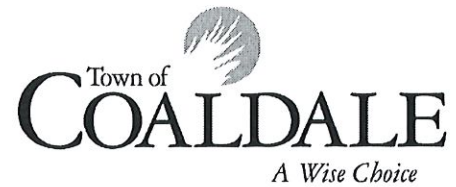


Wednesday, August 29, 2018

5:00p.m.

Town of Coaldale Council Chambers



Municipal Planning Commission Agenda

1.0 CALL TO ORDER

2.0 ADDITIONS TO THE AGENDA

3.0 ADOPTION OF THE MINUTES

August 8, 2018 meeting

4.0 BUSINESS FROM THE MINUTES

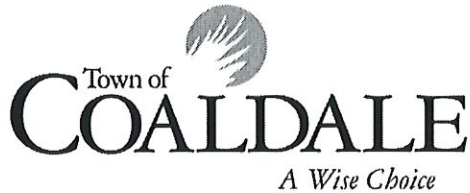
5.0 NEW BUSINESS

- 5.1 Development Application 2018-130
Discretionary Use
1507 – 20 Avenue

6.0 INFORMATION ITEMS

7.0 IN-CAMERA DELIBERATIONS

8.0 ADJOURNMENT



**MUNICIPAL PLANNING COMMISSION
WEDNESDAY, AUGUST 8, 2018
5:00 PM – COUNCIL CHAMBERS**

PRESENT: **Council Members:** R. Hohm (Chairman)(5:04) J. Abrey,
 Economic and Community
 Development Manager: C. Mills
 Citizen Members: R. Pitsol, J. Cortes
 Recording Secretary: K. Bly
 Gallery: H. Vandersteen

1.0 CALL MEETING TO ORDER:

J. Abrey called the meeting to order at 5:02 p.m.

2.0 ADDITIONS TO / ADOPTION OF AGENDA: No additions.

MOTION: R. Pitsol moved to adopt the agenda for the meeting.

3-0 CARRIED

3.0 ADOPTION OF MINUTES:

Municipal Planning Commission Minutes – July 11, 2018

MOTION: R. Pitsol moved to approve the July 11, 2018 minutes.

3-0 CARRIED

R. Hohm present at 5:04 p.m., assumes chair of the meeting.

4.0 BUSINESS ARISING FROM MINUTES: None

5.0 NEW BUSINESS:

**5.1 Development Application 2018-108
 Side yard waiver
 2655 Elm Drive**

BACKGROUND/DESCRIPTION OF APPLICATION:

C. Mills outlined the development permit application for a side yard waiver for an existing covered deck. Development permit 2013-155 was issued for a Single-Detached Dwelling with an attached covered deck & stairs. The original plan showed an encroachment into the side yard by the stairs and landing. The applicant came into the office to get a compliance letter and it was noted that the stairs and landing were not built at the location indicated on the original plan, the whole is used as a covered deck. By definition

a covered deck is part of the principal building and must follow the same setback rules, required 1.52 m side yard setback, 0.92m side yard setback provided. Notice of the application was sent to adjacent properties and no written or verbal concerns have been brought forward to date.

C. Mills noted this is a deck built in 2013 and at that time the approval was granted but the development permit submitted indicated setbacks of 6 feet. A map was provided showing the site design and had the covered deck showing the stairs down the side of the building. Those stairs are no longer there as per a development permit granted in 2015. The drawing does suggest a 5-foot setback from the home to the property line. The drawing does show a covered deck being somewhat closer than the house. Unfortunately, the drawing does not provide what that measurement was and so was likely not noticed by the development officer. And because it was not included in the original application it is reasonable the development officer would have missed that minute detail on the plans. He suggested the covered deck was not intentionally built closer to the property line, without seeking approval, but rather there was some oversight five years ago. The property owner has applied for a certificate of compliance for the property, which was not approved as they do not have approval for the variance.

The develop officer at the time would not have been able to grant that variance, it would have had to come to MPC.

- The commission questioned the original 2013 permit which showed a covered deck and stairs, that have been moved, but the as-built-drawing now indicates a garage and the covered deck, doubled in size.
- C. Mills noted the 2013 application provided for a covered deck. There was an application in 2015 to expand the deck with an uncovered portion and also an application to build a rear-attached garage. At that time the stairs were likely moved.
- The commission questioned if the inspections were done on the addition to the deck and the garage at that time.
- C. Mills said yes that was his understanding on the building permit side, they would not have had anything to do with the development permit application.
- The commission questioned, in regards to the bylaw, since the stairs were moved and there is no egress for the landing it now becomes a covered deck. What is the construction of the deck, combustible or non-combustible?
- It was noted it is wood.
- The commission noted the limiting distances to the property line for combustible construction for a single-family dwelling, now attached deck, is 1.2 metres. There are issues under the Alberta Building Code. The code requires the deck have a fire rated assembly if it is wood so a fire can't spread to a neighbouring property. Building codes are updated every few years because there is an issue with the spread of fires from dwelling to dwelling.
- H. Vandersteen noted the deck has been in place since 2013, it was applied for but missed at that time.
- C. Mills said it was missed but the permit application clearly said 6 feet, the drawing showed a number of measurements, the closest being five feet. There is a section that juts out that the person providing the drawing should have provided measurements for. If the intent of the drawing was to show it to be say, 3 feet, a better drawing, in his opinion, would have shown the 3 feet and at that time the proper decision would have been made.

- The commission said in 2015 the addition to the deck and garage were added, would new drawings have been required at that time?
- C. Mills said in respect to the development application in 2015, it used the 2013 drawing with some changes indicated. The movement of the stairs from the side to the centre was not a big concern. The application in 2015 deals with building the uncovered portion of the deck and the garage.
- The commission questioned where the stairs were indicated on the drawing.
- C. Mills said the stairs didn't move in the 2015 application.
- H. Vandersteen said the stairs have always been where they are now on the south side. They didn't like them on the side so they moved the stairs. The deck has been there since they owned the house, all they did was move the stairs.
- C. Mills indicated the measurements were not included to show how close the nearest measurement was. He noted the development officer was not wrong, but you do notice there is a closer portion than indicated by the measurements on the drawing.
- H. Vandersteen also noted when the fence was installed it was moved closer to his property.
- The commission noted it would be helpful to have the background information on development applications including previous applications associated with a property.
- C. Mills said it would have been good if the application had come to MPC in 2013 but since the builder didn't ask for a variance and the measurement wasn't on the drawing he can understand where the catch wasn't made.
- The commission questioned why it wasn't caught in 2015.
- C. Mills said the application in 2015 was dealing with the new use, there wouldn't have been a reason to review the previous application.
- The commission noted the applicant has been in the house for five years. There was a question about liability for the town because it is not to code. There were also concerns raised over issues such as this arising. Every month the MPC is reviewing applications for variances. The Town may have to consider going to an RFP for permitting services and there should be a contract in place that has some penalty consequences when items are missed in the permitting or inspection process.
- C. Mills said he is confident there is no liability on the town.
- The commission noted it can be a challenge for permit staff to pick up on missed items in previous applications when they are reviewing a current application.

MOTION: R. Pitsol moved to deny Development Application 2018-108 based on the fact the Town requires a 5 foot setback on single family dwellings for a deck and there are concerns it doesn't meet code requirements.

3-1 CARRIED

**5.2 Development Application 2018-109
2014 Land O Lakes Drive
Freestanding Sign - Discretionary**

BACKGROUND/DESCRIPTION OF APPLICATION:

C. Mills outlined the application noting it is for a freestanding sign at 2104- Land O Lakes Drive. Land Use Bylaw 677-P-04-13 states that a freestanding sign within the Highway Commercial – C-2 district is a discretionary use so the application has been referred to MPC. No other waivers are needed for the sign. Notice of the application was sent to adjacent properties and no concerns have been brought forward to date.

MOTION: J. Abrey moved to approve Development Application 2018-109 subject to the following conditions: 1. Must obtain approval of a Building Permit form Superior Safety Codes Inc. prior to commencement. 2. Must contact Alberta 1st Call and Dig Shaw to locate any utility lines prior to commencement. 3. Setbacks to conform to site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 13, Sign Regulations. 4. Applicant/Owner shall comply with Land Use Bylaw 677-0P-04-13, Schedule 13, Sign Regulations. The freestanding sign shall not exceed 2.44m (8 feet) in height.

4-0 CARRIED

The public portion of the meeting closed at 5:21 p.m.

MOTION: J. Cortes moved to adjourn meeting at 5:28 p.m.

4-0 CARRIED



CHAIR- ROGER HOHM

RECORDING SECRETARY- KATE BLY

Staff Report to the Municipal Development Authority Board

Development Application #	2018-130
Applicant	Ian Moxon Architect Inc.
Civic Address	1507 – 20 Avenue
Legal Description	Plan 6476AA, Block 15, Lot 1-12
Zoning	Commerical – C-1
Description of Application	Institutional Facilities and Uses – Discretionary

BACKGROUND/DESCRIPTION OF APPLICATION:

We are in receipt of Development Application 2018-130 to expand the exiting Fire Hall at the above mentioned address.

The Town of Coaldale Land-Use Bylaw, 677-P-04-13, states that Institutional Facilities and Uses is a Discretionary Use in the Commercial- C-1 zoning. As such, a hearing must be held by the Municipal Planning Commission (MPC) of the Town of Coaldale for consideration of the application.

Also, as per the Land Use Bylaw 677-P-04-13, Schedule 11: Off-Street Parking and Loading requirements; the number of off-street parking stalls required for Institutional Uses is as required by the designated Officer or MPC. The submitted site plan has 2 barrier free stalls and 24 regular stalls, which is approximately 1 stall for every 700 square feet of gross floor area.

The proposed site plan shows the building expansion over the property line by 4' – 6 3/8". The building would extend into the easement and would not affect the line of site at the intersection of 16 Street and 20 Avenue.

Notice of the application was sent to the neighbouring property owners and no written or verbal concerns have been brought forward.

APPLICABLE SECTIONS OF THE LAND USE BYLAW:

- Land Use Bylaw, Schedule 2, Commercial – C-1
- Land Use Bylaw, Schedule 11, Off street Parking & Loading Requirements

RECOMMENDATION

The board considers APPROVAL of Development Application (2018-130) to establish an expansion to the fire hall at 1507 – 20 Avenue subject to the following conditions:

1. Must obtain approval of a Building Permit from Superior Safety Codes Inc at (403) 320-0734 prior to commencement.
2. Must contact Alberta 1st Call (1-800-242-3447) and Dig Shaw (1-866-344-7429) to locate any utility lines prior to commencement.
3. Setbacks to conform to the site plan that was attached as part of the Development Permit application and to the current Land Use Bylaw 677-P-04-13, Schedule 2, Commercial – C1 requirements.
4. Applicant shall obtain a Town of Coaldale business license prior to commencement.
5. Applicant/Owner shall contact the fire department at 403-345-1330 and arrange for a fire inspection prior to commencement.
6. Applicant/Owner shall receive approval from Alberta Health Services prior to a Town of Coaldale business license being issued.
7. A person to whom a Development Permit for a Commercial Building has been issued shall provide the Designated Officer prior to construction a letter from a qualified Alberta Land Surveyor confirming that a qualified Alberta Land Surveyor conducted the Stakeout of the site for construction.
8. Must obtain a competent Alberta Land Surveyor to establish the vertical grades and cuts prior to the excavation of the foundation.
9. The applicant/ owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 11, Off-Street Parking & Loading Requirements.
10. Refuse and or garbage during construction shall be in appropriate containers and shall be properly screened and placed in an approved enclosure until removed for disposal.
CONTAINERS SHALL NOT BE PLACED ON THE TOWN STREET OR LANEWAY.
11. A refundable landscaping fee in the amount of \$1,000.00 shall be required to ensure the completion of landscaping as per a revised landscaping plan that shall consider the elimination of parking stall #12 which would be replaced with a ¼ circle concrete island and tree, mirror of the other side. Also, additional landscaping in the east landscaping area to the satisfaction of the Development Authority.
12. Ensure water does not drain into neighbouring properties.

13. For safe work-site purposes, it is recommended that the civic address of the site be displayed so it is visible from the street at all times during construction in the event that emergency services personnel are called to attend the site.
 14. Excess dirt and mud that is tracked onto sidewalks and roads shall be cleaned up promptly as to not impact the neighbourhood.
 15. The applicant/ owner shall comply with Land Use Bylaw No. 677-P-04-13, Schedule 11, Off-Street Parking & Loading Requirements.
A MINIMUM OF 26 PARKING STALLS MUST BE MAINTAINED ON THE PROPERTY
-

Respectfully Submitted:



Cindy L'Hirondelle
Manager of Development & Environmental Services

ATTACHED FILES:

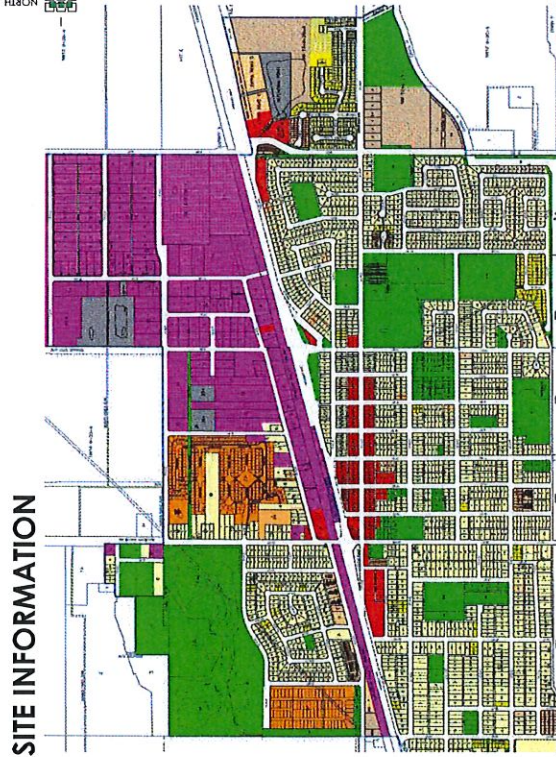
- Site Plan & Building Plans
- Notice to Neighbouring Property Owners

Drawn By: MPK	Checked By: MPK
Design Development	
Phase:	
Status:	
DP Submission	
Sheet Number:	
A0.01	

LAND USE BYLAW

TOWN OF COALDALE LAND USE BYLAW NO. 677-P-04-13

SITE INFORMATION



ZONING MAP EXTRACT FROM TOWN OF COALDALE LAND USE BYLAW 677-P-04-13

DETAILED INFORMATION

MUNICIPALITY: TOWN OF COALDALE
LAND USE DISTRICT: COMMERCIAL (DOWNTOWN OVERLAY) - C1
DISCRETIONARY USES: INSTITUTIONAL FACILITIES AND USES
MINIMUM PARCEL SIZE: 139.4 SQ. M. (1,500 SQ. FT.)
WIDTH: 4.0M (13'-0"); LENGTH: AS REQUIRED BY THE DASA
FRONT YARD: 0M (0'-0")
SIDE YARD: 0M (0'-0")
REAR YARD: 4.0M (13'-0")
MINIMUM SETBACKS
MAXIMUM LOT COVERAGE: PRINCIPAL BUILDING = 10.0 M (33 FEET)
MAXIMUM BUILDING HEIGHT: IN ACCORDANCE WITH SCHEDULE 9
LANDSCAPE REQUIREMENTS: 1 TREE PER 65 SQ. M OF LANDSCAPED AREA PROVIDED
LANDSCAPED AREA (AS PER SITE SERVING DRAWINGS) 105 SQ. M = 28 TREES REQUIRED
GARBAGE ENCLOSURES: IF NOT USING TOWN SERVICES FOR GARBAGE COLLECTION, GARBAGE ENCLOSURES SHALL BE PROPERLY SCREENED TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY. COMMON GARBAGE RECEPTACLE AREAS IS PROVIDED IN THE COMPREHENSIVE PLAN, MUST BE SATISFACTORILY SCREENED TO THE SATISFACTION OF THE DEVELOPMENT AUTHORITY.
PARKING: INSTITUTIONAL FACILITIES OR USES - AS REQUIRED BY THE MPC
PARKING BASED ON 1 PARKING SPOT PER 65 SQ. M (700 SQ. FT.)
AREA = 300 SQ. M (3,500 SQ. FT.)
OUTDOOR STORAGE: SHALL BE SCREENED BY BUILDING, FENCES, PRIVACY WALLS, LANDSCAPING OR GATES
MAXIMUM FENCE HEIGHT 1.8M (5'-11")

CODE ANALYSIS

ALBERTA BUILDING CODE 2014

DETAILED INFORMATION

PART 3.1.9
PROJECT DESCRIPTION: NEW CONSTRUCTION/RENOVATION - FIRE HALL EXPANSION AND RENOVATION
PROFESSIONAL DESIGN AND REVIEW: IS REQUIRED (VOL. 1, DIV. C, 2.4.2)
BUILDING CLASSIFICATION: GROUP DIVISION 2: GROUP D
CODE REFERENCE: 3.2.2.76; 3.2.2.42
ALLOWABLE BUILDING SIZE: GROUP F2 TWO STOREY (TWO STOREY - 2 STREETS 1500 SQ. M)
GROUP D TWO STOREY (TWO STOREY - 2 STREETS 1000 SQ. M)
NUMBER OF STORIES: TWO (2)
BUILDING AREA: 1,042 SQ. M (11,215.42 SQ. FT.)
BUILDING HEIGHT: 10.0 M (32.8 FT.)
NUMBER OF STORIES: THREE
CONSTRUCTION: COMBUSTIBLE AND NON-COMBUSTIBLE USED IN COMBINATION
FLOOR ASSEMBLIES: FIRE SEPARATORS AND SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN.
METADANES: IF OF COMBUSTIBLE CONSTRUCTION SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN.
LOAD BEARING WALLS, COLUMNS AND ARCHES SUPPORTING AN ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING: SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN. OR BE OF NON-COMBUSTIBLE CONSTRUCTION
ROOF ASSEMBLIES: IF OF COMBUSTIBLE CONSTRUCTION SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 45 MIN.
SPATIAL SEPARATION: NORTH LIMITING DISTANCE ≥ 2.00M (PROPERTY LINE) AREA ALLOWED: UNLIMITED
TABLE 3.2.3.1.1: EAST LIMITING DISTANCE ≥ 2.00M (CENTRELINE OF ROAD) AREA ALLOWED: UNLIMITED
WEST LIMITING DISTANCE ≥ 2.00M (CENTRELINE OF ROAD) AREA ALLOWED: UNLIMITED
CROSSED BUILDING FACE: 45 MIN. 3.2.3.7 ALL WALLS AREA ALLOWED: UNLIMITED
FIRE ALARMS REQUIRED: NO 3.2.6.1 9.10.18
STANDPIPE REQUIRED: YES 3.2.5.8
ADEQUATE WATER SERVICE: YES 3.2.5.7
HAZARDOUS SUBSTANCES: NO 3.2.6
NO 3.3.1.2 (1), 3.3.1.20 9.10.1.3(4)

NO.	BY	DESCRIPTION	DATE
A	AV	CLIENT REVIEW	18.04.18
B	AV	CLIENT REVIEW	18.04.25
C	AV	CLIENT REVIEW	18.07.12
D	AV	CLIENT REVIEW	18.07.25
E	MPC	DP SUBMISSION	18.07.25

1801 1507 9TH AVENUE
COALDALE ALBERTA
LOT 1-12 BLOCK 15 PLAN 6476AA

Professional Seal

GENERAL



**Ian Moxon
Architect**

Project:
**Town of Coaldale
Fire Hall Expansion**

Drawings:
Bylaw and Code Analysis

Drawn By: AV, MPC
Checked By: MPC

Project:
Design Development

Drawn By: AV, MPC
Checked By: MPC

Project:
DP Submission

Drawn By: AV, MPC
Checked By: MPC

Sheet Number:
A0.02

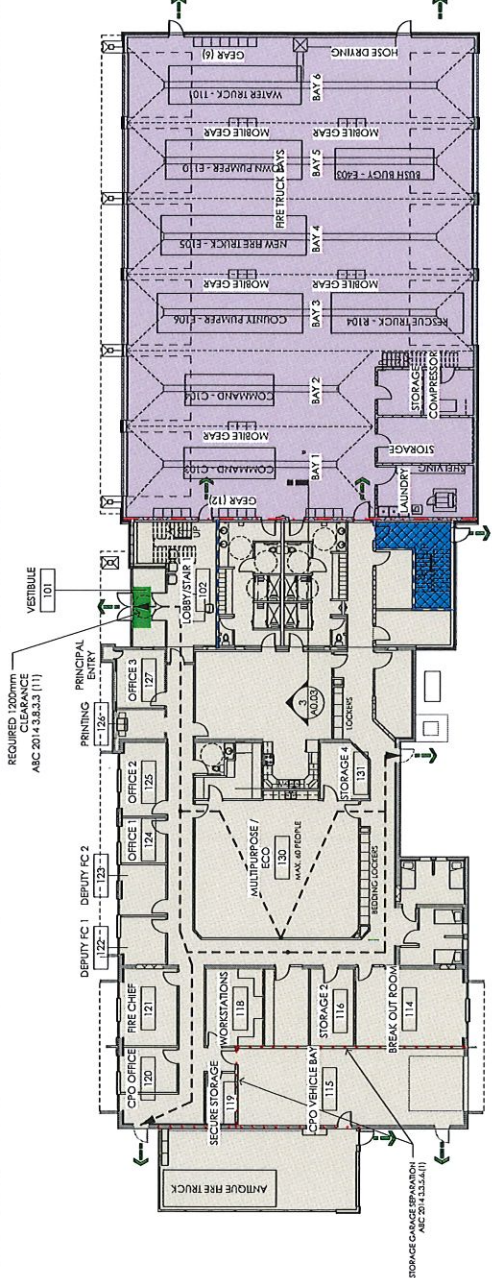
LEGEND

- FIRE SEPARATION WITH 45 MIN. FIRE RESISTANT RATING
- FIRE SEPARATION WITH 2 HR. FIRE RESISTANT RATING
- FIRE SEPARATION WITH 4 HR. FIRE RESISTANT RATING
- FIRE WALL WITH 4 HR. FIRE RESISTANT RATING

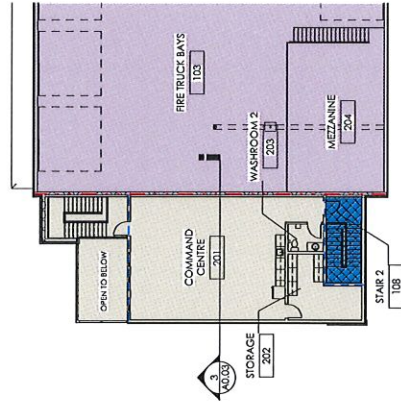
HORIZONTAL EXIT

VERTICAL EXIT

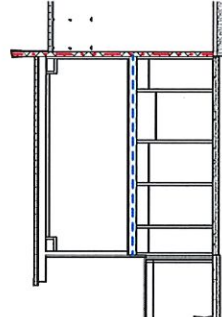
TRAVEL PATH	MAX. DISTANCE (METERS)	DISTANCE (FEET)
TRAVEL DIST. A	40,000 m	131,234 ft
TRAVEL DIST. B	40,000 m	131,234 ft
TRAVEL DIST. C	40,000 m	131,234 ft
TRAVEL DIST. D	40,000 m	131,234 ft
TRAVEL DIST. E	40,000 m	131,234 ft
TRAVEL DIST. F	40,000 m	131,234 ft
TRAVEL DIST. G	40,000 m	131,234 ft



① MAIN FLOOR - CODE REVIEW
1:150



② SECOND FLOOR PARTIAL - CODE REVIEW
1:150



③ BUILDING SECTION (EAST/WEST) - CODE REVIEW
1/8\"/>

NO.	REVISION / ISSUED FOR	DATE
A	DESIGN DEVELOPMENT	18.04.25
B	CLIENT REVIEW	18.04.25
C	CLIENT REVIEW	18.07.25
D	CLIENT REVIEW	18.07.25
E	DP SUBMISSION	18.07.25

1801 1507 20TH AVENUE
150 DUNDAS STREET WEST
LOT 1-12 BLOCK 15 PLAN 6475AA

IAN MOXON ARCHITECT INC.
3302-100, 100th Street SW
Edmonton, Alberta
T1J 3J2
ianmoxonarchitect.com
Tel: (581) 224-2725

Professional Seal

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GENERAL

Project: Town of Coaldale Fire Hall Expansion

Drawing: Code Analysis

Drawn by: MFK

Checked by: MFK

Project: Design Development

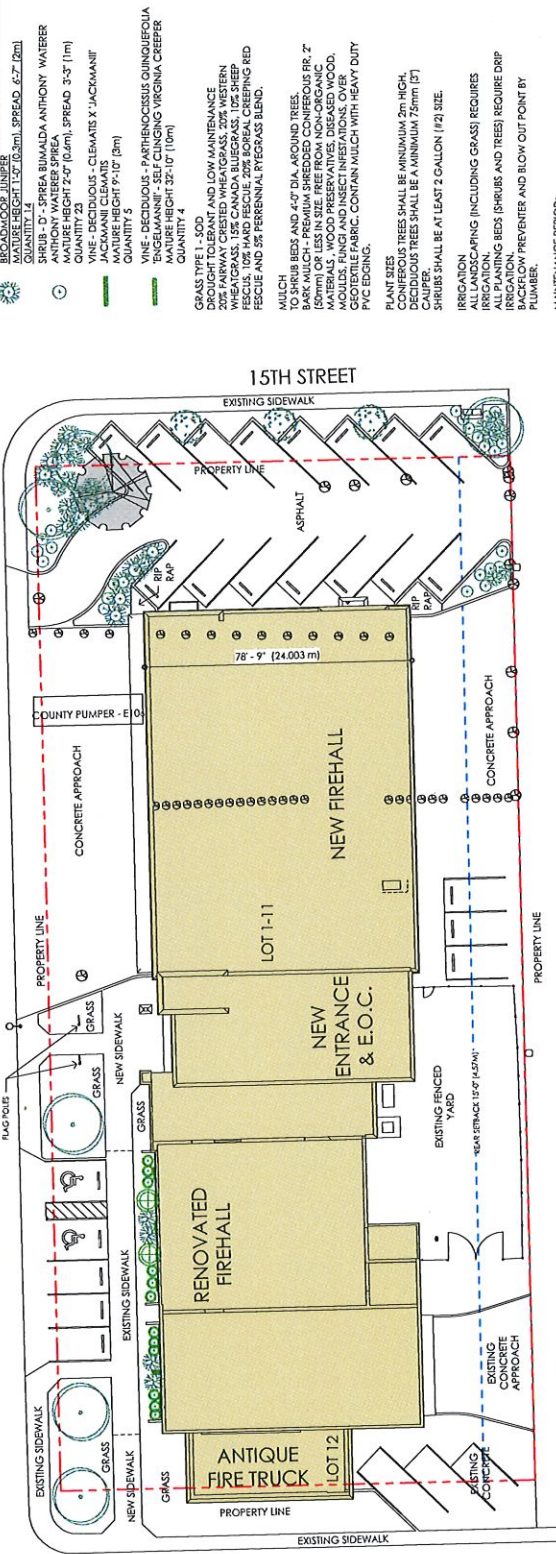
Project: DP Submission

Sheet Number: A0.03



LEGEND

- EXISTING TREE - REMOVED
- EXISTING TREE - PRESERVED
- QUANTITY 2
- TREE - DECIDUOUS - POPULUS TREMLIOIDES
- MATURE HEIGHT 32'-10" (10m), SPREAD 19'-8" (6m)
- TREMBLING ASPEN
- TREE - DECIDUOUS - PRUNUS VIRGINIANA SCHUBERT
- MATURE HEIGHT 16'-4" (5m), SPREAD 16'-4" (5m)
- SCHUBERT CHOCERRY
- QUANTITY 3
- TREE - DECIDUOUS - PRUNUS MUNGO PUMILO
- MATURE HEIGHT 16'-4" (5m), SPREAD 16'-4" (5m)
- QUANTITY 2
- SHRUB - DECIDUOUS - PHILADELPHUS LEWISII WATERTON
- MATURE HEIGHT 4'-11" (1.5m), SPREAD 4'-11" (1.5m)
- QUANTITY 17
- SHRUB - DECIDUOUS - VIBURNUM TRILOBUM
- MATURE HEIGHT 3'-3" (1m), SPREAD 3'-3" (1m)
- QUANTITY 12
- SHRUB - CONIFEROUS - JUNIPERUS SABINA BROADMOOR
- MATURE HEIGHT 15'-0" (4.6m), SPREAD 6'-7" (2m)
- QUANTITY 14
- SHRUB - D - SPREA BUNALDA ANTHONY WATERER
- MATURE HEIGHT 2'-0" (0.6m), SPREAD 3'-3" (1m)
- VINE - DECIDUOUS - CLEMATIS X JACKMANII
- MATURE HEIGHT 9'-10" (3m)
- QUANTITY 5
- VINE - DECIDUOUS - PASTINACORIS QUINQUEFOLIA
- MATURE HEIGHT 32'-10" (10m)
- QUANTITY 4
- GRASS TYPE 1 - SOO
- DROUGHT TOLERANT AND LOW MAINTENANCE
- WHEATGRASS, 15% CANADA BLUEGRASS, 10% SHEEP FESCUE, 10% HARD FESCUE, 20% BOREAL CREEPING RED FESCUE AND 5% PERENNIAL RYEGRASS BLEND.
- MULCH
- TO SHRUB BEDS AND 4'-0" DIA. AROUND TREES.
- BARK MULCH - PREMIUM SHREDDED CONIFEROUS PR. 2"
- WOOD PRESERVATIVES, DISEASED WOOD, MOULDS, FUNGI AND INSECT INFESTATIONS, OVER GREENTILE FABRIC, CONTAIN MULCH WITH HEAVY DUTY PFC EDGING.
- PLANT SIZES
- CONIFEROUS TREES SHALL BE MINIMUM 2m HIGH, CONIFEROUS TREES SHALL BE A MINIMUM 17mm (5") CALIPER.
- SHRUBS SHALL BE AT LEAST 2 GALLON (1/2) SIZE.
- IRRIGATION
- ALL LANDSCAPING (INCLUDING GRASS) REQUIRES IRRIGATION.
- ALL PLANTING BEDS (SHRUBS AND TREES) REQUIRE DRIP IRRIGATION.
- BACKFLOW PREVENTER AND BLOW OUT POINT BY PLUMBER.
- MAINTENANCE PERIOD:
- MAINTAIN PLANT MATERIALS, RELATED WORKS AND IRRIGATION SYSTEM FOR ONE YEAR FROM DATE OF ACCEPTANCE OF LANDSCAPING WORK.
- WARRANTY:
- PROVIDE A WARRANTY FOR ALL PLANT MATERIALS, RELATED WORKS AND IRRIGATION SYSTEM FOR ONE YEAR FROM DATE OF ACCEPTANCE OF LANDSCAPING WORK.
- HARD LANDSCAPING
- NEW SIDEWALKS
- CONCRETE SIDEWALKS SHALL BE 8" THICK, REINFORCED CAST-IN-PLACE CONCRETE, CONSTRUCTION JOINTS AT 5'-0" INTERVALS (PERPENDICULAR AND TRANSVERSE), 2% CROSSFALL, BARRIER-FREE RAMPS WITH MAXIMUM 1:12 SLOPE.
- NEW CURBS
- TOWEL FINISHED, FINISHED AND CAST-IN PLACE REINFORCED CONCRETE, 6" HIGH WITH BULLNOSE EDGE.
- NEW ASPHALT CONCRETE PAVEMENT
- LIGHT DUTY - CARS ONLY (STALLS)
- 3" THICK TYPE 3 (CITY OF LEHRIDGE SPECIFICATION) ON 8" GRANULAR BASE COURSE
- HEAVY DUTY - CARS, OCCASIONAL TRUCKS (ASLES) SPECIFICATION) ON 12" GRANULAR BASE COURSE.
- PAVEMENT MARRINGS 4" WIDE PAINTED LINES AND BARRIER-FREE SYMBOLS, COLOUR - WHITE.



LANDSCAPING AREAS

ITEM	QUANTITY	AREA (SF)
CONCRETE (EXISTING)	7,421.9 SF (690 M ²)	
CONCRETE (NEW)	8,874.4 SF (825 M ²)	
ASPHALT	4,001.3 SF (375 M ²)	
GRASS	530.0 SF (49 M ²)	
CONCRETE CURB	530.0 SF (49 M ²)	
GRASS	2,862.6 SF (266 M ²)	
MULCH	2,452.2 SF (227 M ²)	

NOTE: EXISTING SIDEWALKS ALONG ROADWAYS NOT INCLUDED IN EXISTING CONCRETE AREA

REVISION / ISSUED FOR	
NO.	DESCRIPTION
1	DATE
2	18.07.25
3	18.07.25
4	18.07.25
5	18.07.25
6	18.07.25
7	18.07.25
8	18.07.25
9	18.07.25
10	18.07.25
11	18.07.25
12	18.07.25
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14	18.07.25
15	18.07.25
16	18.07.25
17	18.07.25
18	18.07.25
19	18.07.25
20	18.07.25

15th Street
20th Avenue
16th Street

LOT 1-12 BLOCK 15 PLAN 475AA

15th Street
20th Avenue
16th Street

15th Street
20th Avenue
16th Street

SITE PLAN

Ian Moxon Architect

**Town of Coalville
Fire Hall Expansion**

Landscaping

Project: CCH-18029

Drawn by: Author

Checked by: Checker

Phase: Design Development

Scale: DP Submission

Sheet Number: A1.03



REVISION / ISSUED FOR	
NO.	BY
1	AV
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1301, 1307, 20TH AVENUE
CALGARY, ALBERTA T2C 1A1
LOT 1-12 BLOCK 15 PLAN 6476AA

IAN MOXON ARCHITECT INC.
2302 410 - 10TH AVENUE
CALGARY, ALBERTA T2C 1A1
TEL: 403 278-4722



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PROFESSIONAL SEAL

PROJECT

Town of Coaldale
Fire Hall Expansion

DRAWING

Main Floor

Drawn by: AV

Created by: AV

Phase: AV

Design Development

Table: DP Submission

Sheet Number: A2.01

1301, 1307, 20TH AVENUE
CALGARY, ALBERTA T2C 1A1
LOT 1-12 BLOCK 15 PLAN 6476AA

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PROFESSIONAL SEAL

PROJECT

Town of Coaldale
Fire Hall Expansion

DRAWING

Main Floor

Drawn by: AV

Created by: AV

Phase: AV

Design Development

Table: DP Submission

Sheet Number: A2.01

1301, 1307, 20TH AVENUE
CALGARY, ALBERTA T2C 1A1
LOT 1-12 BLOCK 15 PLAN 6476AA

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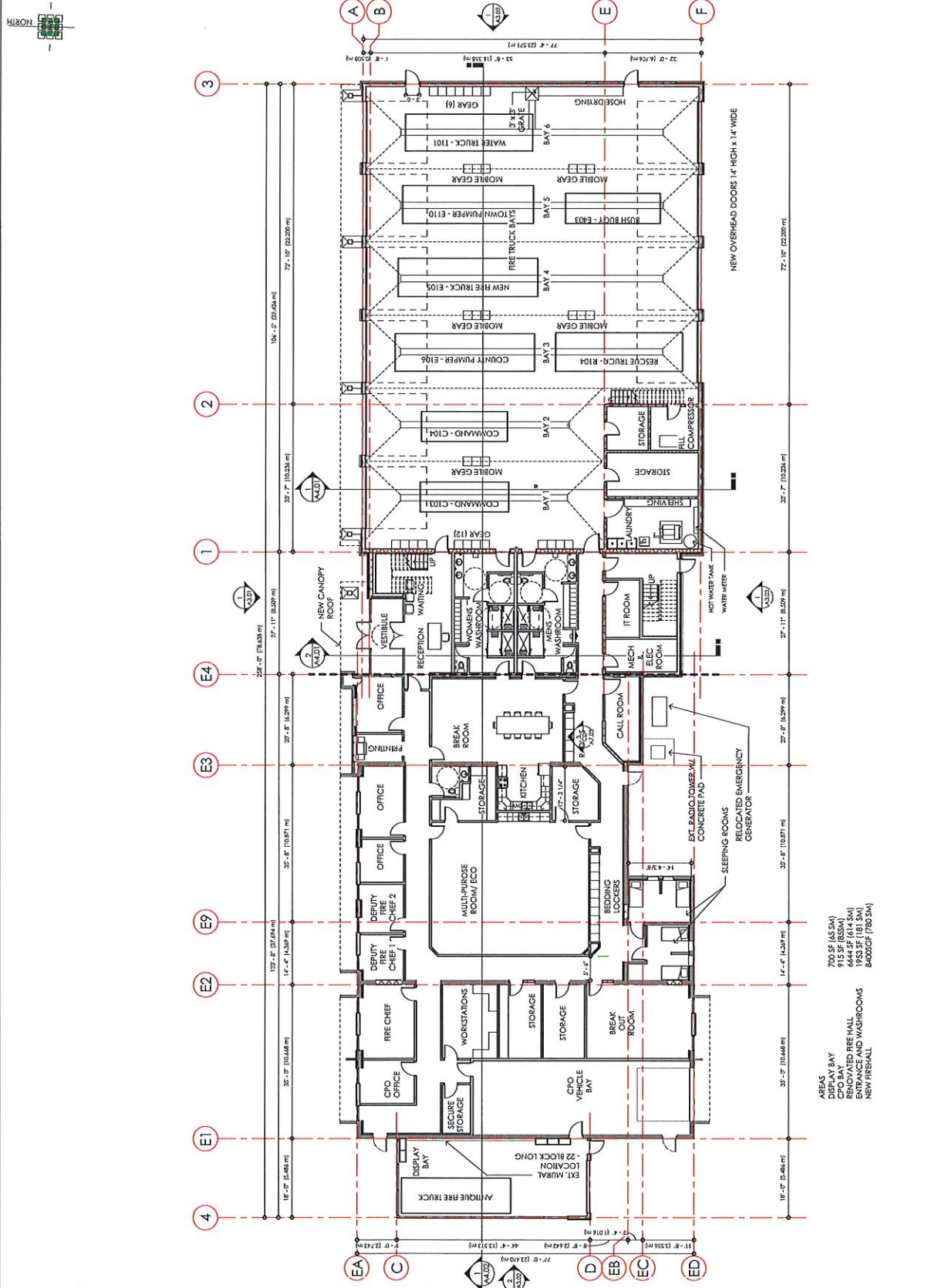
PROFESSIONAL SEAL

PROJECT

Town of Coaldale
Fire Hall Expansion

DRAWING

Main Floor



1 LEVEL 01 MAIN FLOOR
1" = 10'-0"



REVISION / ISSUED FOR	
NO.	DESCRIPTION
1	CLIENT REVIEW
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1501-1507 20TH AVENUE
CALGARY, ALBERTA T2C 1A1
LOT 1-12 BLOCK 15 PLAN 4476AA

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Project: Town of Coaldale Fire Hall Expansion

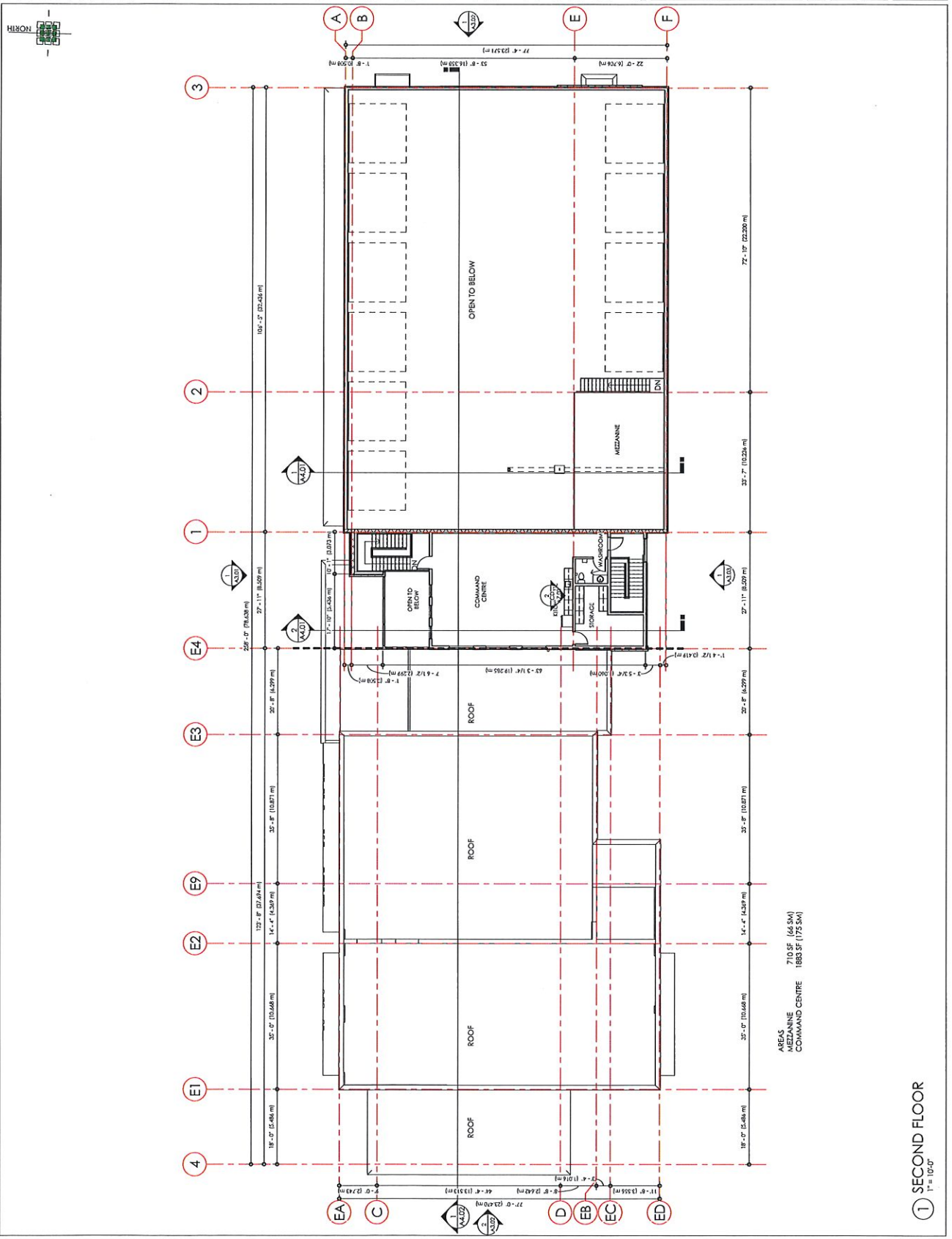
Drawing: Second Floor

Drawn By: AV Checked By: MFC

Phase: Design Development

Title: DP Submission

Sheet Number: A2.02



1 SECOND FLOOR
1" = 10'-0"

REVISION / ISSUED FOR		NO.	BY	DESCRIPTION	DATE
		1	AV	CLIENT REVIEW	18.03.18
		2	AV	CLIENT REVIEW	18.03.18
		3	AV	CLIENT REVIEW	18.07.12
		4	AV	CLIENT REVIEW	18.07.12
		5	MFK	DP SUBMISSION	18.07.25

1301, 1307 30TH AVENUE
LOT 1-12, BLOCK 15, PLAN 647AAA

IAN MOXON ARCHITECTS LTD
F200 110, Coalfield Drive
Lethbridge, Alberta
T1J 3J2

ianmoxonarchitects.com
Tel: 403.774.4722

Professional Seal

ELEVATIONS

Ian Moxon
Architect

Town of Coaldale
Fire Hall Expansion

Elevations
CCH-180229

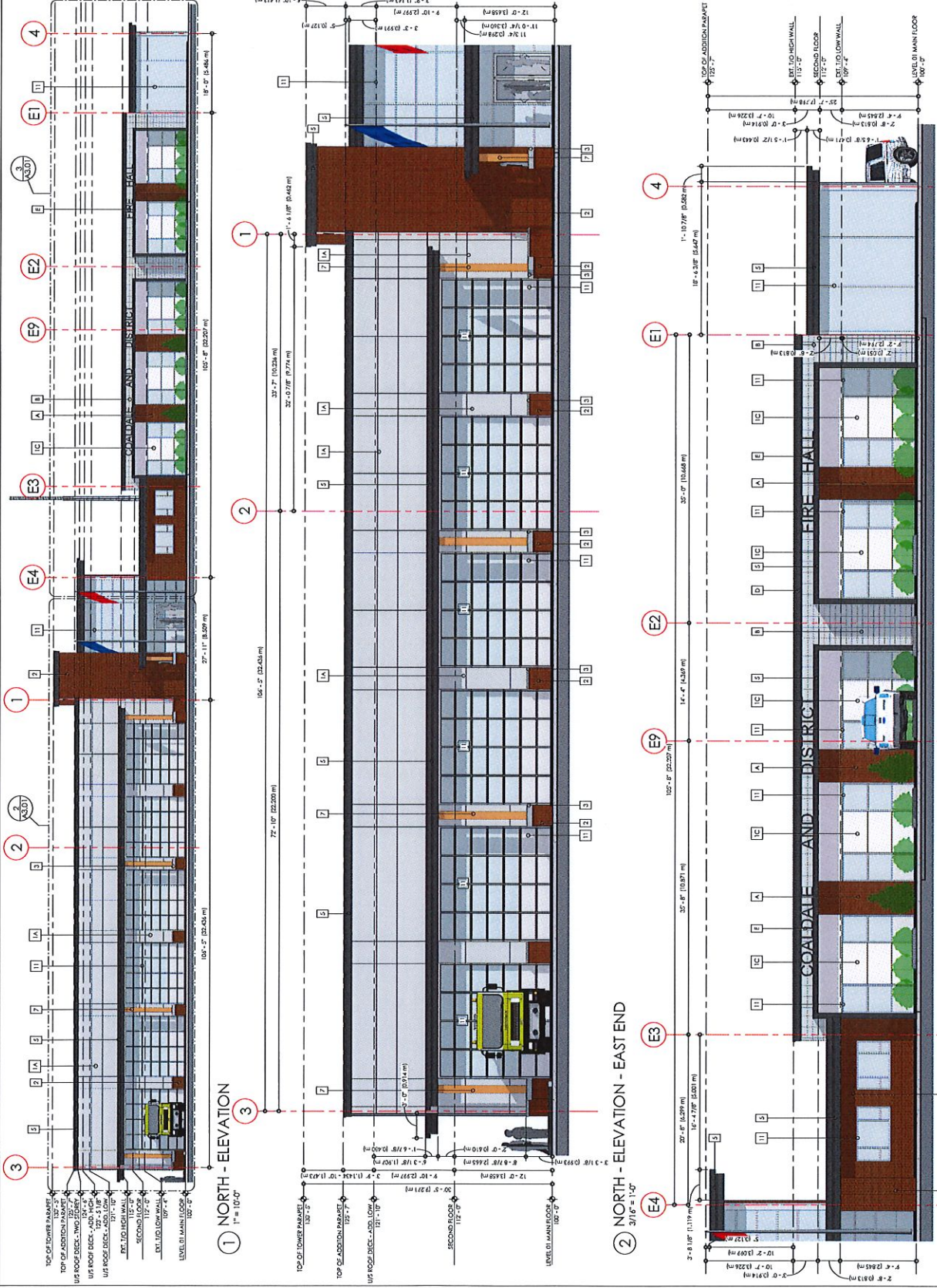
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Checked By: MFK

Design Development

DP Submission

Sheet Number:

A3.01



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E	DP SUBMISSION
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Z	DP SUBMISSION

1501-1507 20TH AVENUE
 LOT 1-12 BLOCK 15 PLAN 474AA
 1501-1507 20TH AVENUE
 #202-10, 20th Drive
 Lethbridge, Alberta
 T1T 2L2
 403-274-7722
 info@ianmoxonarchitect.com

ELEVATIONS

Ian Moxon Architect

Town of Coaldale
Fire Hall Expansion

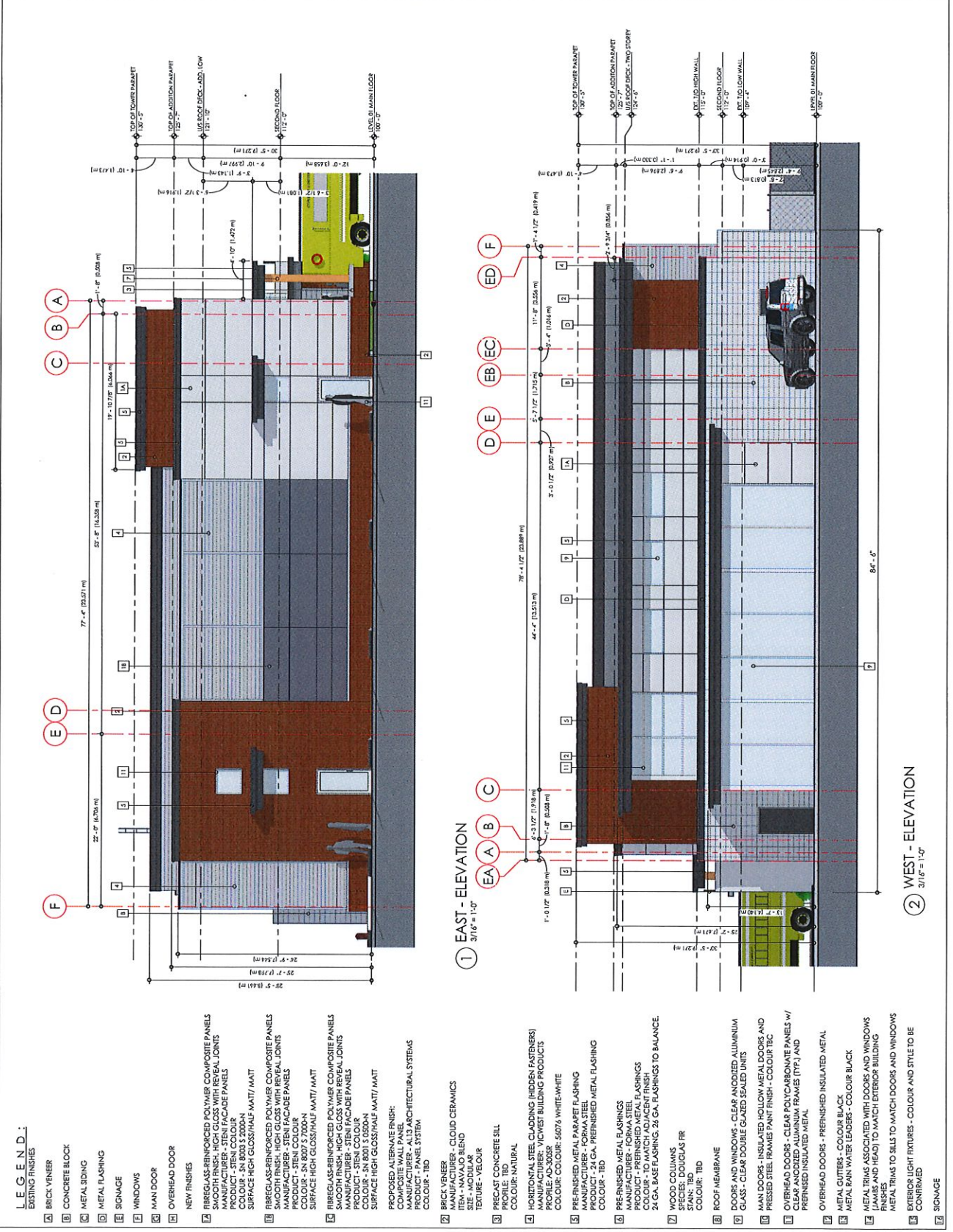
Elevations
CCH-18029

Drawn By: Author
Checked By: MPK

Design Development

DP Submission

Sheet Number: **A3.02**



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1501-1507 20TH AVENUE
 LOT 1-12 BLOCK 15 PLAN 6476AA
 Ian Moxon Architect Inc.
 #200-110, Spadina Drive
 Toronto, Ontario
 M5T 1A2
 Tel: 416-593-7722
 info@ianmoxonarchitect.com

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Professional Seal

SECTION

Project: Town of Coaldale Fire Hall Expansion

Drawing: Typical Section

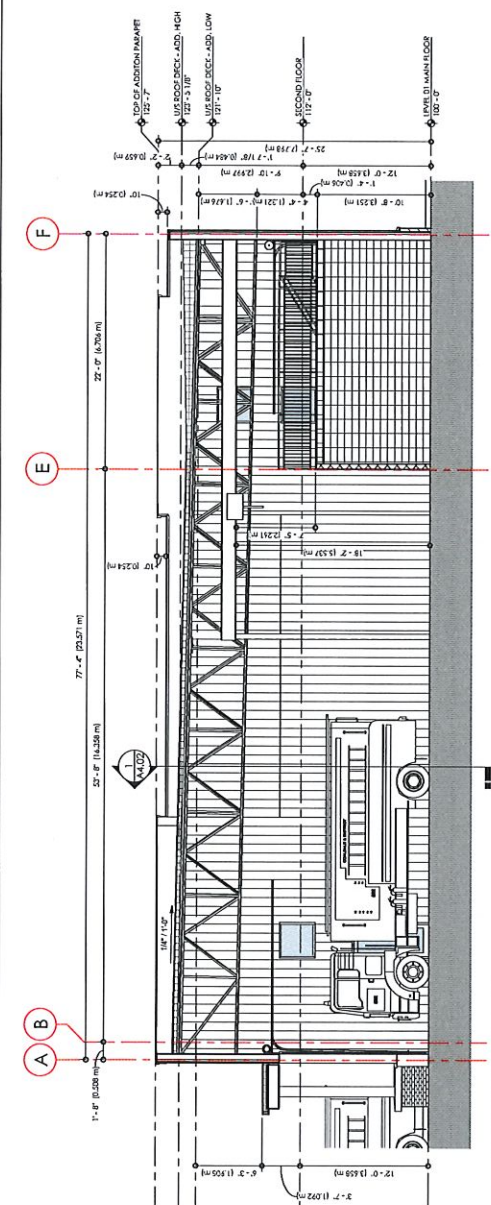
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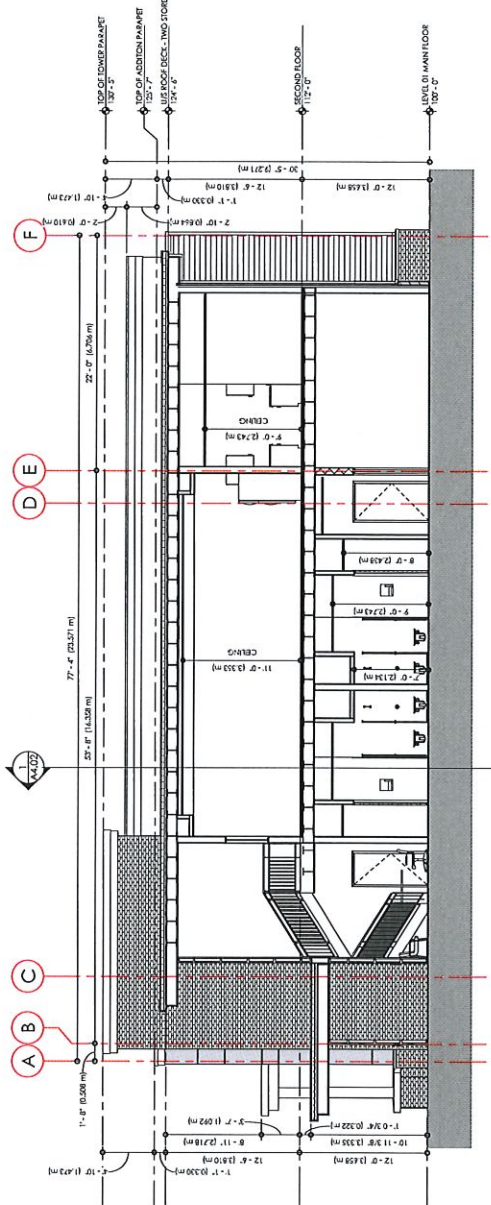
Project: Design Development

Phase: DP Submission

Sheet Number: A4.01



1 FIRE TRUCK BAYS
 3/16" = 1'-0"



2 2 STOREY SECTION
 3/16" = 1'-0"

REVISION / ISSUED FOR		
NO.	BY	DESCRIPTION
A	AV	CLIENT REVIEW
B	AV	CLIENT REVIEW
C	AV	CLIENT REVIEW
D	AV	CLIENT REVIEW
E	MPK	DP SUBMISSION
1501-1507 20TH AVENUE LOT 1-12, BLOCK 15, PLAN 6472AA		
1501-1507 20TH AVENUE LOT 1-12, BLOCK 15, PLAN 6472AA		

1501-1507 20TH AVENUE
LOT 1-12, BLOCK 15, PLAN 6472AA

1501-1507 20TH AVENUE
LOT 1-12, BLOCK 15, PLAN 6472AA

1501-1507 20TH AVENUE
LOT 1-12, BLOCK 15, PLAN 6472AA

SECTIONS



Ian Moxon Architect

Town of Coaldale
Fire Hall Expansion

Typical Section
CCH-18029

Drawn By: AV
Checked By: -

Phase: -

Design Development

DP Submission

Sheet Number: **A4.02**

