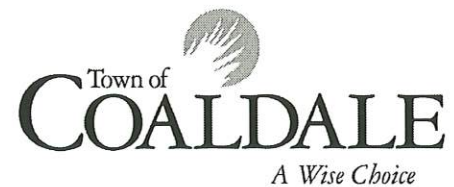


Wednesday, August 8, 2018

5:00p.m.

Town of Coaldale Council Chambers



Municipal Planning Commission Agenda

1.0 CALL TO ORDER

2.0 ADDITIONS TO THE AGENDA

3.0 ADOPTION OF THE MINUTES

July 11, 2018 meeting

4.0 BUSINESS FROM THE MINUTES

5.0 NEW BUSINESS

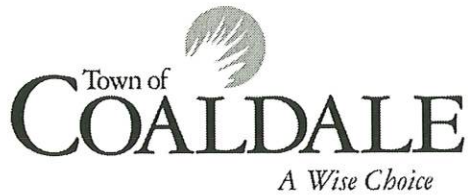
5.1 Development Application 2018-108
Side yard waiver
2655 Elm Drive

5.2 Development Application 2018-109
2014 Land O Lakes Drive
Freestanding Sign - Discretionary

6.0 INFORMATION ITEMS

7.0 IN-CAMERA DELIBERATIONS

8.0 ADJOURNMENT



**MUNICIPAL PLANNING COMMISSION
WEDNESDAY, JULY 11, 2018
5:00 PM – COUNCIL CHAMBERS**

PRESENT:	Council Members:	R. Hohm (Chairman), J. Abrey, D. Lloyd
	Economic and Community Development Manager:	C. Mills
	ORRSC Planning Advisor:	R. Dyck
	Citizen Members:	R. Pitsol, J. Cortes (5:04 p.m.)
	Recording Secretary:	K. Bly
	Gallery:	H. Henry, B. Deleurme, A. Hutchinson

1.0 CALL MEETING TO ORDER:

Chairman R. Hohm called the meeting to order at 5:00 p.m.

2.0 ADDITIONS TO / ADOPTION OF AGENDA: No additions.

MOTION: D. Lloyd moved to adopt the agenda for the meeting.

4-0 CARRIED

3.0 ADOPTION OF MINUTES:

Municipal Planning Commission Minutes – June 13, 2018

R. Pitsol noted item 5.4 should be S. Duda lives adjacent to the property not across from the property and under 5.5 R. Pitsol made the motion.

MOTION: R. Pitsol moved to approve the June 13, 2018 minutes as amended

4-0 CARRIED

4.0 BUSINESS ARISING FROM MINUTES: None

5.0 NEW BUSINESS:

5.1 Subdivision Application 2018-0-081

BACKGROUND/DESCRIPTION OF APPLICATION:

R. Dyck noted the purpose of this application is to subdivide a 7.61 ha (18.8 acre) parcel to create two parcels containing 2.82 ha (6.97 acre) and 4.25 ha (10.5 acre) respectively. The parcel subject of the application is legally described as Block 3, Plan 7642W, in the NE1/4 3-9-20-W4M, and is located within the boundary of the Sprucewoods Country Estates (Neufeld subdivision) Area Structure Plan.

The proposed 6.97 acre parcel (Lot 7) contains a developed country residence in the southerly portion of the lot, and a small commercial tree farm in the northerly area. Access to the parcel is provided by an

existing approach onto Highway 845 and from the proposed road dedication (extension of Sprucewoods Estates Drive). The dwelling is serviced with water from a dugout and a private sewage disposal system (septic field). The private sewage disposal system appears to meet the requirements of the Alberta Private Sewage Systems Standard of Practice (2015) with respect to setbacks from new property lines. Lot 6, west of the proposed road, is vacant and is currently irrigated grassland.

The Sprucewoods Country Estates (Neufeld subdivision) Area Structure Plan (ASP) Bylaw No. 1305 was adopted by Lethbridge County Council in 2008. The ASP establishes a conceptual subdivision design, including a road network and storm water retention ponds, for the entire NE¼ 3-9-20-W4M. With respect to the subject parcel, the ASP envisions ten (10) country residential lots, similar in to the subdivision layout in the parcel immediately to the south (subdivided in 2009).

The subject parcel was annexed into the Town of Coaldale by Order in Council No. 029/2018, effective April 1, 2018. In accordance with Section 135(d) of the Municipal Government Act, Lethbridge County's planning documents (namely the land use bylaw and the ASP) are applicable to the subject parcel. The Rural Urban Fringe District typically requires a minimum 2.0 acre parcel size and a 20 ft. setback from property lines, to which the proposed application complies with. It is noted that Section 2(a) of the Order in Council exempts the subject parcel from assessment under the Town of Coaldale assessment regime as the parcel is greater than 10 acres in size prior to subdivision.

The approval of the subject application will facilitate the future subdivision design as envisioned in the ASP. When further subdivision is desired it will be required to conform to the conceptual subdivision design in the Sprucewoods ASP (or a successor planning document). It is noted, given this is a recently annexed area, that the subject lands are envisioned for future residential purposes in accordance with the direction provided in Map 23 of the Town of Coaldale Growth Study (2015) and Map 5 of the mutually adopted Intermunicipal Development Plan (2010).

R. Dyck noted Alberta Transportation is OK with the existing access onto Highway 845 as a temporary access until further subdivision takes place.

He also noted on the municipal reserve the existing caveat should be removed and that new deferred reserve caveats be registered against both respective titles pursuant to Section 669 of the MGA with the actual acreage being determined at the final stage.

He added the Town is looking at redoing the development plan which will include this area.

- The commission questioned if the Town will ever supply water to this land.
- R. Dyck said that could be a possibility in the future.
- The commission questioned if it was a septic field on the property.
- R. Dyck said yes there was.
- The commission questioned if that would remain in place.
- R. Dyck noted it would as no decision made on the subdivision at this meeting would impact services.
- The commission questioned if members were comfortable with approving the application with access through the second yard.
- R. Dyck noted the western parcel has legal access, physical seasonal access.
- The commission questioned if there was not a house that had to be moved.
- R. Dyck said not in the case of this application.
- It was noted there is a house but it doesn't have to be moved in order to accommodate this application.

MOTION: D. Lloyd moved that the Rural Urban Fringe subdivision of Block 3, Plan 7642FW within NE1/4 3-9-20-W4M (Certificate of Title No. 981 163 712), to subdivide a 7.61 ha (18.8 acre) parcel to create two parcels containing 2.82 ha (6.97 acre) and 4.25 ha (10.5 acre) respectively; **BE APPROVED** subject to the following: **RESERVE:** That the existing deferred reserve caveat be removed and that new deferred reserve caveats be registered against both respective titles for the proportionate amounts owing, being 0.745 acres for Lot 7, and 1.098 acres for Lot 6, pursuant to Section 669 of the Municipal Government Act, with the actual acreage being determined at the final stage. **CONDITIONS:** 1. That, pursuant to Section 654(1)(d) of the Municipal Government Act, all outstanding property taxes shall be paid to the Town of Coaldale. 2. That, pursuant to Section 655(1)(b) of the Municipal Government Act, the applicant or owner or both enter into a Development Agreement with the Town of Coaldale which shall be registered concurrently with the final plan against the title(s) being created and may include a provision for development of the roadway and the collection of development or plan preparation fees. 3. That proposed 20 m wide road, described as Sprucewood Estates Drive, be dedicated on the final plan of the subdivision as illustrated on the tentative plan of subdivision.

5-0 CARRIED

5.2 Development Application 2018-092
Front yard setback waiver
456 Westgate Crescent

BACKGROUND/DESCRIPTION OF APPLICATION:

C. Mills explained this applicant requests approval for a blanket approval to allow for the construction of over height fences along the northern boundary of the above-mentioned property, adjacent to the southern boundary of the properties listed below:

- 143 Westgate Drive
- 147 Westgate Drive
- 151 Westgate Drive
- 155 Westgate Drive
- 159 Westgate Drive
- 163 Westgate Drive
- 167 Westgate Drive
- 171 Westgate Drive
- 175 Westgate Drive
- 179 Westgate Drive
- 183 Westgate Drive
- 187 Westgate Drive
- 191 Westgate Drive
- 195 Westgate Drive
- 203 Westgate Drive
- 207 Westgate Drive
- 211 Westgate Drive
- 215 Westgate Drive

- 219 Westgate Drive

The property owners of the Westgate Drive addresses listed above would be responsible for the cost of the fence and it is at their discretion if they do wish to have it installed. The fence, constructed of posts and attached netting, would be constructed to protect against erratic golf balls from entering into the yards. The proposed fence would be approximately 17' in height whereas the maximum height allowed is 6'. The fence **MUST** be professionally installed and permission given by the applicant for access to the property to have the fence installed. Fence height restrictions are explained in Schedule 4, Section 14 of the Land Use Bylaw.

Notice of the application was sent to adjacent properties and no verbal and 1 written concern have been brought forward. In addition to the approval and refusal options below, the MPC could consider an approval conditional upon the fence height being reduced. If the individual home owners want to erect over height mesh fences on their side property lines they will need to individually apply for the height waiver.

- B. Deleurme noted it is truly a safety issue. She noted about 75 per cent of the properties listed are within driving distance of the 10th tee box.
- H. Henry noted she has personally be hit twice in her yard by golf balls. With the number of children in the area it is a safety concern.
- A. Hutchinson said she has also had golf balls in her yard numbering about 200 since she has lived there.
- A commission member noted they would like to see the same colour of mesh used throughout and questioned if this requirement could be added to approval of the application.
- B. Deleurme noted the contractor that has completed the fencing that is already in place on some of the properties is likely the one who will be completing the new fencing.
- H. Henry said the property owners do want the fencing to look uniform.
- The commission discussed the desire to have a consistent style and colour to the fencing.
- A commission member also questioned if it could be stipulated in the approval that the same contractor be used to complete the work as was previously used on other properties in the area.
- C. Mills noted that type of restriction cannot be included in the approval, owners have the right to contractor the work to whomever they choose.
- A commission member noted as there are already some fences in place, the new fencing should, as much as possible, be the same style.

MOTION: J. Abrey moved to approve Development Application 2018-092 subject to the following conditions: 1. Shall contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines PRIOR to commencement. 2. The fences shall not exceed 17' in height at the location and with the materials specified in the development permit application. All fences aside from this portion shall comply with the height standards of the current Land Use Bylaw 677-P-04-13, Section 14 of Schedule 4. 3. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal. 4. All surface water must drain from the building site to the street and/or lane and not adversely affect neighboring properties. Should retaining walls be required they are at the expense of the developer. 5. All fences to be consistent in style and materials.

5-0 CARRIED

The public portion of the meeting closed at 5:13 p.m.

MOTION: J. Cortes moved to adjourn meeting at 5:20 p.m.

5-0 CARRIED

A handwritten signature in black ink, appearing to read "K Bly", is positioned above a horizontal line.

CHAIR- ROGER HOHM

RECORDING SECRETARY- KATE BLY

Staff Report to the Municipal Planning Commission

DEVELOPMENT PERMIT #:	2018-108
APPLICANT:	Cheryl Vandersteen
TYPE OF DEVELOPMENT:	Covered Deck
CIVIC ADDRESS:	2655 Elm Drive
LEGAL DESCRIPTION:	Plan 1312366, Block 9, Lot 5
LAND USE ZONING:	Residential – R-1A
USE:	Single Detached Dwelling
PARKING:	n/a
SETBACKS & HEIGHT:	Side yard setback for covered deck – 0.92m (required 1.52m)
SIGNS:	n/a
ARCHITECTURAL CONTROLS	n/a

BACKGROUND/DESCRIPTION OF APPLICATION:

The Town of Coaldale has received a development permit application for side yard waiver for an existing covered deck. Development permit 2013-155 was issued for a Single-Detached Dwelling with an attached covered deck & stairs. The original plan showed an encroachment into the side yard by the stairs and landing. The applicant came into the office to get a compliance letter and it was noted that the stairs and landing were not built at the location indicated on the original plan, the whole is used as a covered deck. By definition a covered deck is part of the principal building and must follow the same setback rules, required 1.52 m side yard setback, 0.92m side yard setback provided.

Notice of the application was sent to adjacent properties and no written or verbal concerns have been brought forward to date.

OPTIONS:

The board may consider APPROVAL of Development Application (#2018-108) subject to the following recommended conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Residential – R-1A

The board may consider REFUSAL of Development Application (#2018-108).

Respectfully Submitted:



Cindy L'Hirondelle

Manager of Development & Environmental Services

ATTACHED FILES:

- Site Plan
- Notice to Neighbouring Property Owners
- Site Plan approved with original development permit



LEGEND

-O/H indicates Overhang

The extent of the Title for the Subject Property is affected by:

<u>Particulars</u>	<u>Registration Number</u>

Registration Number

- 1) UR/W - Alco Gas
- 2) UR/W - County of Lethbridge
- 3) Caveat Re: Right of Way Agreement

4) Caveat Re: Eosement

6) Restrictive Covenant

-No representations are made as to en-

This Plan is Page 2 of a Real Property

Intellective II It is detached from logic

ALBERTA LAND

File No. 177399RPR
Lethbrid

Phone: 403-329-0000

SRP		L-10001.gcc
-----	--	-------------

255 - 31st Street North

E-mail: geomart@mgcl.co ©201

Phone: 403-329-0050 Fax: 403-329-6594
E-mail: geomart@mgcl.ca ©2017



July 24, 2018

TO: NEIGHBOURING PROPERTY OWNERS
RE: DEVELOPMENT APPLICATION 2018-108
APPLICANT: CHERYL VANDERSTEEN
ADDRESS: 2655 ELM DRIVE, COALDALE, ALBERTA
PLAN 1312366, BLOCK 9, LOT 5
ZONING: RESIDENTIAL - R-1A

Dear Sir/Madam,

We are in receipt of Development Application #2018-108, for a side yard waiver. Development permit 2013-155 was issued for the Single Detached Dwelling with covered deck and landing with stairs. The stairs and landing were constructed on a different portion of the deck making the required north side yard setback 5 feet, whereas the as-built setback is 3 feet.

The Town of Coaldale Land-Use Bylaw states that any waiver greater than 10% shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

The full agenda will be posted on our website by August 1, 2018 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, August 8, 2018, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2018-108) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 - 17 Street Coaldale, Alberta.**

Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Thursday, August 2, 2018 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,

Cindy L'Hirondelle
Manager of Development & Environmental Services

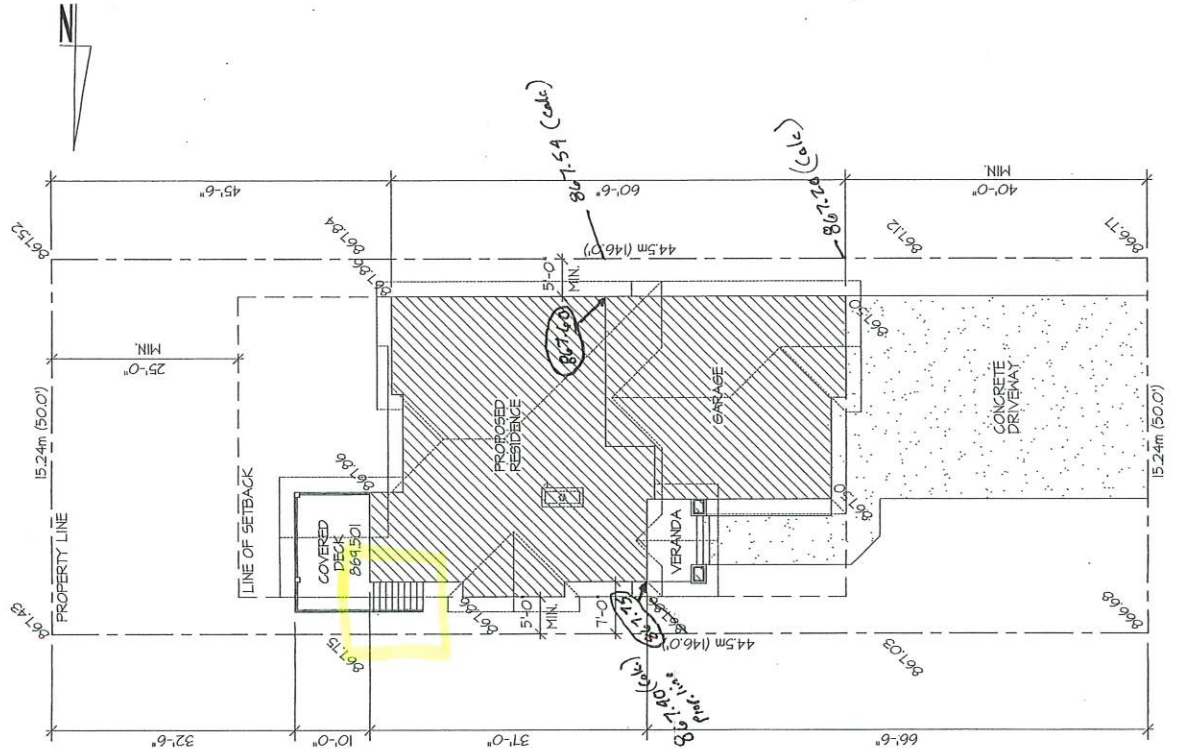
cc. Applicant



SITE INFORMATION	
LOT 5, BLOCK 4, STAGE 1 COTTONWOOD ESTATES COALDALE AB	
LOT AREA 7800 SQ. FT. (LOT ADDRESS)	
ELEVATIONS	
TOP OF MAIN FLOOR	864.50
TOP OF GARAGE SLAB	867.500
TOP OF CONCRETE SLAB	866.500
US OF FOOTING	864.200
SANITARY INVERT	864.751
LOWEST TOP OF FOOTING	865.511
SQUARE FOOTAGES	
BASEMENT FLOOR	1820 SF
MAIN FLOOR	1820 SF
FRONT VERANDA	111 SF
DECK	182 SF
NOTES	
* THE CONTRACTOR SHALL USE CAUTION TO ENSURE THAT ALL FOUNDATIONS ARE BUILT ON UNDISTURBED SOIL.	
* CONTRACTOR TO GRADE LOT FOR POSITIVE DRAINAGE AWAY FROM BUILDING.	

Single Detached Dwelling.
Approved in accordance with
Development Permit No. 2013-155
Town of Coaldale
Date Oct 16, 2013
Signed *[Signature]*
Development Officer

MARTIN GEOMATIC CONSULTANTS LTD. (or authorized representative)	
DATE: Oct 9/13	<i>[Signature]</i>
APPROVED VERTICAL GRADES	
BUILDER IS RESPONSIBLE FOR FOLLOWING THESE APPROVED VERTICAL GRADES AS SHOWN ON THIS PLAN	



1 SITE PLAN
SCALE 1/8"=1'-0"

REVISIONS	
CONSULTANTS	



DOUGLAS J. BERGHEN & ASSOCIATES LTD.
ARCHITECTURAL TECHNOLOGY
1000 WEST 10TH AVENUE, SUITE 100
CALGARY, ALBERTA T2C 1K5
PHONE: (403) 243-1111
FAX: (403) 243-1112

* THE CONTRACTOR SHALL VERIFY ALL
DIMENSIONS AND LOCATIONS PRIOR TO CONSTRUCTION.
* THIS DRAWING AND DESIGN SHALL BE USED AS A GUIDE ONLY.
* THIS DRAWING AND DESIGN SHALL BE USED AS A GUIDE ONLY.
* THIS DRAWING AND DESIGN SHALL BE USED AS A GUIDE ONLY.
* THIS DRAWING AND DESIGN SHALL BE USED AS A GUIDE ONLY.
* THIS DRAWING AND DESIGN SHALL BE USED AS A GUIDE ONLY.
* THIS DRAWING AND DESIGN SHALL BE USED AS A GUIDE ONLY.
* THIS DRAWING AND DESIGN SHALL BE USED AS A GUIDE ONLY.
* THIS DRAWING AND DESIGN SHALL BE USED AS A GUIDE ONLY.
* THIS DRAWING AND DESIGN SHALL BE USED AS A GUIDE ONLY.

PROJECT TITLE
VANDERSTEEN
RESIDENCE

CONSULTANT

CLIENT

DATE: 08/07/2013

PROJECT NO. 545

SHEET NO. 1

DRAWN BY

PLOTTED BY

CADD FILE NAME

SHEET NO.

AI

Staff Report to the Municipal Planning Commission

Development Application #	2018-109
Applicant	Southwest Design & Construction
Civic Address	2104 Land O Lakes Drive
Legal Description	Plan 1712080; Block 5; Lot 6
Zoning	Highway Commercial – C-2
Description of Application	Free Standing Sign - Discretionary

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of a Development Application (#2018-109) to install a free standing sign at the above referenced property.

Land Use Bylaw 677-P-04-13 states that a free standing sign within the Highway Commercial – C-2 district is a discretionary use so the application has been referred to MPC. No other waivers are needed for the sign.

Notice of the application was sent to adjacent properties and no concerns have been brought forward to date.

APPLICABLE SECTIONS OF THE LAND USE BYLAW:

- Land Use Bylaw, Schedule 2, Highway Commercial – C-2
- Land Use Bylaw, Schedule 13, Sign Regulations

OPTIONS:

THAT the board may consider APPROVAL of Development Application (#2018-109) to display a portable sign at the above referenced property subject to the following conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 13, Sign Regulations.

4. Applicant/owner shall comply with Land Use Bylaw 677-P-04-13, Schedule 13, Sign Regulations.
The freestanding sign shall not exceed 2.44m (8 feet) in height.

THAT the board may consider REFUSAL of Development Application (#2018-109) for the following reasons: _____

Respectfully Submitted:



Cindy L'Hirondelle
Manager of Development & Environmental Services

ATTACHED FILES:

- Notice to Neighbouring Property Owners
- Site plan
- Sign details



July 24, 2018

TO: NEIGHBOURING PROPERTY OWNERS
RE: DEVELOPMENT APPLICATION 2018-109
APPLICANT: SOUTHWEST DESIGN & CONSTRUCTION
ADDRESS: 2104 LAND O LAKES DRIVE, COALDALE, ALBERTA
PLAN 1712080, BLOCK 5, LOT 6
ZONING: HIGHWAY COMMERCIAL - C-2

Dear Sir/Madam,

We are in receipt of Development Application #2018-109 requesting to install a freestanding sign at the above noted address and at the location marked (shown with a star) on the map that is on the back side of this letter. The proposed height of the sign is 7' - 8".

The Town of Coaldale Land-Use Bylaw states that discretionary used within zoning districts shall be considered by the Municipal Planning Commission (MPC). As such, a hearing must be held for consideration of this application.

The full agenda will be posted on our website by August 1, 2018 at the following link, <http://www.coaldale.ca/mpc-meeting-agendas/>

Pursuant to the provisions of Section 42 of the Bylaw 677-P-04-13 being the Land Use Bylaw of the Town of Coaldale, notice is hereby given that on **Wednesday, August 8, 2018, at 5:00 p.m., the Municipal Planning Commission (MPC) will consider an application for Development Permit (#2018-109) requesting a waiver. The hearing will take place in the Town Council Chambers at 1920 - 17 Street Coaldale, Alberta.**

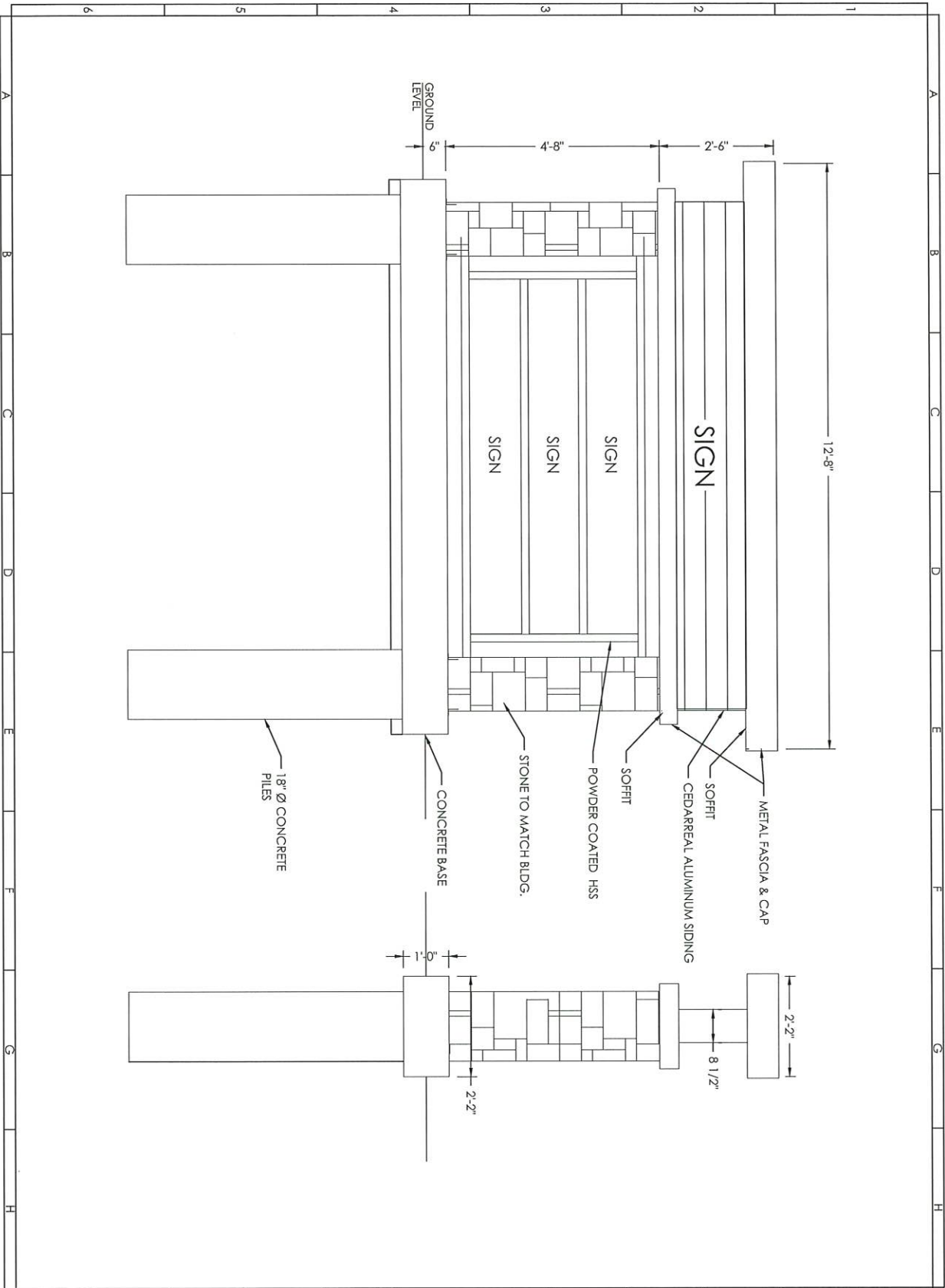
Any comments you wish to make concerning the application can be made in writing to the Town of Coaldale by 1:00pm on Thursday, August 2, 2018 or verbally at the meeting. Comments for the application can be dropped off in person at the Town Office, faxed to 403-345-1311 or emailed to buildingcoaldale@coaldale.ca. Please note that all submissions will be made public.

Sincerely,

Cindy L'Hirondelle
Manager of Development & Environmental Services

cc. Applicant





Professional Seal



APGA PERMIT TO PRACTICE 12946

SUB-CONSULTANT

SGM
ENGINEERING

DESIGN, BUILD, CONSTRUCTION
2931 17th Avenue SW
Calgary, Alberta T2H 5G9
403-942-0781
sgm@sgmeng.ca

NOTES

This is a copyright drawing and shall not be reproduced in any form without written permission of the engineer																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																			
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--

Contractor to check dimensions before construction, any errors and omissions shall be reported to the engineer immediately.

Drawing shall not be used for construction until approved and issued for construction by the engineer.

Do not scale the drawing.

All construction shall be in accordance with latest codes.

SHEET SIZE: 11" x 17"

SCALE: 1/2" = 1'-0"

SOUTHWEST DESIGN & CONSTRUCTION LTD.

LAND-O-LAKES DENTAL LOT CORNER SIGN

FRONT & SIDE FINISHES

17-011 A.1.0

