. Dyck questioned what is allowed for home occupation signage. He noted while this is not a home occupation the signage should be consistent with home occupation signage.

C. L'Hirondelle said the use is commercial in this case, but the zoning is still residential. She couldn't recall seeing any sign requirement under home occupation.

Councillor J. Abrey asked if the increased fence height at the front of the property would impede any of the neighbours' line of sight when they are trying to back out of their own driveways.

J. Setta said the setback is 14 feet from the sidewalk, so the fence will be that far back from the street.

R. Dyck asked to view the site for the purpose of ensuring the sign is not out of size for the neighbourhood.

J. Setta said she would like to put the sign between the two trees on the front of the property but is also willing to put it on the fence between the two trees.

Chairman J. Van Rijn noted the sign would have to be secured if it were attached between the trees as the wind would make it a challenge if not properly secured.

R. Pitsol asked if the sign could be attached to the fence or do they want it between the trees.

A. Setta said they felt attaching it between the trees would draw more attention.

J. Setta said she took into account the colouring of the house and the setting so the sign would fit in with the existing colours. She also noted some of the trees have been removed from the front yard.

R. Dyck suggested attaching the sign to the fence might be better than between the trees as it would not be flapping in the wind and would be more in keeping with the residential neighbourhood.

R. Pitsol noted the old fence has been removed on the east side and replaced.

J. Setta said on one side of the property the neighbouring fence comes all the way to the sidewalk as it does two houses down on the other side of her property.

The Commission discussed the merits of the application.

R. Pitsol said he would like to see it on the fence.

Councillor J. Abrey said if the commission considers the Denture clinic sign on the west end of town, it is up on the fence. In this case suspending the sign between the trees may capture more attention but flapping in the wind it will capture the neighbours' attention.

Chairman J. Van Rijn said he has used similar signs on construction sites and even secured it doesn't last as the signs stretch in the wind.

R. Pitsol questioned how the sign will be constructed.

Chairman J. Van Rijn said it would be professionally made. He suggested they should adhere it to a sturdy backing.

MOTION: J. Abrey moved Development Application 2017-112 be approved subject to the following conditions:

1. The sign is to be non-illuminated and the position of the sign will not impede the vision of drivers.
2. The sign shall not project or overhang onto public property.
3. The sign shall not be altered or enlarged in any way.
4. The fence MUST not be built to a height of more than 4 feet and be located as per the approved site plan.
5. The sign is to be mounted on the fence.
The fence at the front of the property is to be finished on both sides.

3-0 CARRIED

MOTION: Chairman J. Van Rijn moved to close the public portion of the meeting at 5:21 p.m.

3-0 CARRIED

MOTION: Councillor J. Abrey moved to adjourn meeting at 5:26 p.m.

CARRIED



CHAIR- JACK VAN RIJN

RECORDING SECRETARY- KATE BLY

Staff Report to the Municipal Planning Commission

DEVELOPMENT PERMIT #:	2017-120
APPLICANT:	Peter Janzen
TYPE OF DEVELOPMENT:	Covered Front Entry
CIVIC ADDRESS:	2112 – 9 th Street
LEGAL DESCRIPTION:	Plan 7711239, Block 10, Lot 11
LAND USE ZONING:	Residential – R-1A
USE:	Single Detached Dwelling
PARKING:	N/A
SETBACKS:	Front yard – 5' – 3" waiver requested
SIGNS:	N/A
ARCHITECTURAL CONTROLS	N/A
OTHER	N/A

BACKGROUND/DESCRIPTION OF APPLICATION:

The above mentioned property currently has a single-detached dwelling on it with newer concrete front steps. The applicant would like to cover his existing front steps and entry way with a roof that is supported by pillars.

When an older subdivision, such as this lot was a part of, the easement at the front of the property was not included within the property line therefore adding more frontage from the back of the sidewalk to actual property line (approximately 6' for the above mentioned property).

At the above mentioned address, they are asking to cover the front steps that are 19' – 9" away from the property line and 26' away from the back of sidewalk.

Notice of the application was sent to adjacent properties and no written or verbal concerns have been brought forward to date.

OPTIONS:

The board may consider APPROVAL of Development Application (#2017-120) subject to the following recommended conditions:

1. Must obtain **approval** of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 **prior** to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines **prior** to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential R-1A.

4. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
5. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighbourhood.

The board may consider REFUSAL of Development Application (#2017-120).

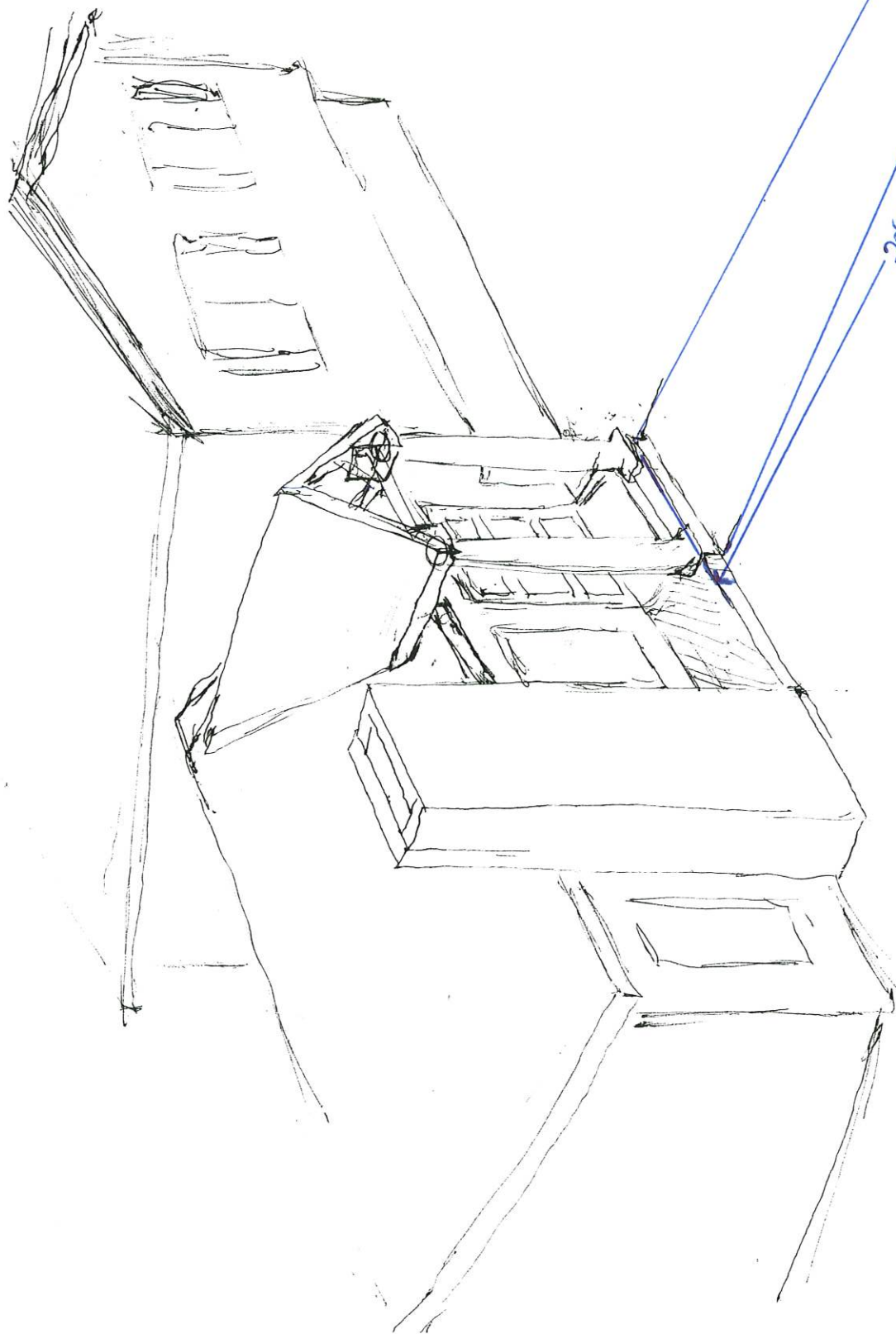
Respectfully Submitted:



Cindy L'Hirondelle
Manager of Development & Environmental Services

ATTACHED FILES:

- Site Plan
- Notice to Neighbouring Property Owners
- Development Application
- Building plan



Note: Distance from edge of pillar to the
sidewalk is 25 feet, 4 inches.

Sidewalk

25' 4"



July 19, 2017

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2017-120

APPLICANT: PETER JANZEN

ADDRESS: 2112 - 9 STREET, COALDALE, ALBERTA
PLAN 7711239, BLOCK 10, LOT 1

ZONING: RESIDENTIAL -R-1A

Dear Sir/Madam,

We are in receipt of Development Application #2017-120 requesting a 5' - 3" (1.61m) front yard waiver for the above mentioned address. The application is to cover the existing front steps with a roof and pillars, the required setback is 25' (7.62m).

The Town of Coaldale Land-Use Bylaw states that any waiver greater than 10% shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, August 9, 2017, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2017-120) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 - 17 Street Coaldale, Alberta.**

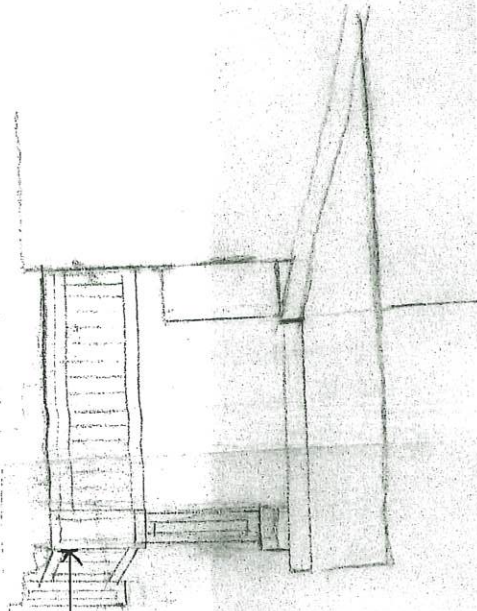
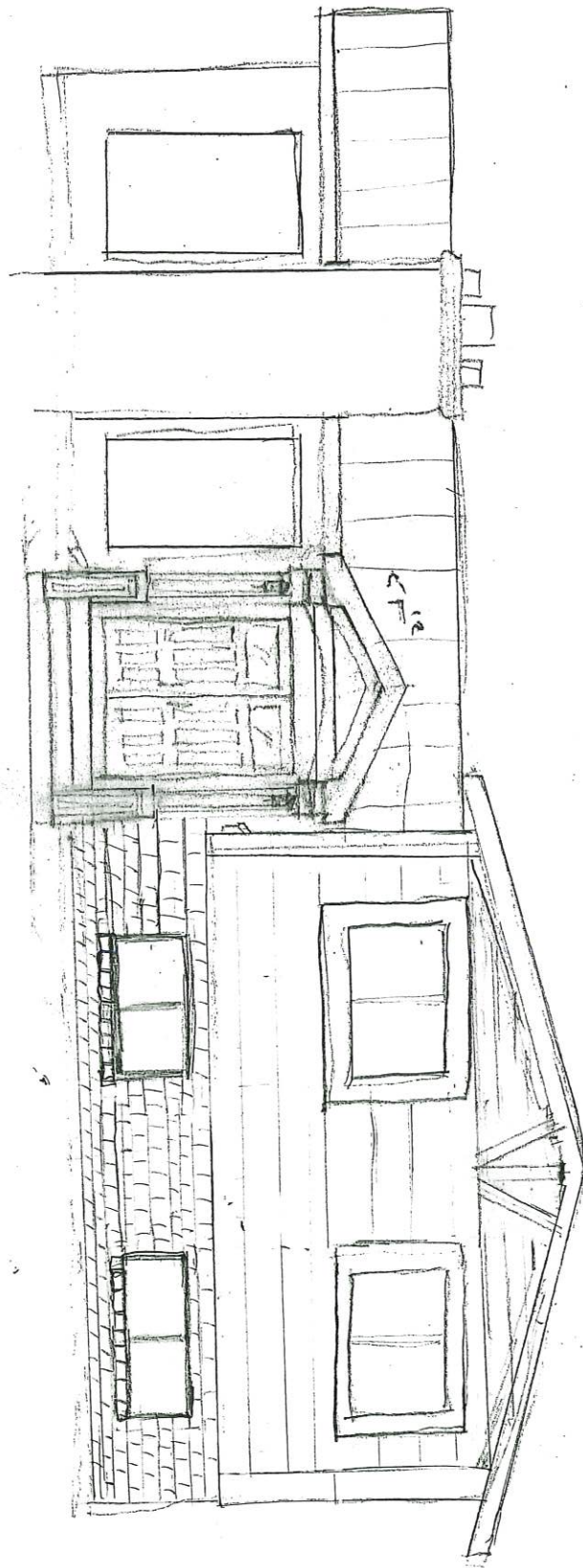
Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Wednesday, August 2, 2017 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,

Cindy L'Hirondelle
Manager of Development & Environmental Services

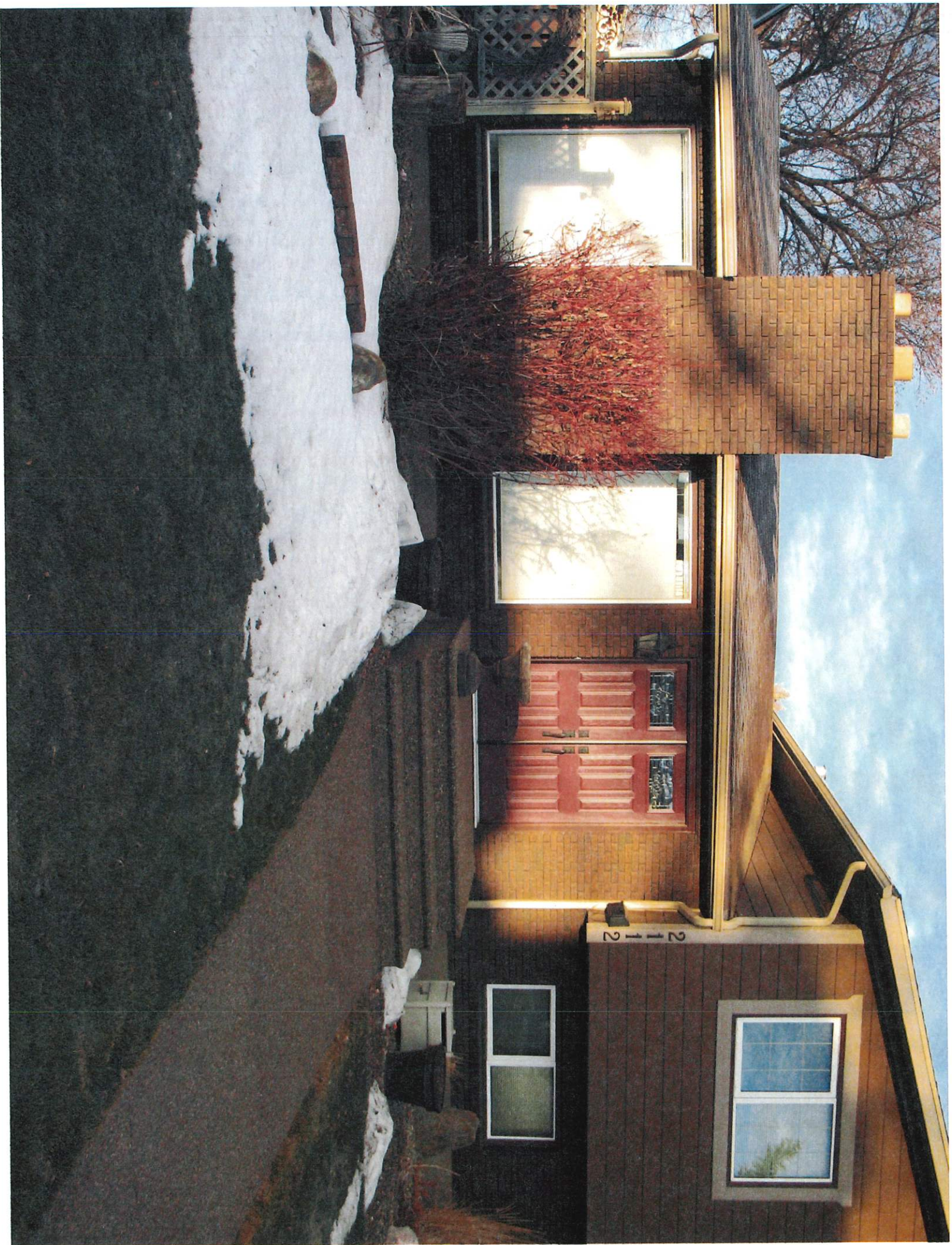
cc. Applicant





25' 4"

Sidewalk



Staff Report to the Municipal Planning Commission

Development Application #	2017-122
Applicant	Coaldale Copperheads
Civic Address	Land located west of 2608 – 21 Avenue
Legal Description	n/a
Zoning	n/a
Description of Application	Time Extension Request for a temporary Sign

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of a Development Application (#2017-122) to display a temporary sign at the above referenced property.

Land Use Bylaw 677-P-04-13 states that a development permit for a portable sign shall be valid for a period of no longer than 60 days. The Land Use Bylaw also states that once the permit has expired for a portable sign at a location address, application for another portable sign on the same site shall not occur until 30 days has elapsed from the expiration of the previously approved permit or 30 days from the date at which the portable sign is removed, whichever is the later of the two dates.

A request has been made for a 120 day time extension waiver which would allow the sign to be displayed continuously for a total of 210 days (7 months).

The Town of Coaldale Land-Use Bylaw states that waivers exceeding 10% of any measurable standard shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application. Notice of the application was sent to neighbouring property owners. We have not had any written or verbal concerns brought forward.

APPLICABLE SECTIONS OF THE LAND USE BYLAW:

- Land Use Bylaw, Schedule 2, Highway Commercial – C-2
- Land Use Bylaw, Schedule 13, Sign Regulations

OPTIONS:

THAT the board may consider APPROVAL of Development Application (#2017-122) to display a portable sign at the above referenced property subject to the following conditions:

1. The sign must be removed on or before April 10, 2018
2. The portable sign is to be non-illuminated and the position of the sign will not impede the vision of drivers.
3. The sign shall not project or overhang onto public property.

THAT the board may consider REFUSAL of Development Application (#2017-122) for the following reasons: _____

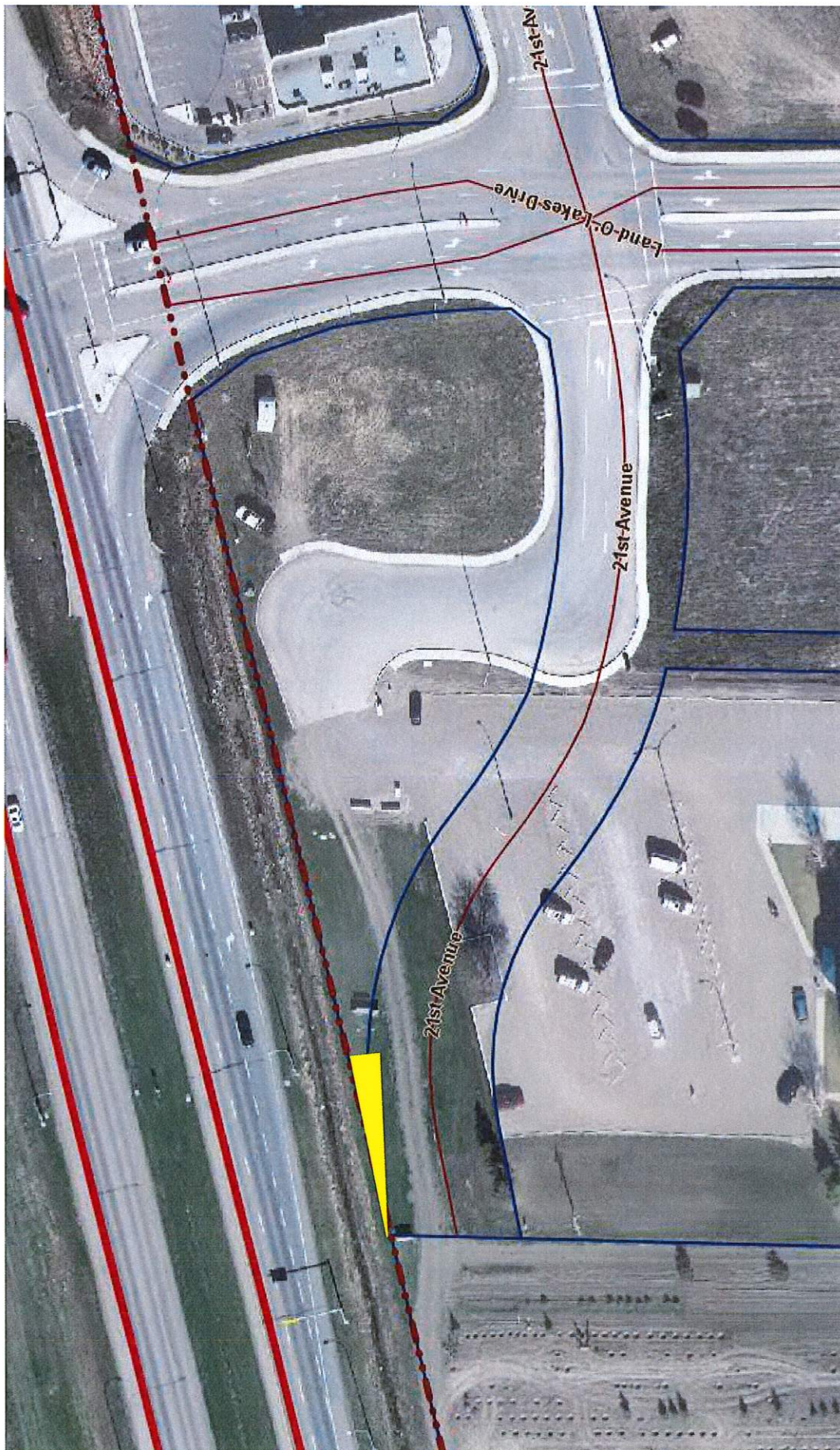
Respectfully Submitted:



Cindy L'Hirondelle
Manager of Development & Environmental Services

ATTACHED FILES:

- Notice to Neighbouring Property Owners
- Aerial map



Staff Report to the Municipal Development Authority Board

Development Application #	2017-123
Applicant	Miriam Hofsink
Civic Address	2105 – 16 th Avenue
Legal Description	Plan 9311973, Block 3, Lot 59
Zoning	Residential – R-1A
Description of Application	Home Occupation 2 – Counselling Services

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of Development Application 2017-123 to establish a Home Occupation 2 for the purpose of counselling services at the above referenced property.

- Clients are by appointment
- Hours of operation – Monday thru Friday 1:00pm – 8:00 pm.
- **2 parking stalls provided by the existing driveway – remaining would be on-street parking.**

The Town of Coaldale Land-Use Bylaw states that a Home Occupation 2 is a Discretionary Use in the Residential – R-1A zoning. As such, a hearing must be held by the Municipal Planning Commission (MPC) of the Town of Coaldale for consideration of the application.

Notice of the application was sent to the neighbouring property owners and no written or verbal concerns have been brought forward.

APPLICABLE SECTIONS OF THE LAND USE BYLAW:

- Land Use Bylaw, Schedule 2, Residential – R-1A
- Land Use Bylaw, Schedule 7, Home Occupations

Land Use Bylaw 677-P-04-13, Schedule 7 – Home Occupations, Section 3 – General Standards, Sub-Section (h) states:

“Home Occupations shall not generate vehicular traffic or parking, in excess of that which is characteristic of the district within it is located.”

Land Use Bylaw 677-P-04-13, Schedule 7 – Home Occupations, Section 3 – General Standards, Sub-Section (q)(ii) states:

"Home Occupations shall not include any use that would, in the opinion of the Development Authority, materially interfere with or affect the use, enjoyment or value of the neighbouring properties."

RECOMMENDATION

The board considers APPROVAL of Development Application (2017-122) to establish a Home Occupation 2 for the purpose of a counselling services at 2105 - 16 Avenue subject to the following conditions:

1. Applicant complies with the Land Use Bylaw No 677-P-04-13, Schedule 7, Home Occupations District;
2. Development Permit #2017-018 may be revoked at any time if, in the opinion of the Development Authority, the use is or has become detrimental to the amenities of the neighborhood.
3. Applicant applies to the Town of Coaldale for a Business License.
4. Hours of operation will be: Monday through Friday 9:00am – 5:00pm and Saturday 9:00 am – 1 pm
5. By appointment only
6. At no time shall there be a surplus of vehicles parked on or in front of the subject property to ensure there will be no traffic or parking problems within the neighbourhood.
7. A separate sign application must be submitted to the Town of Coaldale.

Respectfully Submitted:



Cindy L'Hirondelle
Manager of Development & Environmental Services

ATTACHED FILES:

- Site Plan
- Notice to Neighbouring Property Owners



July 13, 2017

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2017-123

APPLICANT: MIRIAM HOFKINK

**ADDRESS: 2105 - 16 AVENUE, COALDALE, ALBERTA
PLAN 9311973, BLOCK 3, LOT 59**

ZONING: RESIDENTIAL -R-1A

Dear Sir/Madam,

We are in receipt of Development Application #2017-123 requesting a Home Occupation 2 – counselling services at the above noted address. The hours of operation would be from 1:00 p.m. until 8:00 p.m. by appointment.

The Town of Coaldale Land-Use Bylaw states that discretionary used within zoning districts shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

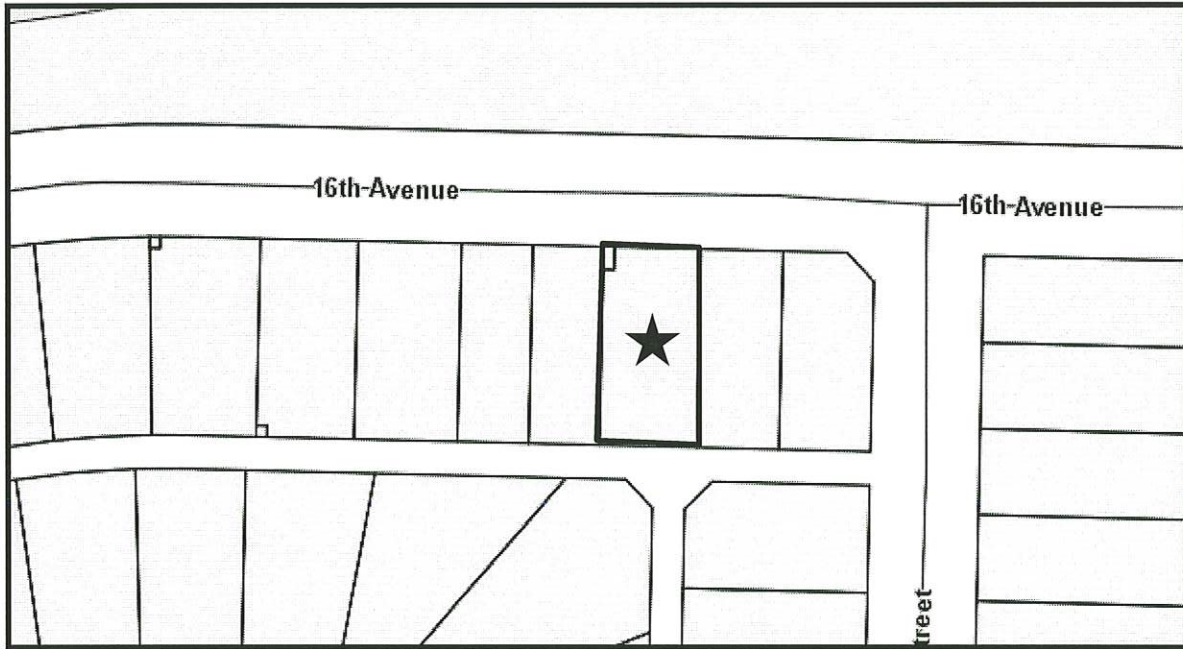
Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, August 9, 2017, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2017-123) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 – 17 Street Coaldale, Alberta.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Wednesday, August, 2017 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,

Cindy L'Hirondelle
Manager of Development & Environmental Services

cc. Applicant



Staff Report to the Municipal Development Authority Board

Development Application #	2017-126
Applicant	Southwest Design and Construction Ltd.
Civic Address	2108 Land o' Lakes Drive
Legal Description	Plan 061 4166, Block 5, Lot 1
Zoning	Highway Commercial C-2
Description of Application	New construction – medical facility (dental office) and 2 commercial/retail units

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of Development Application 2017-126 to construct a new commercial building for the purpose of a medical facility (dental office), and 2 commercial/retail units, at the above location.

The Town of Coaldale Land-Use Bylaw states that medical/health facility in the Highway Commercial – C2 land use district is a discretionary use. As such, a hearing must be held by the Municipal development Authority (MDA) board of the Town of Coaldale for consideration of the application.

The application requires specific consideration of the following site elements:

- 27 parking stalls required, including 3 barrier-free (38 stalls have been provided as submitted)
- Maximum site coverage permitted is 50% (24% coverage as submitted)
- Maximum building height permitted is 10 m (7.8 m maximum height as submitted)
- ALL yard setbacks have been met as submitted
- **A 6 m landscaping buffer is required for all parts of the site facing municipal roadways**
 - The north-facing portion of the site provides a 6.07 m landscaped buffer
 - The east-facing portion of the site provides a 3.05 m landscaped buffer
(This is 2.95 m narrower than required)
- **Site landscaping requirements include 1 tree for every 35 m² of landscaped area**
 - The proposal shows 528 m² of landscaped area, which would require a total of 15 trees.
(The proposal as submitted shows 4 trees (11 short), and 84 shrubs)

Points for consideration by the MSDA

- Regarding the landscaping requirements not being met, the Board could consider requiring the removal of parking stalls to include additional trees, in order to make up the shortage of 11 trees
- Should the Board wish to avoid affecting the proposed parking plan, there may be merit in permitting the 4 trees and 84 shrubs, as proposed
- Should the Board wish to address the 2.95 m shortfall of landscaped buffer width on the east property boundary, there may be merit in requiring additional hard landscaping elements such as

rock groupings, or additional plantings in the form of shrubs and trees, in the area that is currently identified as grass-only

- Consideration should also be given to the fact that the utility r-o-w, especially on the north boundary of the site, is well utilized and the landscaping must account for the multiple existing utility boxes. This can create difficulties with meeting the requirements for specific landscaping regulations, such as the number of trees on-site

Notice of the application was sent to the neighbouring property owners and no written or verbal concerns have been brought forward as of the date of the preparation of this report.

APPLICABLE SECTIONS OF THE LAND USE BYLAW:

- Land Use Bylaw, Schedule 2, Highway Commercial – C2
- Land Use Bylaw, Schedule 4, Standards of Development
- Land Use Bylaw, Schedule 9, Landscaping and Amenity Areas Guidelines
- Land Use Bylaw, Schedule 10, Industrial, Commercial and Warehousing
- Land Use Bylaw, Schedule 11, Off-street Parking and Loading Requirements
- Land Use Bylaw, Schedule 13, Sign Regulations

RECOMMENDATION

The board considers APPROVAL of Development Application (2017-126) to construct a dental office and 2 commercial/retail units at 2108 Land o' Lakes Drive, subject to the following conditions:

1. Applicant complies with the Land Use Bylaw No 677-P-04-13, Schedules 2, 4, 9, 10, 11 and 13;
2. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
3. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
4. Setbacks to conform to the site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Highway Commercial – C2 requirements.
5. Applicant shall obtain a Town of Coaldale business license prior to commencement.
6. Applicant/Owner shall contact the fire department at 403-345-1330 and arrange for a fire inspection prior to commencement.
7. Applicant/Owner shall receive approval from Alberta Health Services prior to a Town of Coaldale business license being issued.
8. A person to whom a Development Permit for a Commercial Building has been issued shall provide the Designated Officer prior to construction a letter from a qualified Alberta Land Surveyor confirming that a qualified Alberta Land Surveyor conducted the Stakeout of the site for construction.

9. Must obtain a competent Alberta Land Surveyor to establish the vertical grades and cuts prior to the excavation of the foundation.
10. The applicant/ owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 11, Off-Street Parking & Loading Requirements.
11. Owner/applicant shall enter into a Development Agreement with the Town of Coaldale which may make reference to the provision of servicing and any other matter that the Town of Coaldale deems necessary **prior to commencement**. Agreement shall be registered on title.
12. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
CONTAINERS SHALL NOT BE PLACED ON THE TOWN STREET OR LANEWAY.
13. A refundable landscaping fee in the amount of **\$1,000.00** shall be required to ensure the completion of landscaping for street frontage to the satisfaction of the Town of Coaldale. The lot shall be comprehensively landscaped as per the landscaping plan provided and any additional landscaping requirements required by the MSDA as a part of the approval of this Development Permit.
14. Ensure water does not drain into neighbouring properties.
15. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.
16. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighbourhood.

Respectfully Submitted:



Spencer Croil for: Cindy L'Hirondelle
Manager of Development & Environmental Services

ATTACHED FILES:

- Application drawings (site plan, landscaping plan, elevations, etc.)
- Notice to Neighbouring Property Owners
- Development application
- Highway Commercial – C2 land use district excerpt



July 27, 2017

TO: NEIGHBOURING PROPERTY OWNERS

RE: DEVELOPMENT APPLICATION 2017-126

APPLICANT: SOUTHWEST DESIGN AND CONSTRUCTION LTD.

**ADDRESS: 2108 LAND O' LAKES DRIVE, COALDALE, ALBERTA
PLAN 061 4166, BLOCK 5, LOT 1**

ZONING: HIGHWAY COMMERCIAL – C2

Dear Sir/Madam,

We are in receipt of Development Application #2017-126 requesting the construction of a medical/health facility, and 2 commercial/retail units, all within the same building. Please note that the lot in question has been subdivided as shown on the map (other side of page) and the subdivision is in the process of being finalized.

The Town of Coaldale Land-Use Bylaw states that discretionary used within zoning districts shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

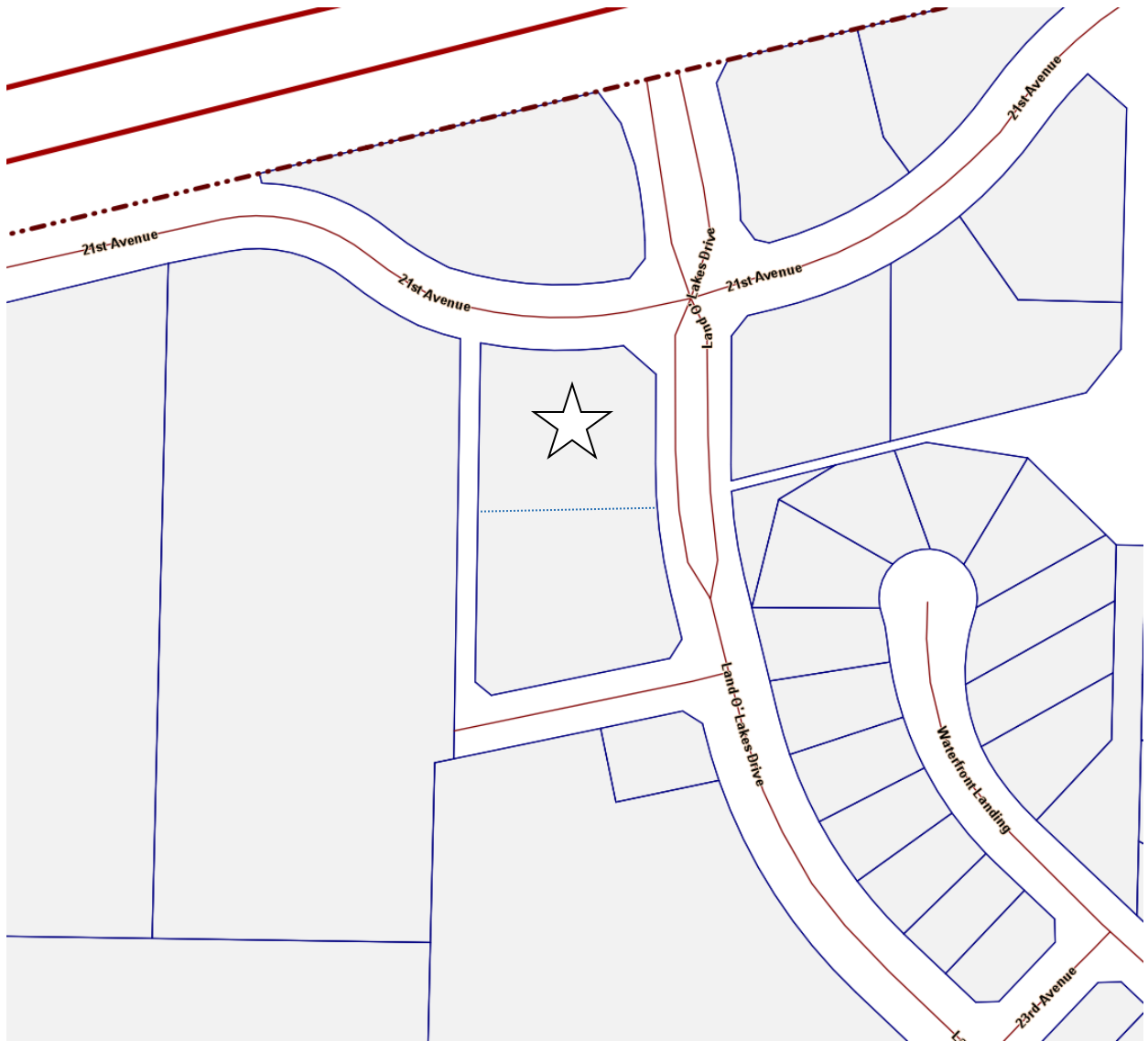
Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, August 9, 2017, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2017-126). The hearing will take place in the Town Council Chambers at 1920 – 17 Street Coaldale, Alberta.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Wednesday, August 9, 2017 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,

Spencer Croil for: Cindy L'Hirondelle
Manager of Development & Environmental Services

cc. Applicant



NOTICE OF DEVELOPMENT APPLICATION

DEVELOPMENT PERMIT NO. 2017-126

**to be considered at the regular meeting of the Municipal Subdivision and Development Authority
(MSDA) to be held at 5:00 pm on Wednesday, August 9th, 2017
Town of Coaldale administration office – 1920 – 17th Street**

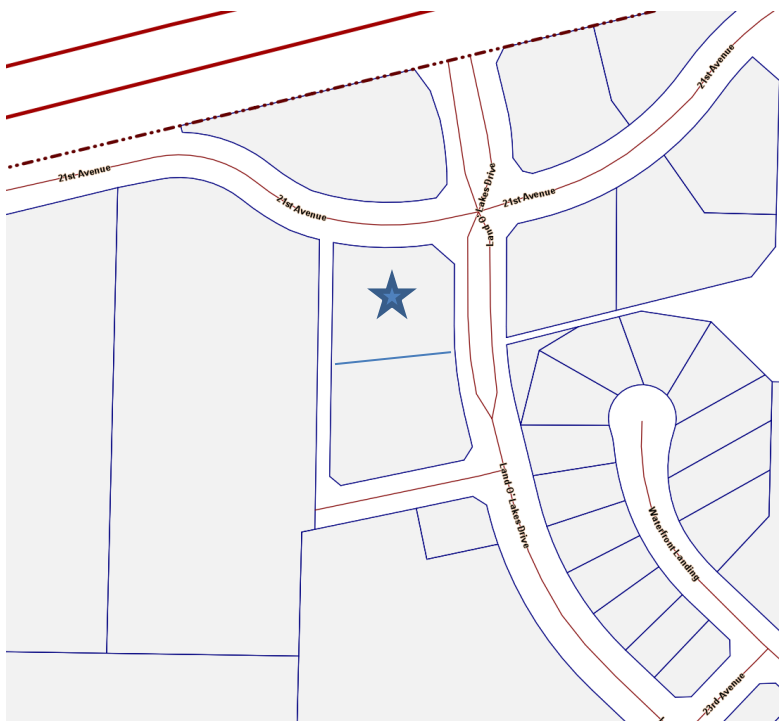
PURSUANT to the Municipal Government Act, Revised Statutes of Alberta 2000 Chapter M-26 as amended, and Section 41 of the Administrative Part of the Town of Coaldale's Land Use Bylaw, this is notice that development permit application no. 2017-126, for a medical/health facility, has been made on lands legally described as Plan 061 4166, Block 5, Lot 1 (civic address 2108, Land o' Lakes Drive). The application includes a medical/health facility and spaces for 2 commercial/retail units. The medical/health facility use is listed as a discretionary use under the subject property's zoning (Highway Commercial – C2).

THEREFORE, TAKE NOTICE THAT development permit application no. 2017-126 will be considered at the Town of Coaldale office at the regular meeting of the Municipal Subdivision and Development Authority, to be held Wednesday August 9th, 2017.

AND FURTHER TAKE NOTICE THAT this notice is intended to act as public notification of the development permit application no. 2017-126.

AND FURTHER TAKE NOTICE THAT a copy of the development permit application may be inspected at the Town of Coaldale office during normal business hours or alternatively on the Town's website at www.coaldale.ca.

DATED at the Town of Coaldale in the Province of Alberta this 26th day of July, 2017.



BUILDING OWNER

MUNICIPAL ADDRESS
2108 LAND O'LAKES BLVD.
COALDALE, ALBERTA

LEGAL ADDRESS
LOT
BLOCK
PLAN

BUILDING OWNER.....

BUILDING OWNER REPRESENTATIVE
REED HUDSON
SOUTHWEST DESIGN & CONSTRUCTION LTD.
3755 18TH AVE NORTH
LETHBRIDGE, ALBERTA T1H 6T2
p: (403) 320-5400
e: reedh@swmw.net

CONSULTANTS

STRUCTURAL
(PRIME COORDINATING PROFESSIONAL)
SIGMA RHO SQUARED ENGINEERING
2931 12 AVENUE NORTH
LETHBRIDGE ALBERTA T1H 5K9
ATTN: SAM RICHARDS
P: (403) 942-0981
E: sam@sr2eng.ca

CIVIL
SIGMA RHO SQUARED ENGINEERING
2931 12 AVENUE NORTH
LETHBRIDGE ALBERTA T1H 5K9
ATTN: SAM RICHARDS
P: (403) 942-0981
E: sam@sr2eng.ca

ARCHITECTURAL
IAN MOXON ARCHITECT INC
#300 410 STAFFORD DRIVE SOUTH
LETHBRIDGE ALBERTA T1J 2L2
ATTN: IAN MOXON
P: (403) 929-4722
E: ian@ianmoxonarchitect.com

ARCHITECTURAL
DRAWINGS

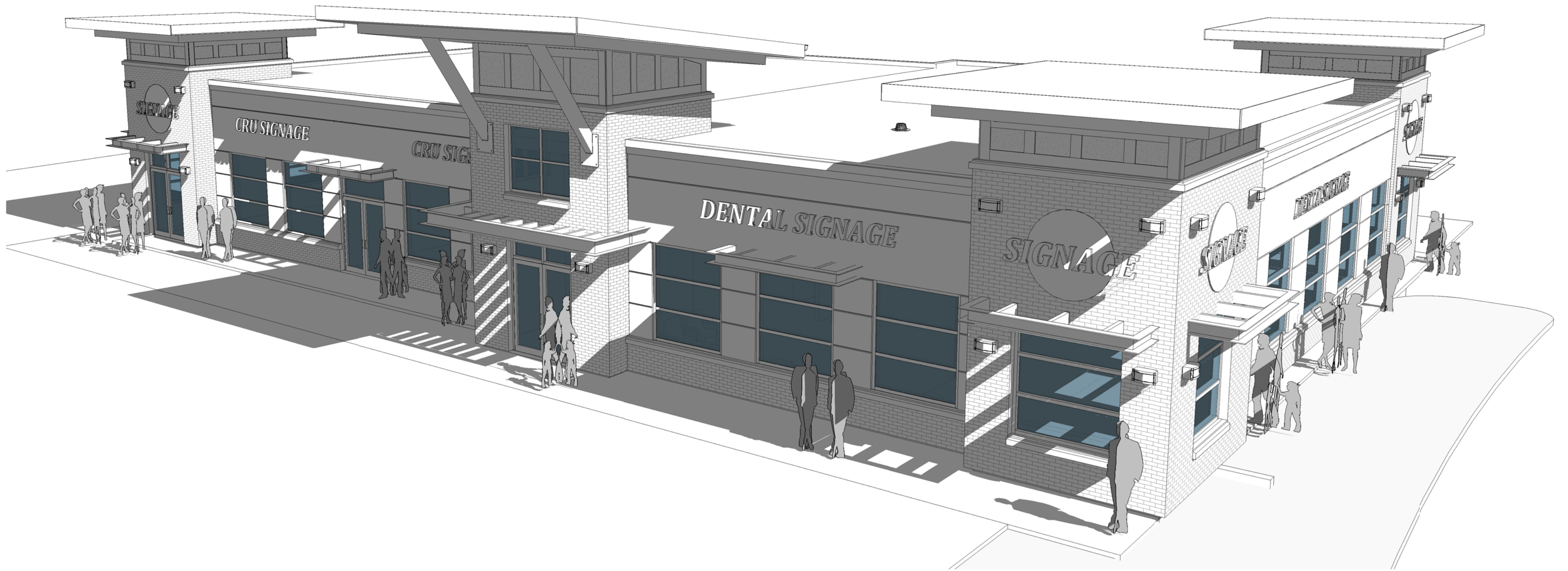
GENERAL
A0.01 TITLE PAGE

SITE PLANS
A1.01 LANDSCAPING PLAN

LAYOUT PLANS
A2.01 BASEMENT
A2.02 MAIN FLOOR
A2.03 ROOF PLAN

ELEVATIONS
A3.01 ELEVATIONS
A3.02 ELEVATIONS
A3.03 ELEVATIONS

DENTAL CRU
COALDALE, ALBERTA



1 3D VIEW - NORTHEAST (LOOKING SW)



2 3D VIEW - SOUTHEAST (LOOKING NW)

DESIGN DEVELOPMENT

READ IN CONJUNCTION WITH GEOTECHNICAL EVALUATION (REPORT) AS WELL AS STRUCTURAL, MECHANICAL, ELECTRICAL AND CIVIL (DRAWINGS & SPEC'S)

ISSUE	REVISION / ISSUED FOR....	DAT
A	PRELIMINARY LAYOUT	17 06 12
B	OPTION 1 LAYOUT ADDED	17 06 17
C	OPTION 2 LAYOUT ADDED	17 07 05
D	CLIENT REVIEW	17 07 13
E	ISSUE FOR DP SUBMISSION	17 07 18
MUNICIPAL ADDRESS 2108 LAND O'LAKES BLVD, COALDALE, ALBERTA LOT BLOCK PLAN		

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Professional Seal

**IAN MOXON
Architect**

Project:
**Dental Office & CRU
Town of Coaldale**

Drawing:
**Title Page
Title Page**
Project #170035 CSCD

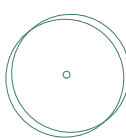
Phase:
Design Development

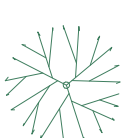
Status:
DP Submission

A0.01

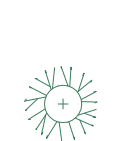
TITLE PAGE.....

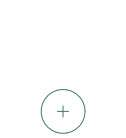
LEGEND :

- 

TREE - DECIDUOUS - FRAXINUS NIGRA FALLGOLD
FALLGOLD BLACK ASH
MATURE HEIGHT 32'-9" (10m), SPREAD 16'-5" (5m)
QUANTITY 2
- 

TREE - CONIFEROUS - PINUS PUNGENS HOOPSII
HOOPSII SPRUCE
MATURE HEIGHT 39'-4" (12m), SPREAD 9'-10" (3m)
QUANTITY 2
- 

TREE - DECIDUOUS - SYRINGA RETICULATA
AMUR LILAC
MATURE HEIGHT 16'-4" (5m), SPREAD 9'-10" (3m)
QUANTITY 0
- 

SHRUB - DECIDUOUS - CORNUS STOLONIFERA
RED OSIER DOGWOOD
MATURE HEIGHT 6'-6" (2m), SPREAD 9'-10" (3m)
QUANTITY 34
- 

SHRUB - D' - SPIREA BUMALDA ANTHONY WATERER
ANTHONY WATERER SPIREA
MATURE HEIGHT 2'-0" (0.6m), SPREAD 3'-3" (1m)
QUANTITY 88

GRASS TYPE 1 - SOD
DROUGHT TOLERANT AND LOW MAINTENANCE
20% FAIRWAY CRESTED WHEATGRASS, 20% WESTERN
WHEATGRASS, 15% CANADA BLUEGRASS, 10% SHEEP FESCUS,
10% HARD FESCUE, 20% BOREAL CREEPING RED FESCUE AND
5% PERENNIAL RYEGRASS BLEND.

MULCH
TO SHRUB BEDS AND 4'-0" DIA. AROUND TREES.
BARK MULCH - PREMIUM SHREDDED CONIFEROUS FIR, 2"
(50mm) OR LESS IN SIZE. FREE FROM NON-ORGANIC
MATERIALS , WOOD PRESERVATIVES, DISEASED WOOD,
MOULDS, FUNGI AND INSECT INFESTATIONS, OVER
GEOTEXTILE FABRIC. CONTAIN MULCH WITH HEAVY DUTY
PVC EDGING.

PLANT SIZES
CONIFEROUS TREES SHALL BE MINUMUM 2m HIGH.
DECIDUOUS TREES SHALL BE A MINIMUM 75mm (3") CALIPER.
SHRUBS SHALL BE AT LEAST 2 GALLON (#2) SIZE.

IRRIGATION
ALL LANDSCAPING (INCLUDING GRASS) REQUIRES
IRRIGATION.
ALL PLANTING BEDS (SHRUBS AND TREES) REQUIRE DRIP
IRRIGATION.

MAINTENANCE PERIOD:
MAINTAIN PLANT MATERIALS, RELATED WORKS AND
IRRIGATION SYSTEM FOR ONE YEAR FROM DATE OF
ACCEPTANCE OF LANDSCAPING WORK.

WARRANTY:
PROVIDE A WARRANTY FOR ALL PLANT MATERIALS, RELATED
WORKS AND IRRIGATION SYSTEM FOR ONE YEAR FROM DATE
OF ACCEPTANCE OF LANDSCAPING WORK.

HARD LANDSCAPING :

NEW SIDEWALKS
BROOM FINISHED, 5" THICK, REINFORCED CAST-IN-PLACE
CONCRETE. CONSTRUCTION JOINTS AT 5'-0" INTERVALS
(PERPENDICULAR AND TRANSVERSE). 2% CROSSFALL.
BARRIER-FREE RAMPS WITH MAXIMUM 1:12 SLOPE.

NEW CURBS
TOWEL FINISHED, PINNED AND CAST-IN PLACE
REINFORCED CONCRETE, 6" HIGH WITH BULLNOSE EDGE.

NEW ASPHALT CONCRETE PAVEMENT
LIGHT DUTY - CARS ONLY (STALLS)
3" THICK TYPE 3 (CITY OF LETHBRIDGE SPECIFICATION) ON
8" GRANULAR BASE COURSE.
HEAVY DUTY - CARS AND OCCASIONAL TRUCKS (AISLES)
2" THICK TYPE 3 AND 2-3/8" TYPE 2 (CITY OF LETHBRIDGE
SPECIFICATION) ON 12" GRANULAR BASE COURSE.
LAID TO SLOPE - MAXIMUM 4% SLOPE.

PAVEMENT MARKINGS 4" WIDE PAINTED LINES AND
BARRIER-FREE SYMBOLS. COLOUR - WHITE.



1 LEVEL 00 - LANDSCAPE PLAN
3/32" = 1'-0"

ISSUE	REVISION / ISSUED FOR....	DAT
A	PRELIMINARY LAYOUT	17 06 12
B	OPTION 1 LAYOUT ADDED	17 06 17
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MUNICIPAL ADDRESS 2108 LAND O'LAKES BLVD, COALDALE, ALBERTA LOT BLOCK PLAN		

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Professional Seal

Ian Moxon Architect

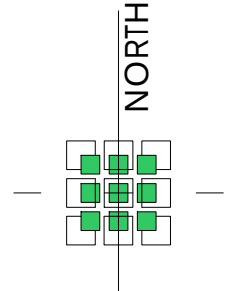
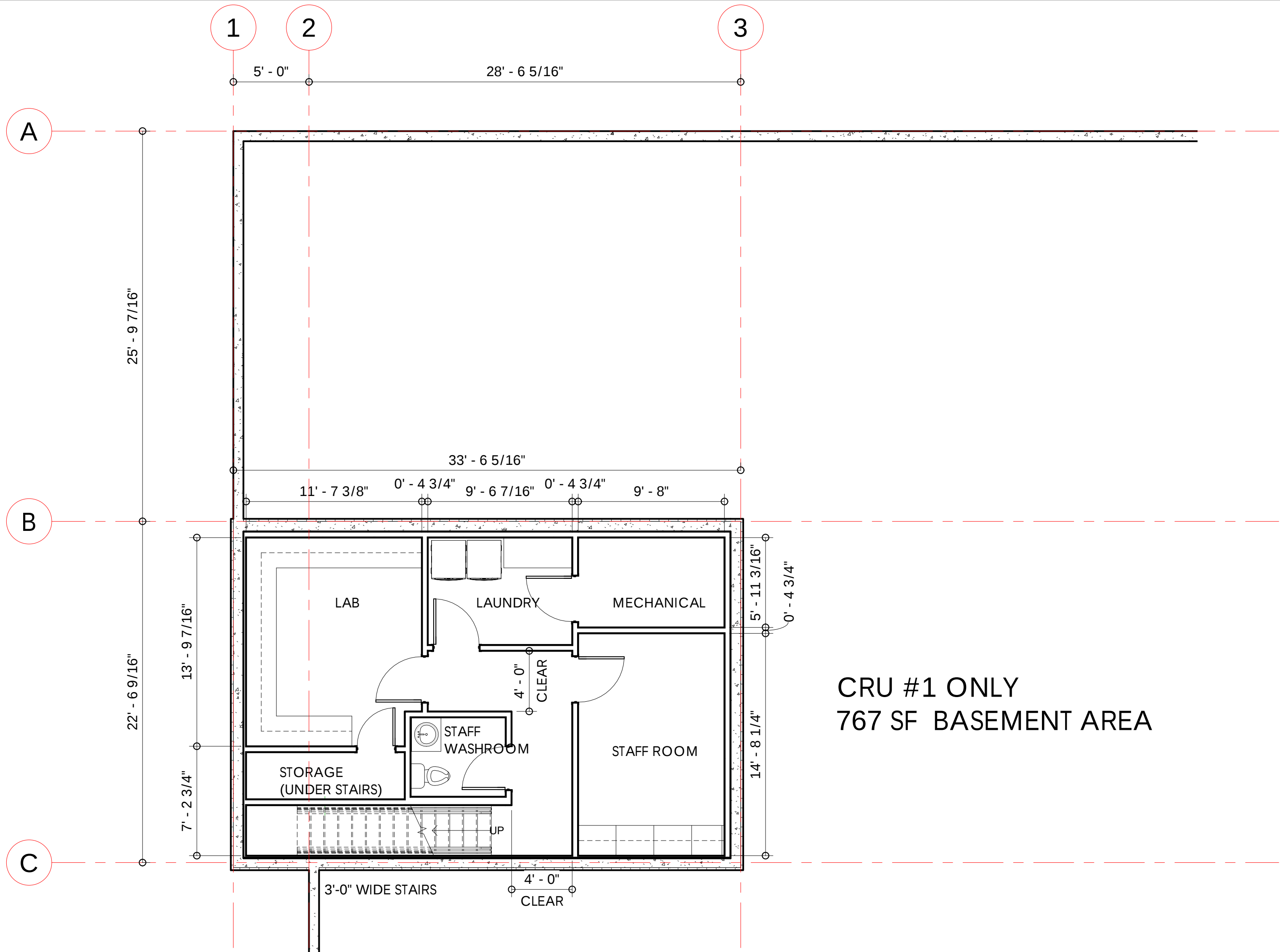
Project:
**Dental Office & CRU
Town of Coaldale**

Drawing:
**Site Plan
Landscape Plan**
Project #170035 CSCD

Phase:
Design Development

Status:
DP Submission

A1.01



ISSUE	REVISION / ISSUED FOR....	DAT
A	PRELIMINARY LAYOUT	17 06 12
B	OPTION 1 LAYOUT ADDED	17 06 17
C	OPTION 2 LAYOUT ADDED	17 07 05
D	CLIENT REVIEW	17 07 13
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MUNICIPAL ADDRESS
2108 LAND O'LAKES BLVD, COALDALE, ALBERTA
LOT BLOCK PLAN

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Project:
Dental Office & CRU
Town of Coaldale

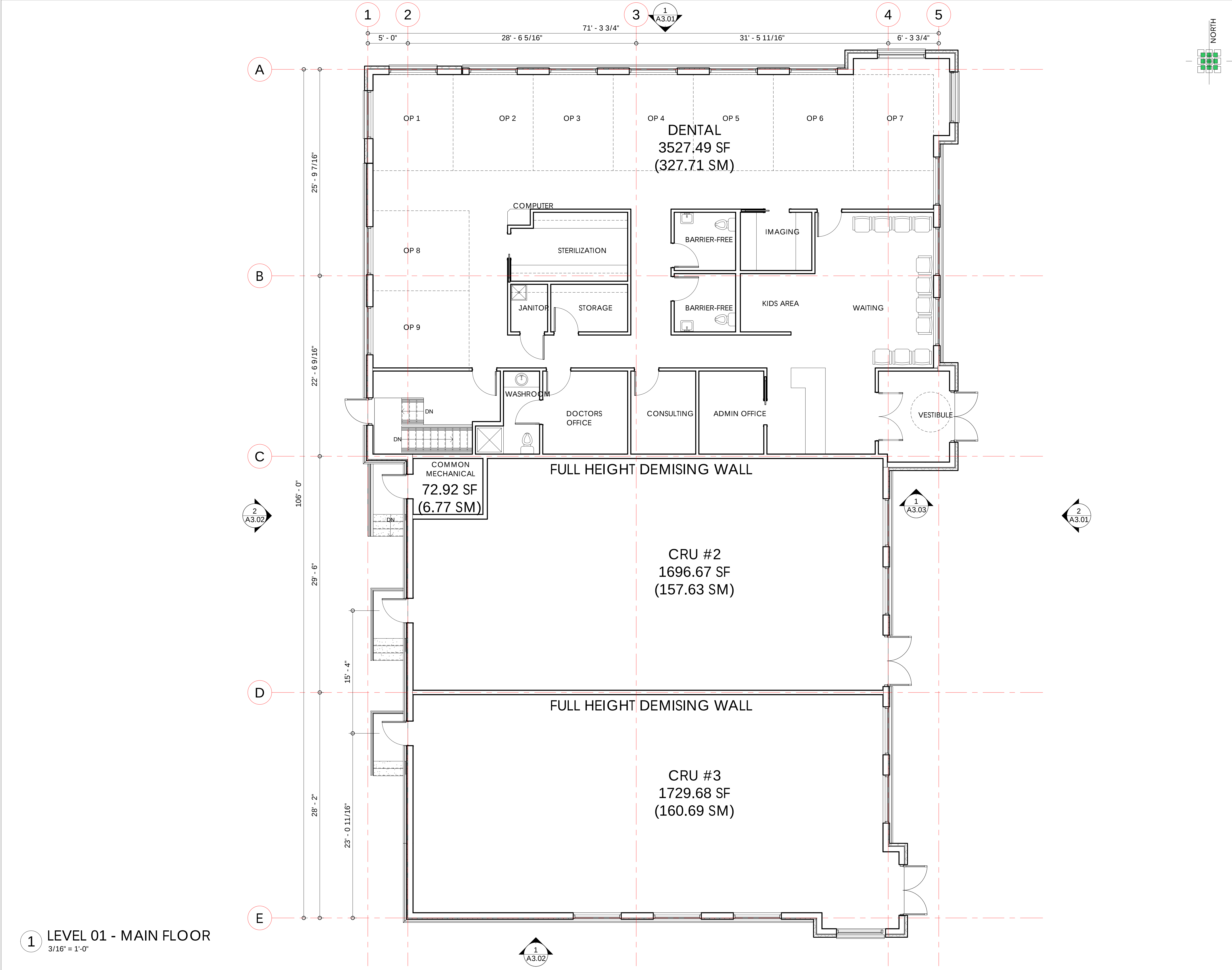
Drawing:
Layout Plans
Basement
Project #170035 CSCD

Phase:
Design Development

Status:
DP Submission

A2.01

LAYOUT PLANS.....



1 LEVEL 01 - MAIN FLOOR
3/16" = 1'-0"

ISSUE	REVISION / ISSUED FOR....	DAT
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MUNICIPAL ADDRESS 2108 LAND O'LAKES BLVD., COALDALE, ALBERTA LOT BLOCK PLAN		

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Project:
**Dental Office & CRU
Town of Coaldale**

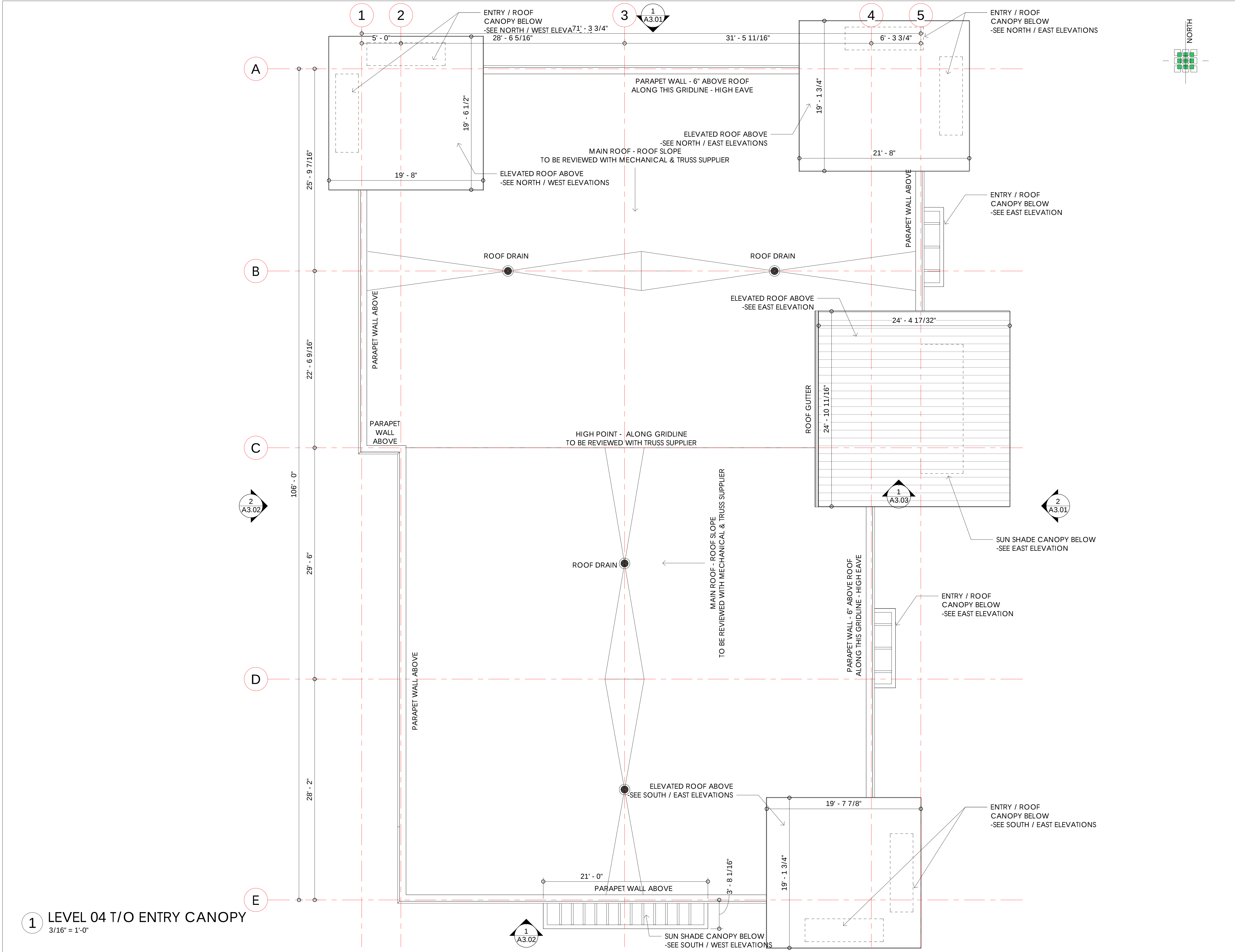
Drawing:
**Layout Plans
Main Floor**
Project #170035 CSCD

Phase:
Design Development

Status:
DP Submission

A2.02

LAYOUT PLANS.....



ISSUE	REVISION / ISSUED FOR....	DAT
A	PRELIMINARY LAYOUT	17 06 12
B	OPTION 1 LAYOUT ADDED	17 06 17
C	OPTION 2 LAYOUT ADDED	17 07 05
D	CLIENT REVIEW	17 07 13
E	ISSUE FOR DP SUBMISSION	17 07 18
MUNICIPAL ADDRESS		
2108 LAND O'LAKES BLVD, COALDALE, ALBERTA		
LOT BLOCK PLAN		

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Professional Seal

Ian Moxon Architect

Project:
Dental Office & CRU
Town of Coaldale

Drawing:
Layout Plans
Roof Plan
Project #170035 CSCD

Phase:
Design Development

Status:
DP Submission

A2.03

LAYOUT PLANS.....

ISSUE	REVISION / ISSUED FOR....	DAT
A	PRELIMINARY LAYOUT	17 06 12
B	OPTION 1 LAYOUT ADDED	17 06 17
C	OPTION 2 LAYOUT ADDED	17 07 05
D	CLIENT REVIEW	17 07 13
E	ISSUE FOR DP SUBMISSION	17 07 18

MUNICIPAL ADDRESS
2108 LAND O'LAKES BLVD, COALDALE, ALBERTA
LOT BLOCK PLAN

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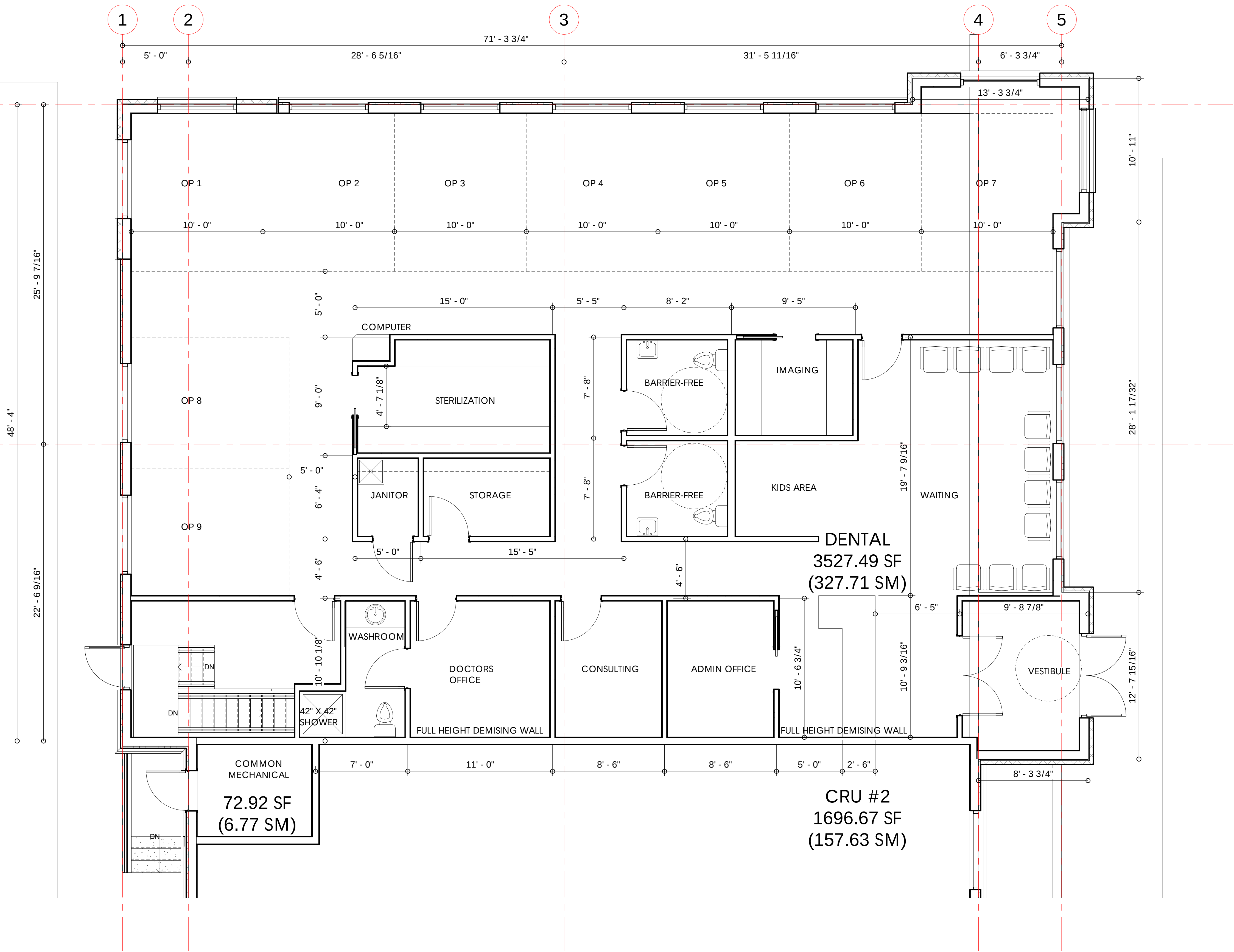
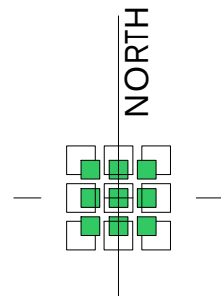
Project:
Dental Office & CRU
Town of Coaldale

Drawing:
Layout Plans
Main Floor - Partial
Project #170035 CSCD

Phase:
Design Development

Status:
DP Submission

A2.04



1 LEVEL 01 - MAIN FLOOR - PARTIAL (NE)
1/4" = 1'-0"

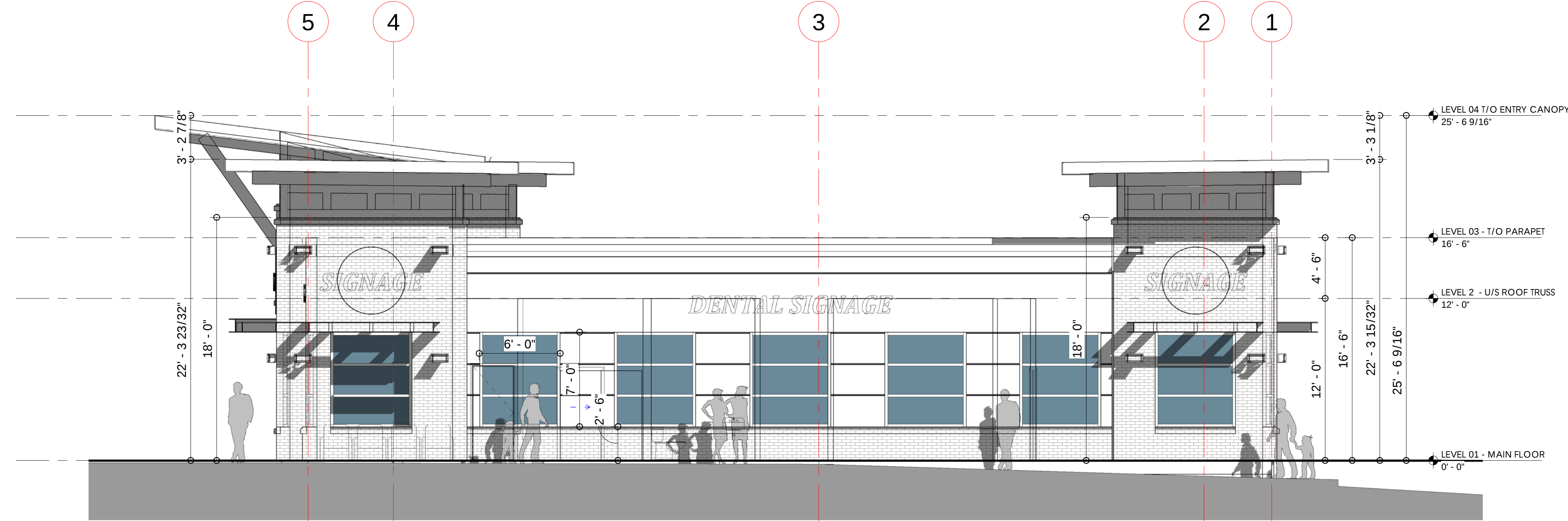
ISSUE	REVISION / ISSUED FOR....	DAT
A	PRELIMINARY LAYOUT	17 06 12
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MUNICIPAL ADDRESS
2108 LAND O'LAKES BLVD, COALDALE, ALBERTA
LOT BLOCK PLAN

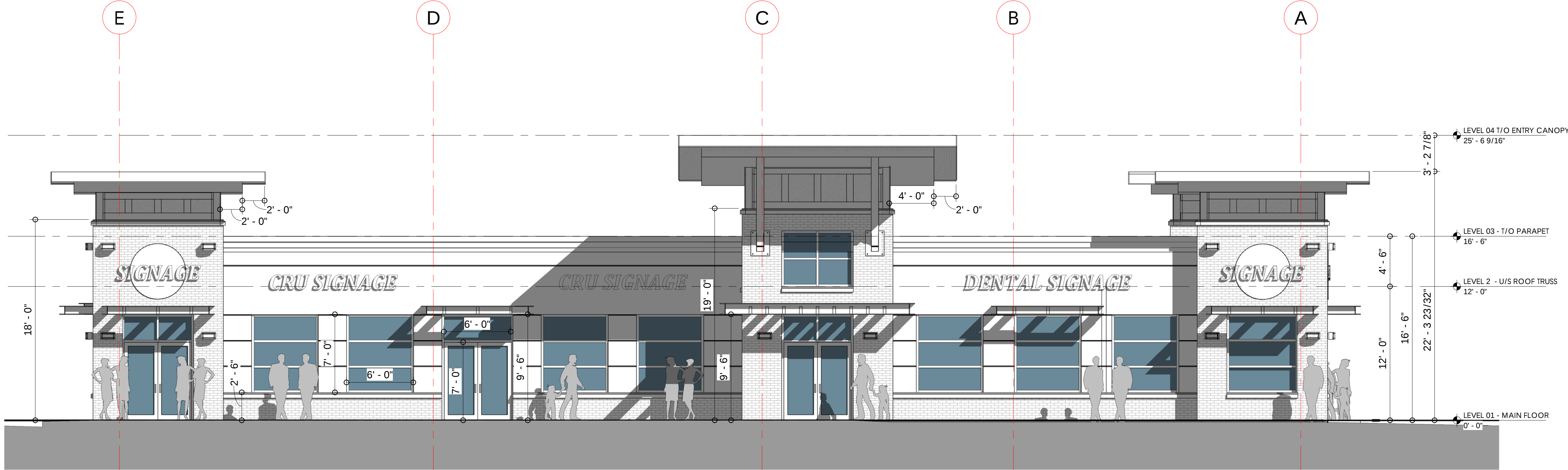
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ELEVATIONS.....



1 ELEVATION - NORTH
3/16" = 1'-0"



2 ELEVATION - EAST
3/16" = 1'-0"

Ian Moxon
Architect

Project:
Dental Office & CRU
Town of Coaldale

Drawing:
Elevations
Elevations
Project #170035 CSCD

Phase:
Design Development

Status:
DP Submission

A3.01

ISSUE	REVISION / ISSUED FOR....	DAT
A	PRELIMINARY LAYOUT	17 06 12
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MUNICIPAL ADDRESS
2108 LAND O'LAKES BLVD, COALDALE, ALBERTA
LOT BLOCK PLAN

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Town of Coaldale

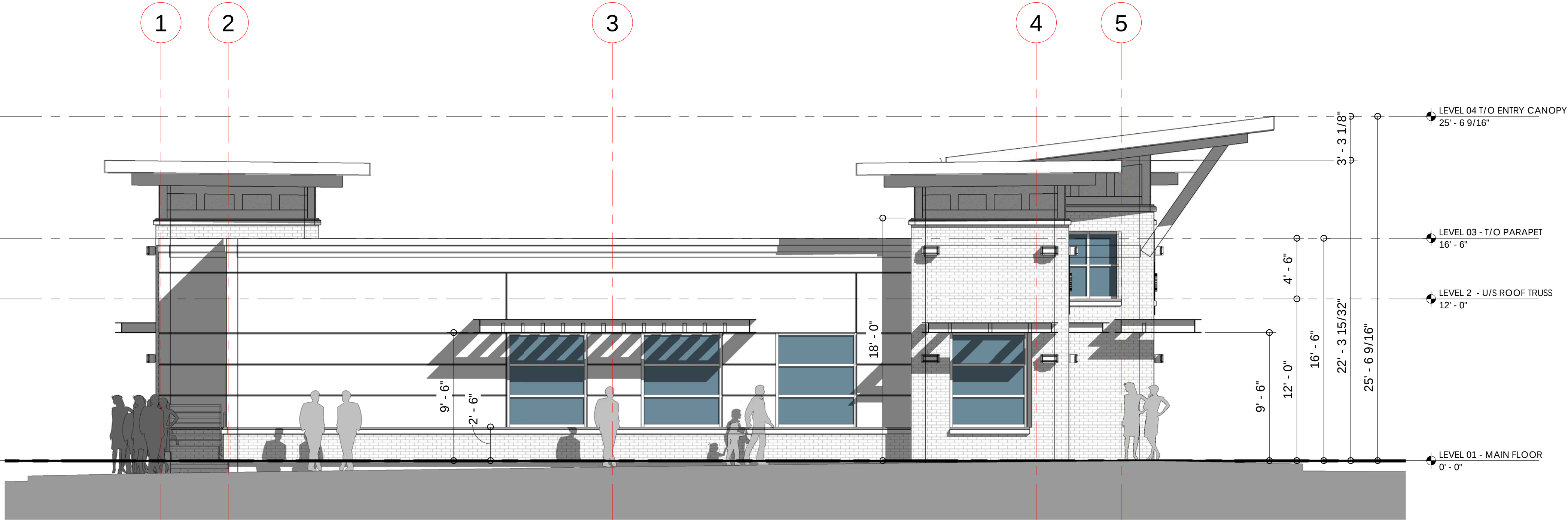
Drawing:
Elevations
Elevations
Project #170035 CSCD

Phase:
Design Development

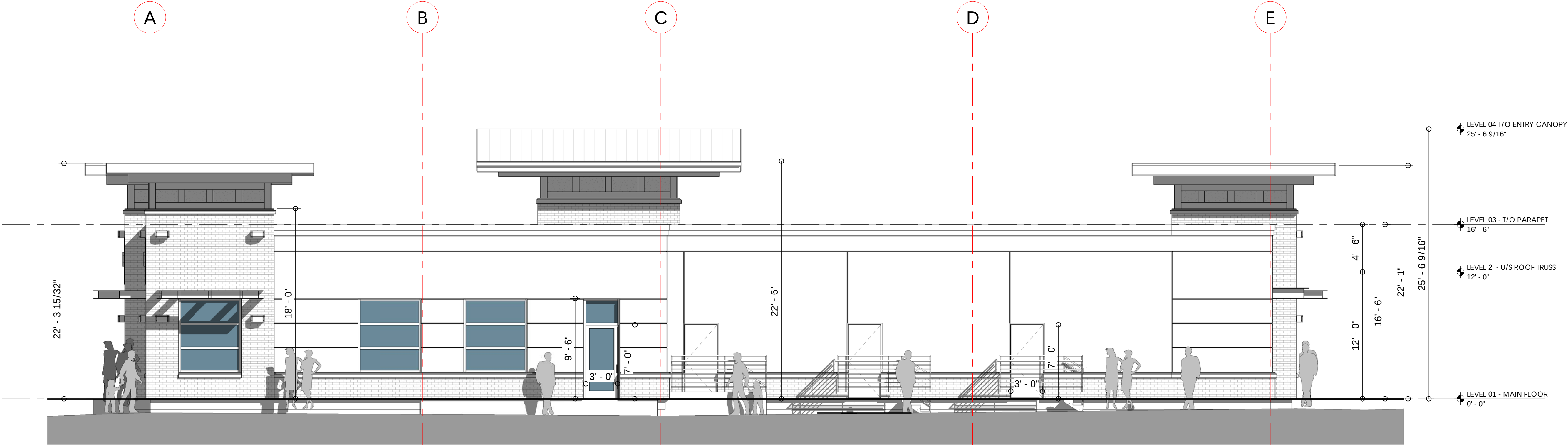
Status:
DP Submission

A3.02

ELEVATIONS.....



1 ELEVATION - SOUTH
3/16" = 1'-0"



2 ELEVATION - WEST
3/16" = 1'-0"

EXTERIOR COLOUR SCHEME

1 BRICK VENEER
STONE SIZE, PATTERN AND COLOUR : TBC

- 2 CONCRETE SILLS
SIZE, PATTERN AND COLOUR : TBC

- 3A** FIBRE CEMENT PANEL C/W 7.25" WIDE
SMOOTH TRIMS. COLOUR : TBC

- 3B FIBRE CEMENT PANEL C/W 7.25" WIDE
SMOOTH TRIMS. COLOUR : TBC

- 4 EXTERIOR INSULATION FINISHING SYSTEM (MEDIUM
TEXTURE) COLOUR : TBC

DOORS AND WINDOWS

- 6 CLEAR ANODIZED ALUMINUM WITH CLEAR GLASS
- MAN DOORS - INSULATION HOLLOW METAL DOOR
AND PRESSED STEEL FRAMES PAINTED FINISH
COLOUR : TBC
- 7

- 8 METAL TRIMS ASSOCIATED WITH DOORS AND WINDOWS (JAMBS AND HEAD) TO MATCH EXTERIOR BUILDING FINISHES
METAL TRIMS TO SILLS TO MATCH DOORS AND WINDOWS

- 9 EXTERIOR LIGHT FIXTURES
STYLE AND COLOUR : TBC

- 10 METAL FEATURE BRACING
PAINTED HSS - COLOUR : TBC

- 11 METAL FEATURE CANOPY
PAINTED HSS & C CHANNEL
COLOUR : TBC

- 11A FASCIA, SOFFITS, & GUTTERS - BAKED ENAMEL**
COLOUR : TBC

- 12 MAIN ENTRY CAOPY SOFFIT
ALUMINUM WOOD EFFECT PLANK
PROFILE AND COLOUR : TBC

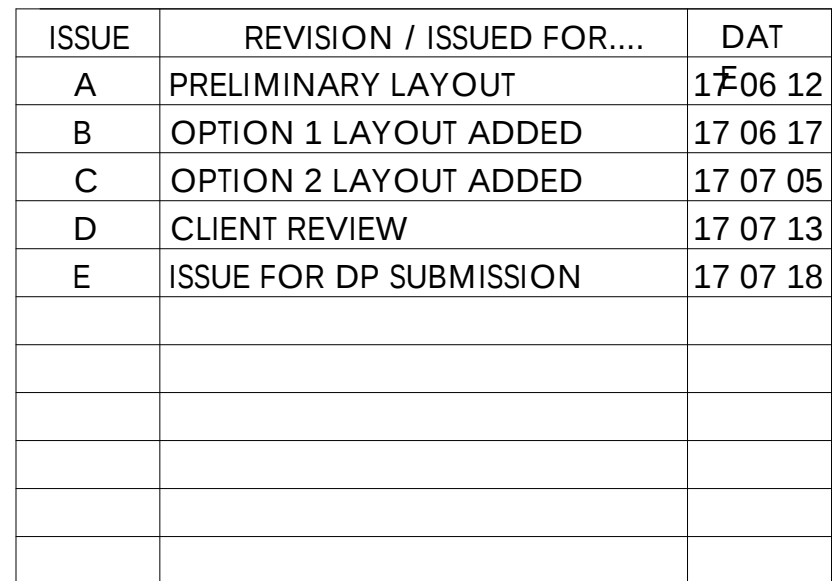
- 13** EXTERIOR SIGNAGE
STYLE AND COLOUR : TBC

- 14 PARAPET CORNICE
COLOUR : TBC

- ENTRY / ROOF CANOPY
COLOUR : TBC



2 3D VIEW - ENTRY CANOPY



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Professional Seal

Project:

**Dental Office & CRU
Town of Coaldale**

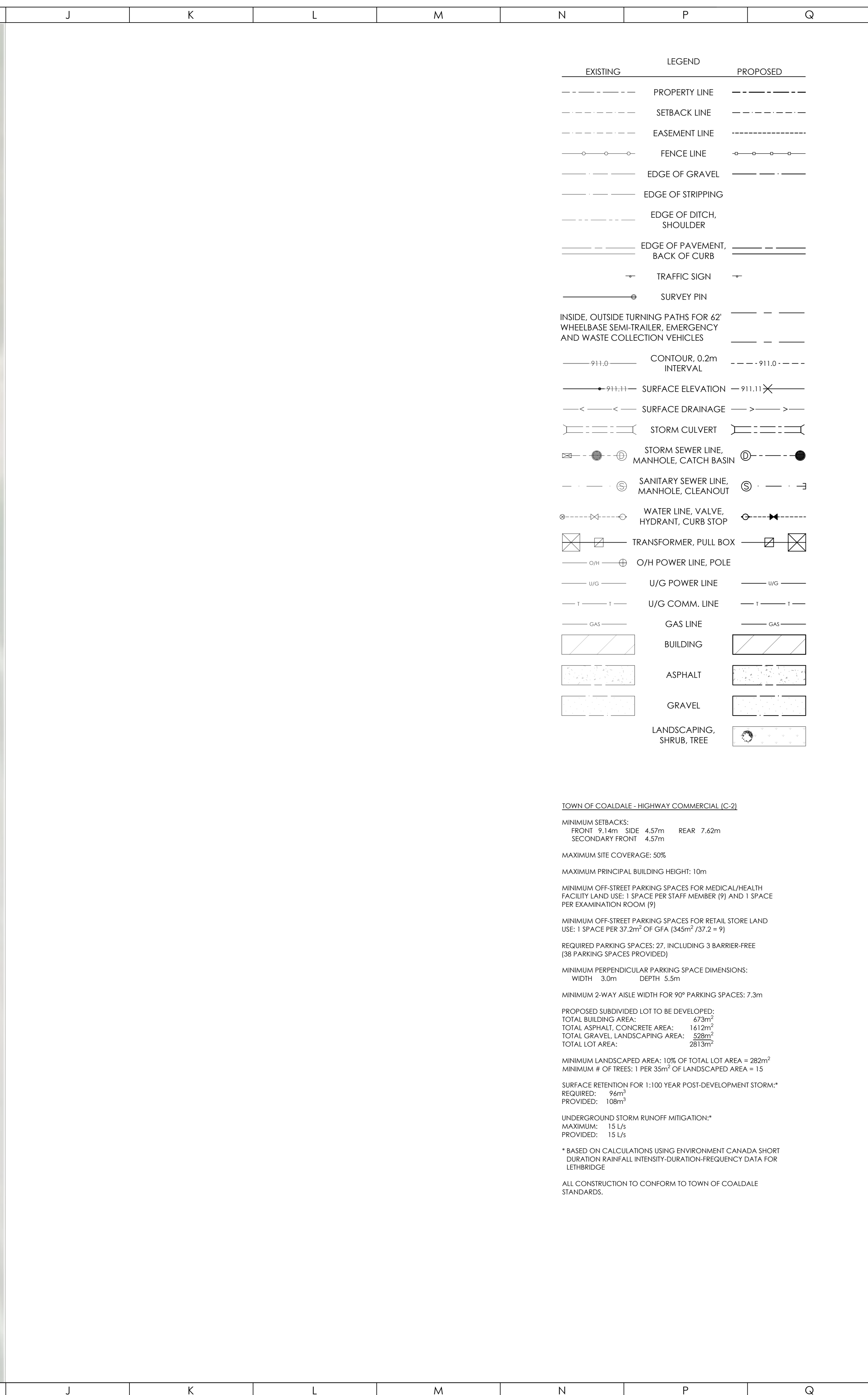
Drawing:

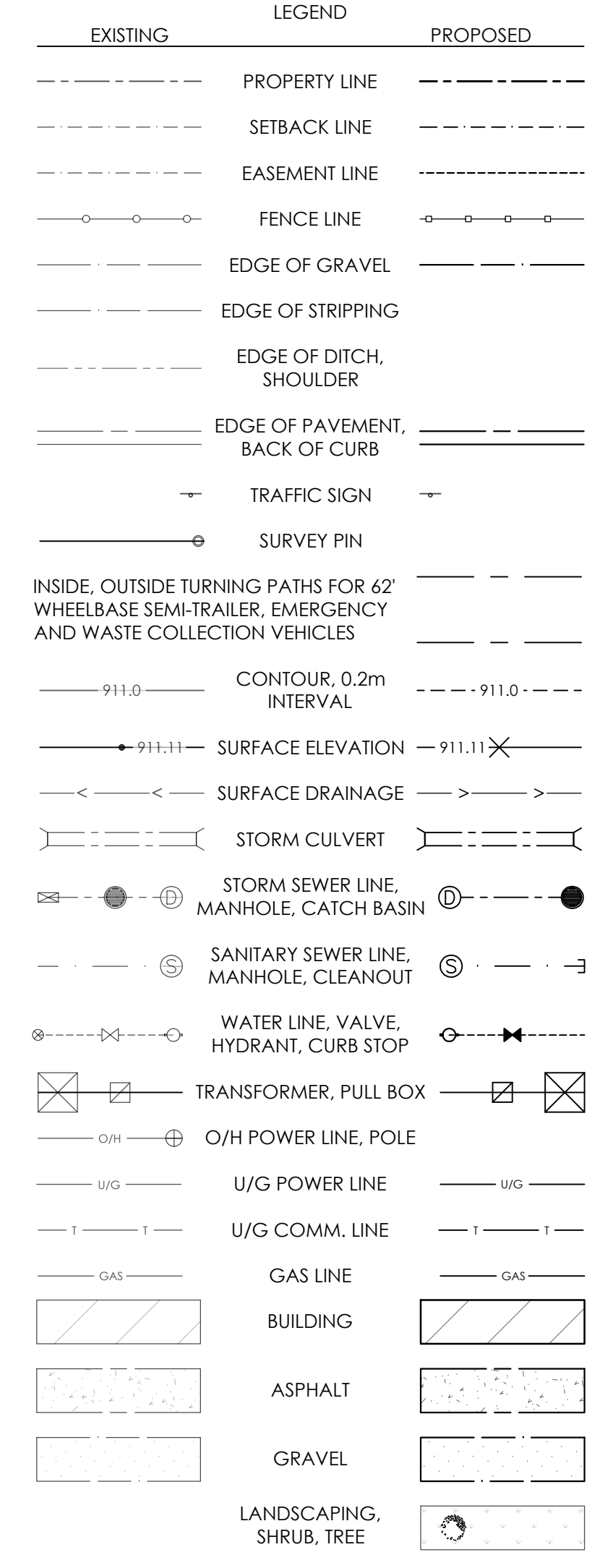
Elevations
Elevations
Project #170035 CSCD

Phase: **Design Development**

Status: **DP Submission**

A3.03





TOWN OF COALDALE - HIGHWAY COMMERCIAL (C-2)

MINIMUM SETBACKS:

FRONT	9.14m	SIDE	4.57m	REAR	7.62m
SECONDARY FRONT		4.57m			

MAXIMUM SITE COVERAGE: 50%

MAXIMUM PRINCIPAL BUILDING HEIGHT: 10m

MINIMUM OFF-STREET PARKING SPACES FOR MEDICAL/HEALTH FACILITY LAND USE: 1 SPACE PER STAFF MEMBER (9) AND 1 SPACE PER EXAMINATION ROOM (9)

MINIMUM OFF-STREET PARKING SPACES FOR RETAIL STORE LAND USE: 1 SPACE PER 37.37m² OF GFA (345m² / 37.2 x 9)

REQUIRED PARKING SPACES: 27, INCLUDING 3 BARRIER-FREE (38 PARKING SPACES PROVIDED)

MINIMUM PERPENDICULAR PARKING SPACE DIMENSIONS:

WIDTH	3.0m	DEPTH	5.3m
-------	------	-------	------

MINIMUM 2-WAY AISLE WIDTH FOR 90° PARKING SPACES: 7.3m

PROPOSED SUBDIVIDED LOT TO BE DEVELOPED:

TOTAL BUILDING AREA:	673m ²
TOTAL ASPHALT, CONCRETE AREA:	1612m ²
TOTAL GRAVEL, LANDSCAPING AREA:	528m ²
TOTAL LOT AREA:	2813m ²

MINIMUM LANDSCAPED AREA: 10% OF TOTAL LOT AREA = 282m²

MINIMUM # OF TREES: 1 PER 35m² OF LANDSCAPED AREA = 15

SURFACE RETENTION FOR 1:100 YEAR POST-DEVELOPMENT STORM:

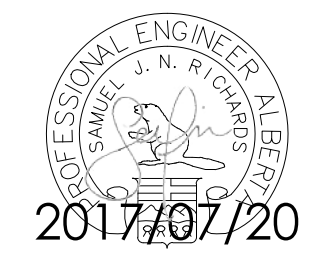
REQUIRED:	96m ³
PROVIDED:	108m ³

UNDERGROUND STORM RUNOFF MITIGATION*

MAXIMUM:	15 L/s
PROVIDED:	15 L/s

*BASED ON CALCULATIONS USING ENVIRONMENT CANADA SHORT DURATION RAINFALL INTENSITY-DURATION-FREQUENCY DATA FOR LETHBRIDGE

ALL CONSTRUCTION TO CONFORM TO TOWN OF COALDALE STANDARDS.

The logo for Sigma Rho Engineering features the word "SIGMA" in a large, bold, sans-serif font, with the "R" and "ho" in a smaller, lighter font. Below "SIGMA" is the word "ENGINEERING" in a bold, sans-serif font. To the right of "ENGINEERING" is the word "Rho" in a large, stylized, sans-serif font, with a superscript "2" to its upper right. The entire logo is set against a white background.

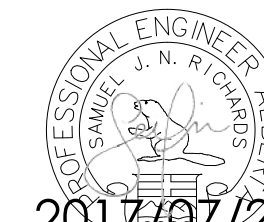
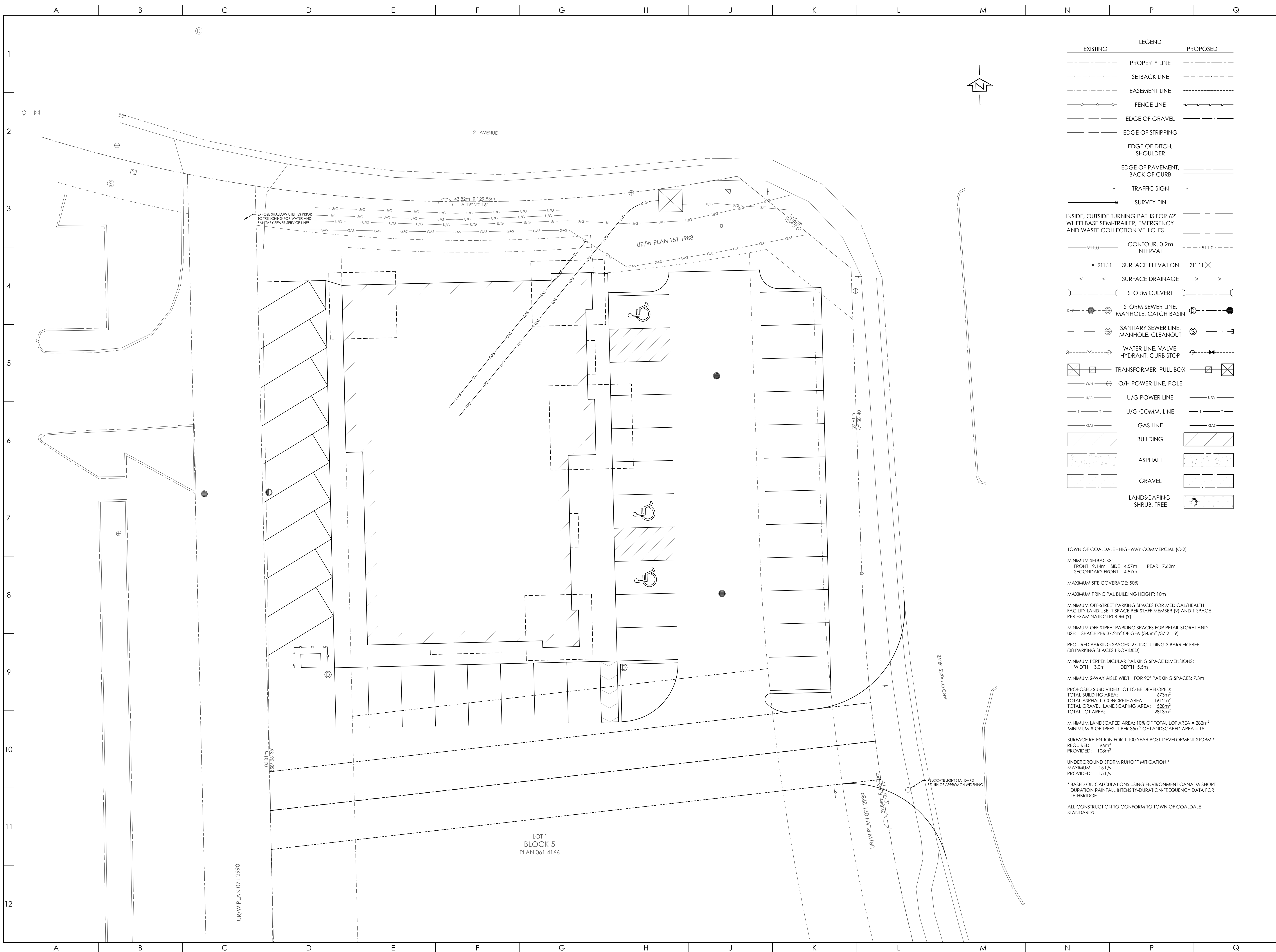
SIGMA Rho²
ENGINEERING

DESIGN. BUILD. COMMUNITY.

2931 12 Avenue North
Lethbridge, Alberta T1H 5K9
403-942-0981
sam@s2eng.ca

NOTES						SJNR	APP
5	This is a copyright drawing and shall not be reproduced in any form without written permission of the engineer					JCJ DSN	CHK DRW
7	Contractor to check and verify all the dimensions before construction, any errors and omissions shall be reported to the engineer immediately					SJNR	DSN
8	Drawing shall not be used for construction until approved and issued for construction by the engineer					ISSUE FOR DEVELOPMENT PERMIT DRAWING STATUS	
9	Do not scale the drawing						
	All construction shall be in accordance with latest codes.						
	SHEET SIZE: 24" x 36" SCALE: 1:150					DATE (MM/DD/YYYY)	#
						0	17/07/18

0	CLIENT SOUTHWEST DESIGN & CONSTRUCTION LTD.	
1	PROJECT TITLE DENTAL OFFICE 2108 LAND O' LAKES DR COALDALE, AB	
2	DRAWING TITLE WATER, STORM AND SANITARY SEWER PLAN	
	DRAWING NUMBER 17-011	SHEET NUMBER C1.1



2017/07/20
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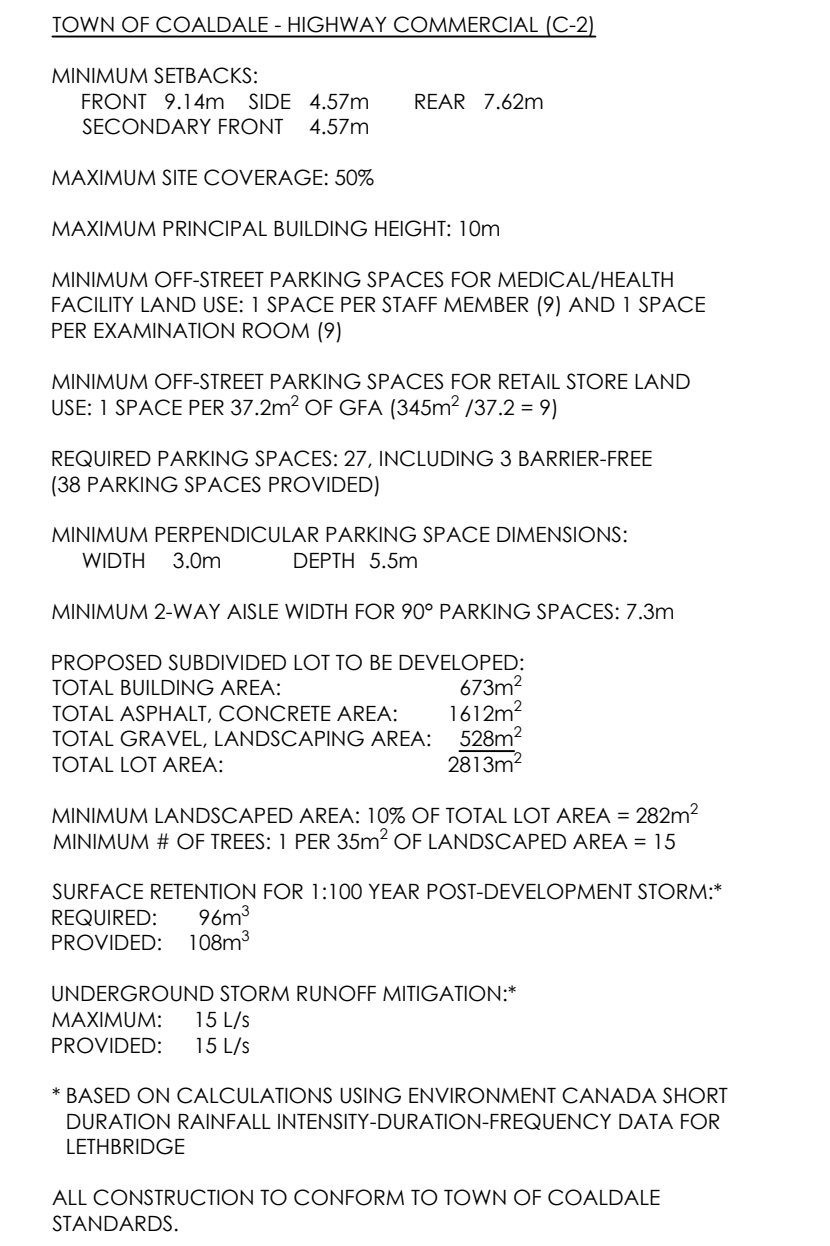
CLIENT
0 SOUTHWEST DESIGN &
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PROJECT TITLE
DENTAL OFFICE
2108 LAND O' LAKES DR
COALDALE, AB

DRAWING TITLE

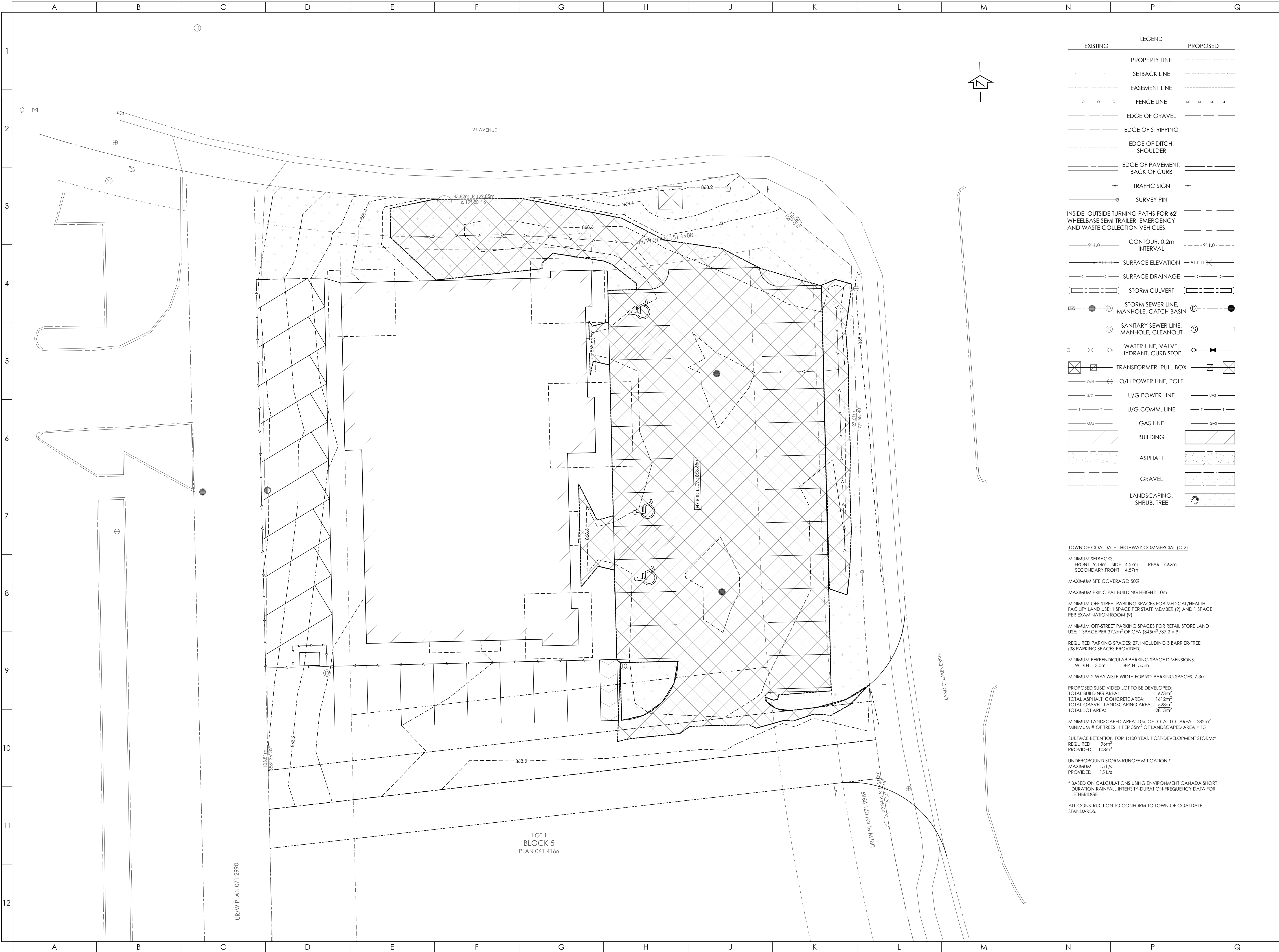
SHALLOW UTILITIES PLAN

PROJECT NUMBER 17-011	SHEET NUMBER C1.2
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NOTES						SJNR	APP
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	SHEET SIZE: 24" x 36" SCALE: 1:150					DATE (MM/DD/YYYY)	#
						0	17/07/18

0	CLIENT SOUTHWEST DESIGN & CONSTRUCTION LTD.	
1	PROJECT TITLE DENTAL OFFICE 2108 LAND O' LAKES DR COALDALE, AB	
2	DRAWING TITLE LOT GRADING PLAN	
	PROJECT NUMBER 17-011	SHEET NUMBER C1.3



LEGEND		
EXISTING		PROPOSED
	PROPERTY LINE	
	SETBACK LINE	
	EASEMENT LINE	
	FENCE LINE	
	EDGE OF GRAVEL	
	EDGE OF STRIPPING	
	EDGE OF DITCH, SHOULDER	
	EDGE OF PAVEMENT, BACK OF CURB	
	TRAFFIC SIGN	
	SURVEY PIN	
INSIDE, OUTSIDE TURNING PATHS FOR 62' WHEELBASE SEMI-TRAILER, EMERGENCY AND WASTE COLLECTION VEHICLES		
	CONTOUR, 0.2m INTERVAL	
	SURFACE ELEVATION	
	SURFACE DRAINAGE	
	STORM CULVERT	
	STORM SEWER LINE, MANHOLE, CATCH BASIN	
	SANITARY SEWER LINE, MANHOLE, CLEANOUT	
	WATER LINE, VALVE, HYDRANT, CURB STOP	
	TRANSFORMER, PULL BOX	
	O/H POWER LINE, POLE	
	U/G POWER LINE	
	U/G COMM. LINE	
	GAS LINE	
	BUILDING	
	ASPHALT	
	GRAVEL	
	LANDSCAPING, SHRUB, TREE	

TOWN OF COALDALE - HIGHWAY COMMERCIAL (C-2)

MINIMUM SETBACKS:
FRONT 9.14m SIDE 4.57m REAR 7.62m
SECONDARY FRONT 4.57m

MAXIMUM SITE COVERAGE: 50%

MAXIMUM PRINCIPAL BUILDING HEIGHT: 10m

MINIMUM OFF-STREET PARKING SPACES FOR MEDICAL/HEALTH FACILITY LAND USE: 1 SPACE PER STAFF MEMBER (9) AND 1 SPACE PER EXAMINATION ROOM (9)

MINIMUM OFF-STREET PARKING SPACES FOR RETAIL STORE LAND USE: 1 SPACE PER 37.2m² OF GFA (345m² / 37.2 = 9)

REQUIRED PARKING SPACES: 27, INCLUDING 3 BARRIER-FREE (38 PARKING SPACES PROVIDED)

MINIMUM PERPENDICULAR PARKING SPACE DIMENSIONS:
WIDTH 3.0m DEPTH 5.5m

MINIMUM 2-WAY AISLE WIDTH FOR 90° PARKING SPACES: 7.3m

PROPOSED SUBDIVIDED LOT TO BE DEVELOPED:
TOTAL BUILDING AREA: 673m²
TOTAL ASPHALT, CONCRETE AREA: 1612m²
TOTAL GRAVEL, LANDSCAPING AREA: 529m²
TOTAL LOT AREA: 2813m²

MINIMUM LANDSCAPED AREA: 10% OF TOTAL LOT AREA = 282m²
MINIMUM # OF TREES: 1 PER 35m² OF LANDSCAPED AREA = 15

SURFACE RETENTION FOR 1:100 YEAR POST-DEVELOPMENT STORM:*

REQUIRED: 96m³
PROVIDED: 108m³

UNDERGROUND STORM RUNOFF MITIGATION:*

MAXIMUM: 15 L/s
PROVIDED: 15 L/s

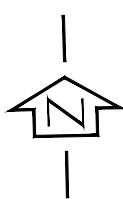
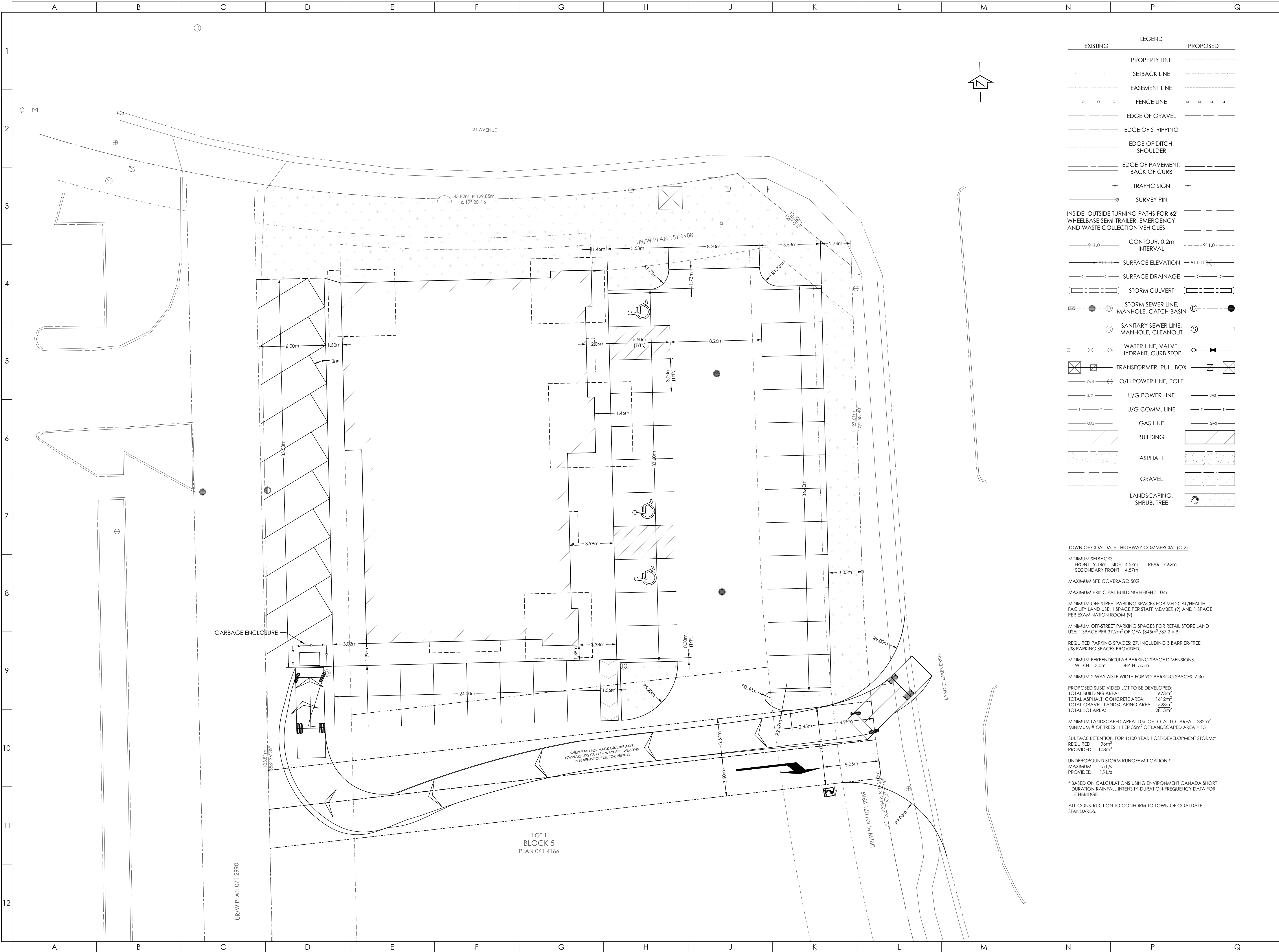
* BASED ON CALCULATIONS USING ENVIRONMENT CANADA SHORT DURATION RAINFALL INTENSITY-DURATION-FREQUENCY DATA FOR LETHBRIDGE

ALL CONSTRUCTION TO CONFORM TO TOWN OF COALDALE STANDARDS.

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403-942-0981
sam@sr2eng.ca

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Do not scale the drawing									
All construction shall be in accordance with latest codes.									
SHEET SIZE: 24" x 36" SCALE: 1:150									
CUST									
01/17/07/18				ISSUE FOR DEVELOPMENT PERMIT					
DATE				DRAWING STATUS					
#									

SOUTHWEST DESIGN & CONSTRUCTION LTD.	
PROJECT TITLE	
DENTAL OFFICE 2108 LAND O' LAKES DR COALDALE, AB	
DRAWING TITLE	
STORM WATER MANAGEMENT PLAN	
PROJECT NUMBER	SHEET NUMBER
17-011	C1.4



LEGEND		
EXISTING		PROPOSED
---	PROPERTY LINE	---
---	SETBACK LINE	---
---	EASEMENT LINE	---
○-○-○	FENCE LINE	○-○-○
---	EDGE OF GRAVEL	---
---	EDGE OF STRIPPING	---
---	EDGE OF DITCH, SHOULDER	---
---	EDGE OF PAVEMENT, BACK OF CURB	---
+	TRAFFIC SIGN	+
○	SURVEY PIN	○

INSIDE, OUTSIDE TURNING PATHS FOR 62' WHEELBASE SEMI-TRAILER, EMERGENCY AND WASTE COLLECTION VEHICLES

---	911.0	CONTOUR, 0.2m INTERVAL	---	911.0
+	911.11	SURFACE ELEVATION	+	911.11
<---		SURFACE DRAINAGE	>---	
---		STORM CULVERT	---	
⊗		STORM SEWER LINE, MANHOLE, CATCH BASIN	⊗	
⊗		SANITARY SEWER LINE, MANHOLE, CLEANOUT	⊗	
⊗		WATER LINE, VALVE, HYDRANT, CURB STOP	⊗	
⊗		TRANSFORMER, PULL BOX	⊗	
---	O/H	O/H POWER LINE, POLE	---	O/H
---	U/G	U/G POWER LINE	---	U/G
---	---	U/G COMM. LINE	---	---
---	GAS	GAS LINE	---	GAS
---		BUILDING	---	
---		ASPHALT	---	
---		GRAVEL	---	
---		LANDSCAPING, SHRUB, TREE	---	

TOWN OF COALDALE - HIGHWAY COMMERCIAL (C-2)

MINIMUM SETBACKS:
FRONT 9.14m SIDE 4.57m REAR 7.62m
SECONDARY FRONT 4.57m

MAXIMUM SITE COVERAGE: 50%

MAXIMUM PRINCIPAL BUILDING HEIGHT: 10m

MINIMUM OFF-STREET PARKING SPACES FOR MEDICAL/HEALTH FACILITY LAND USE: 1 SPACE PER STAFF MEMBER (9) AND 1 SPACE PER EXAMINATION ROOM (9)

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SURFACE RETENTION FOR 1:100 YEAR POST-DEVELOPMENT STORM:*
REQUIRED: 96m³
PROVIDED: 108m³

UNDERGROUND STORM RUNOFF MITIGATION:*
MAXIMUM: 15 L/s
PROVIDED: 15 L/s

* BASED ON CALCULATIONS USING ENVIRONMENT CANADA SHORT DURATION RAINFALL INTENSITY-DURATION-FREQUENCY DATA FOR LETHBRIDGE

ALL CONSTRUCTION TO CONFORM TO TOWN OF COALDALE STANDARDS.

2017/07/20
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NOTES											APP	
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											JCH	DRW
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Do not scale the drawing					DRAWING STATUS							
All construction shall be in accordance with latest codes.												
SHEET SIZE: 24" x 36" SCALE: 1:150											0	17/07/18
											#	

SOUTHWEST DESIGN & CONSTRUCTION LTD.

PROJECT TITLE
**DENTAL OFFICE
2108 LAND O' LAKES DR
COALDALE, AB**

DRAWING TITLE
**ROAD, VEHICLE
ACCESS PLAN**

PROJECT NUMBER
17-011

SHEET NUMBER
C1.5

HIGHWAY COMMERCIAL – C-2



Purpose:

To manage development of commercial uses which require both high visibility and ready access to designated highways for the benefit of the travelling public.

1. (A) PERMITTED USES

- Accessory building, structure or use to an approved permitted use
- Automotive Sales and Service
- Car Wash
- Convenience Store
- Drive-in/Drive-through Restaurant
- Eating Establishment
- Gas Bar
- Hotel
- Motel
- Retail
- Restaurant
- Seasonal Sales
- Service Station
- Sign Types¹: 1A, 2, 3, 4, 6, 10

(B) DISCRETIONARY USES

- Accessory building, structure or use to an approved discretionary use
- Farm/Industrial Machinery Sales, Rental and Service
- Funeral Home
- Liquor Store
- Lounges / Beverage Room
- Garden Centre / Greenhouse, Commercial
- Horticultural Operations or Facilities
- Pet Care Services
- Retail – Large-scale
- Shopping Centre
- Sign Types¹: 1B, 5, 7², 8, 9, 11, 12
- Small Wind Energy System - Type A³
- Veterinary Clinic
- Warehouse – Retail
- Warehouse – Wholesale

Notes: 1 – See Schedule 13: Sign Regulations, Section 8 for definitions of sign types.

2 – Sign Type 7 (Billboard) limited to lots immediately adjacent to Highway 3.

3 – See Schedule 4, Section 27 for definition of small wind energy system types.

(C) PROHIBITED USES

- Shipping Containers
- Adult Entertainment Facility
- Any use which is not listed as either a permitted or discretionary use, or is not ruled to be a similar use to a permitted or discretionary use in accordance with the Administration Section, subsection 35(a), is a prohibited use

2. MINIMUM LOT SIZE

Use	Width		Length		Area	
	m	ft.	m	ft.	m ²	ft ²
All uses	30.48	100	45.72	150	1,393.55	15,000

- (a) The Designated Officer may approve a development on an existing registered lot if the minimum dimensions or area are less than those specified above in Section 2.

3. MINIMUM YARD DIMENSIONS FOR PRINCIPAL BUILDINGS AND USES

Use	Front Yard		Secondary Front (Corner Lots)		Side Yard		Rear Yard	
	m	ft.	m	ft.	m	ft.	m	ft.
All Uses	9.14	30	4.57	15	4.57	15	7.62	25

4. MAXIMUM SITE COVERAGE

- (a) All Buildings – 50%

The principal building and accessory buildings shall not occupy more than 50 percent of the surface area of any lot within this land use district.

5. MAXIMUM HEIGHT OF BUILDINGS

Use	Maximum Height*
Hotel	25 m (82 ft)
Principal Building (All other uses)	10 m (33 ft)
Accessory Buildings	4.57 m (15 ft.)

*See definition for Building Height.

- | | |
|---|---------------|
| 6. STANDARDS OF DEVELOPMENT | – SCHEDULE 4 |
| 7. LANDSCAPING AND AMENITY AREAS STANDARDS AND GUIDELINES | – SCHEDULE 9 |
| 8. INDUSTRIAL, COMMERCIAL AND WAREHOUSING | – SCHEDULE 10 |
| 9. OFF-STREET PARKING AND LOADING REQUIREMENTS | – SCHEDULE 11 |
| 10. SIGN REGULATIONS | – SCHEDULE 13 |

BYLAW 716-P-10-16
TOWN OF COALDALE
IN THE PROVINCE OF ALBERTA

*Being a Bylaw of the Town of Coaldale in the Province of Alberta, to amend
Bylaw No. 677-P-04-13, being the Town of Coaldale Land Use Bylaw.*

WHEREAS the Council is in receipt of a request to amend the "Highway Commercial – C2" land use district to include "Medical/Health Facility" as a discretionary use within the district.

WHEREAS it is advantageous to amend the "Highway Commercial – C2" land use district to include "Medical/Health Facility" as a discretionary use as it is considered a use that may be suitable for properties that are designated as "Highway Commercial – C2".

AND WHEREAS the municipality must prepare an amending Bylaw and provide for its consideration at a Public Hearing;

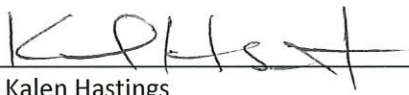
NOW THEREFORE, under the authority and subject to the provisions of the Municipal Government Act, Revised Statutes of Alberta 2000, Chapter M-26, as amended, the Council of the Town of Coaldale in the Province of Alberta duly assembled does hereby enact the following:

1. The discretionary uses list of the "Highway Commercial – C2" land use district, of Schedule 2 (Land Use Districts) of the Town of Coaldale Land Use Bylaw, being Bylaw No. 677-P-04-13, be amended to include the use "Medical/Health Facility".
2. Bylaw No. 677-P-04-13, being the Land Use Bylaw, is here by amended.
3. This Bylaw comes into effect upon Third and Final reading hereof.

READ a FIRST time this 11th day of October, 2016



Mayor – Kim Craig



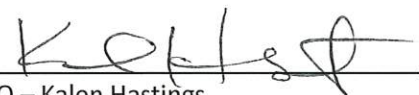
CAO – Kalen Hastings

Motion # 326.16

READ a SECOND time this 14 day of November, 2016.



Mayor – Kim Craig



CAO – Kalen Hastings

Motion # 371.16

READ a THIRD time and final this 14 day of November, 2016.



Mayor – Kim Craig



CAO – Kalen Hastings

Motion # 372.16